Kristen Stelljes

From: Sebastian Mariscal <sebastian@sebastianmariscal.com>
Sent: Thursday, May 16, 2019 11:49 PM
To: Kristen Stelljes
Cc: Luisa Oliveira; Sunayana Thomas; edendutcher@groundviewdesign.com
Subject: PHL_Community Preservation Act Funding
Attachments: PHS_05-06-2019_CommunityMeeting_Park copy.pdf; PHL_park_100CD_05-13-2019.pdf; 19_0510_PHL_Park Budget Tracking.pdf

Importance: High

Kristen,

Thanks for meeting with us and giving guidance through the process.

Per our discussions, I'd like to apply for the Emergency Funding under the Community Preservation Act for the Public Park at the former PowderHouse School. This Park will become a City Park and has been a close collaboration with the City team and GroundView Landscape Architects.

Please see attached our last community meeting presentation as a reference, the Park budget and the project website link below.

http://www.markacommunities.com/powderhouse

We are in the need of additional $122,000 as a result of inflation, rapidly increasing construction costs and the continuous efforts to provide a Park that reflects the several community meetings goals.

The Park has completed its Construction Drawings (attached) and is shovel ready to start construction this July.

Please let me now if I could provide additional information.

Thanks!

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PowderHouse Park

PCO-011 - Park Landscape Budget with VE Options					
Item	Quantity	Unit	Revised Budget	High Bids	Low Bids
Park Allowance	(1)	allow	$ (754,800.00)		
LAYOUT AND FIELD ENGINEERING	1	l.s.	$ 10,000		
DESIGN / BUILD IRRIGATION	1	l.s.	$ 25,000	$ 25,000	$ 14,450
LANDSCAPE LIGHTING	1	l.s.	$ 63,000	$ 63,000	$ 40,800
LANDSCAPE			$ 185,000		
Lawn: Screened Loam	1	l.s.		$ 9,400	
Lawn: SOD	1	l.s.			
VE - Lawn Seed	1	l.s.	$ 2,580		$ 2,580
Planting: Mix 24"	1	l.s.		$ 34,300	
VE - Planting Mix 18"	1	l.s.	$ 19,440		$ 19,440
Planting: Material	1	l.s.	$ 141,030	$ 192,220	$ 115,000
VE - Planting Material	1	l.s.			
Planting: Metal Edging	1	l.s.		$ 18,050	
VE - Planting: Plastic Edging	1	l.s.	$ 12,350		$ 12,350
Planting: Stonedust Surfacing	1	l.s.	$ 9,600	$ 9,600	$ 9,500
60 Day Establishment Period (if we do irrigation)	1	l.s.			
			$ 185,000	***$ 263,570***	***$ 158,870***
FURNISHINGS			$ 35,000		
Benches	7	ea		$ 33,600	$ 33,600
VE - Benches	7	ea	$ 4,200		
Tables & Chairs (NIC moveable furniture)	3	ea		$ 18,000	$ 18,000
VE - Tables and Chairs	3	ea	$ 4,500		
Bike Racks	8	ea	$ 5,000	$ 5,000	$ 5,000
Bike Repair Station	1	ea	$ 5,500	$ 5,500	$ 5,500
Handrails	4	ea		$ 20,000	
VE - Handrails	4	ea	$ 15,800		$ 10,000
			$ 35,000	***$ 82,100***	***$ 72,100***
SITEWORK			$ 210,000		
F&I Spandrel Seats / Stage	1	l.s.		$ 220,000	$ 220,000
VE - Spandrel Seates/Stage 32 Sonotubes	1	l.s.	$ 195,000		
Drainage	1	l.s.			
Prep and sub grade	1	l.s.			
Protection for Tufts Infrastructure Conduit			$ 15,000	$ 15,000	$ 15,000
			$ 210,000	***$ 235,000***	***$ 235,000***
HARDSCAPE			$ 75,000		
Play Surface	900	sqft		$ 45,000	
VE - Play Surface	900	sqft			$ 25,200
VE - Substitute Bituminous for Play Surface	900	sqft	$ 4,500		
Concrete Walkways	8,750	sqft			
VE - Bituminous Unit Cost	8,750	sqft	$ 43,750		$ 43,750
Concrete Walkways - Ready Mix Material	167	yds		$ 24,163	
Concrete Walkways - Welded Wire Mesh	11,375	sqft		$ 5,119	
Concrete Walkways - Concrete Bricks and Accessories	1	l.s.		$ 750	
Concrete Walkways - F/P/F Concrete Walks	8,750	sqft		$ 70,000	
Resuse of Existing Spandrel Beams			$ 26,750	$ 26,750	$ 25,000
			$ 75,000	***$ 171,781***	***$ 93,950***
MISCELLANEOUS			$ 38,000		
Waterproofing Existing Retaining Wall	1	sqft	$ 10,000	$ 10,000	$ 10,000
Reinforcing of existing Retaining Wall	1	sqft	$ 12,000	$ 12,000	$ 12,000
Mural Wall Paint (kickoff programming)	1	sqft	$ 16,000	$ 16,000	$ 16,000
			$ 38,000	***$ 38,000***	***$ 38,000***
Soft Costs			$ 235,700		
Design Fees (Groundview)	1	l.s.	$ 50,000		
Electric Engineering Design	1	l.s.	$ 24,300		
Civil Stormwater and water design			$ 15,000		
Eversource Fees	1	l.s.	$ 50,000		
Stormwater & Water Service Connection Fees (BY THE CITY)	1	l.s.	$ -		
Contingency - 5%	1	l.s.	$ 31,400		
GC's / PR'S	10	weeks	$ 65,000		

Total Park Budget: **$876,700**

Overbudget $ 121,900.00

Excludes:

1) Play Equipment
2) Exercise Equipment
3) Ping pong
4) Water feature
5) Water fountain

Future Park at Powder House School

1060 Broadway, West Somerville

Community Update Meeting: Discuss Park Design

May 6, 2019

MarKa, Llc.

Mayor Joseph A. Curtatone

Ward 7 Councilor Katjana Ballantyne

Mayor's Office of Strategic Planning & Community Development

Sunayana Thomas, ED & Luisa Oliveira, P&OS

design team:

Landscape Architects GroundView

Architects Sebastian Mariscal Studio

Meeting Agenda

- Project Update: Building
- Project Update: Park
  - Park Plan, Program and Features
  - Construction Schedule
  - Friends Group

Goals for Community Meetings

- Understand neighborhood health, safety and security concerns
- Understand access, neighborhood users, recreational and social needs
- Design must capture the energy of the community
- Everyone is heard
- Outreach: neighborhood flyers, Facebook, Twitter, & community meetings

Project Process Timeline

September 2015
Community Meeting 1

October 2015
Community Meeting 2

November 2015
Community Meeting 3

December 2015
Community Meeting 4

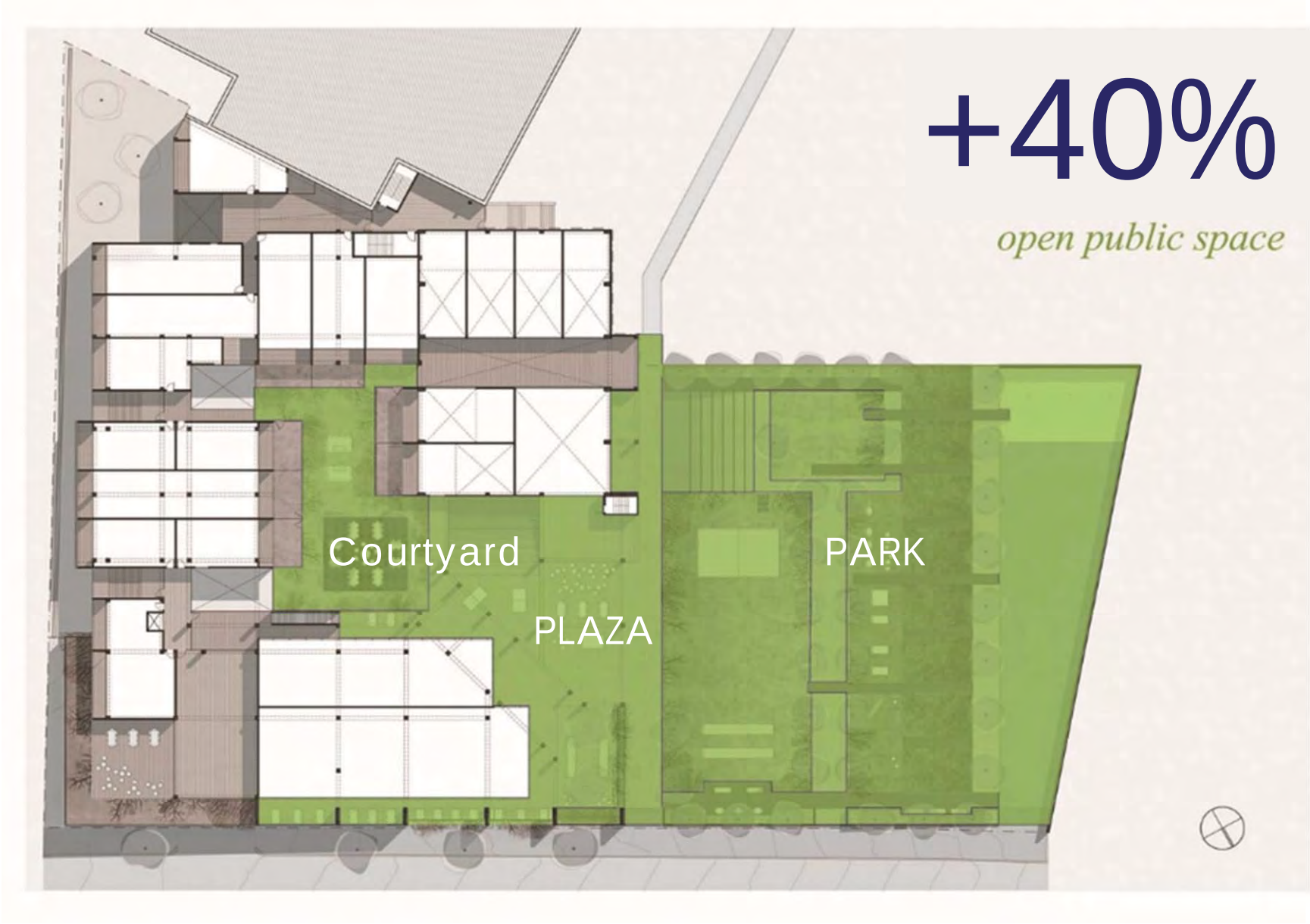
November 2016
Community Meeting 5

May 2019
Update Meeting

PROJECT OVERVIEW

NEIGHBORHOOD CONTEXT:

GREEN SPACE: public open space



CONSTRUCTION UPDATE: 38% completion

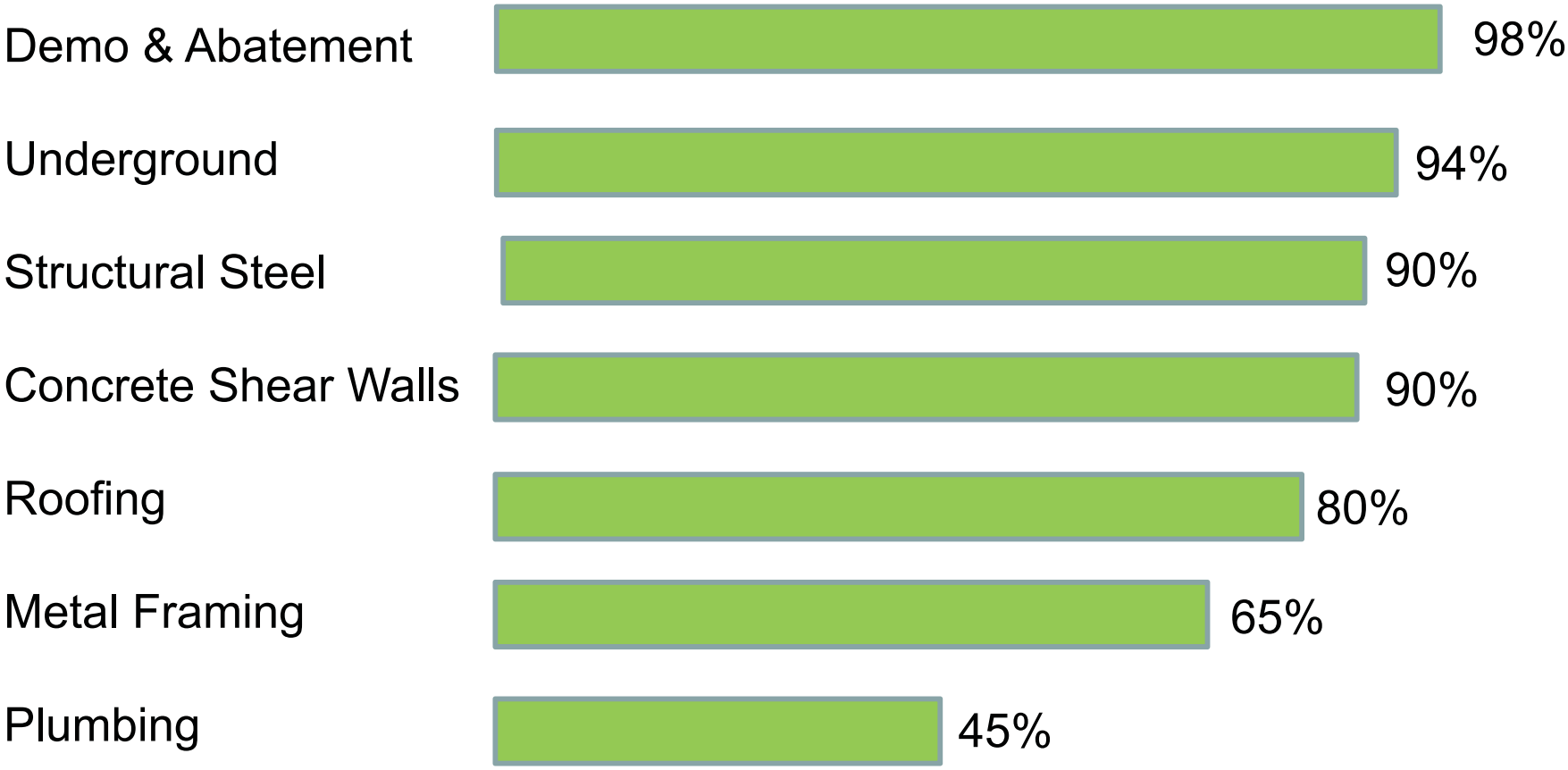
CONSTRUCTION UPDATE: Remove massing

CONSTRUCTION UPDATE: Building opening to Park

CONSTRUCTION UPDATE: Courtyard raised one floor

CONSTRUCTION UPDATE: Courtyard raised one floor

CONSTRUCTION PROGRESS



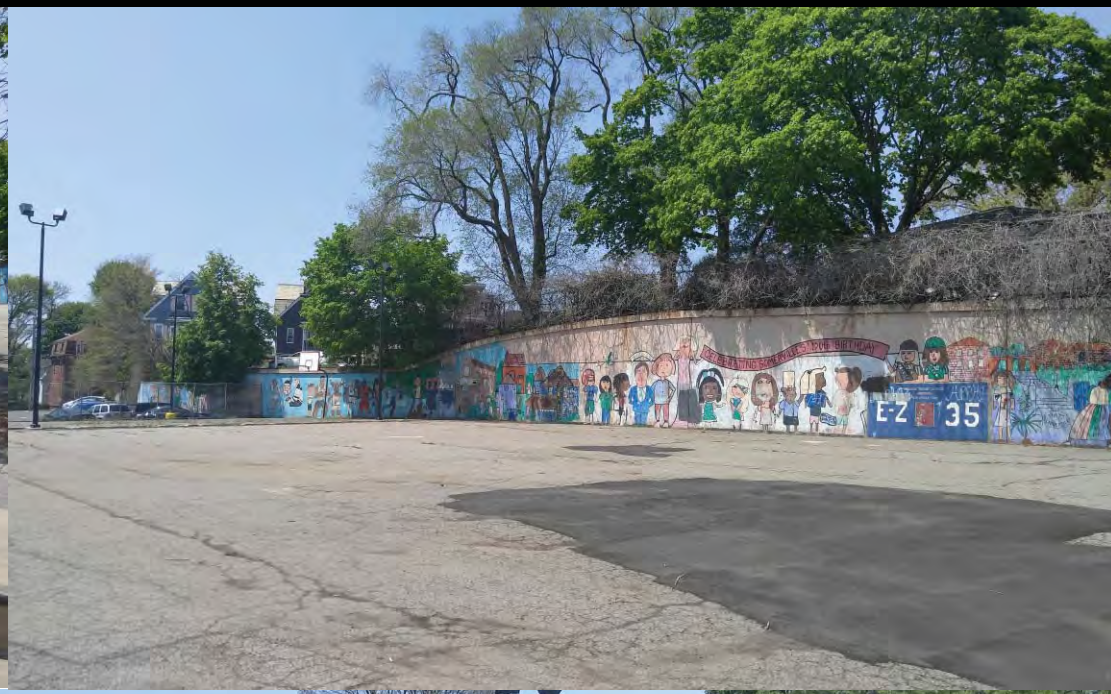
Park Site

Electric
Whitman St
Corinthian Rd
Simpson Ave
Irving St
Paulina St
Packard Ave
Holland St
Lovell St
Gorham St
Broadway
Elmwood St
Holland St
Cameron Ave
Claremon St

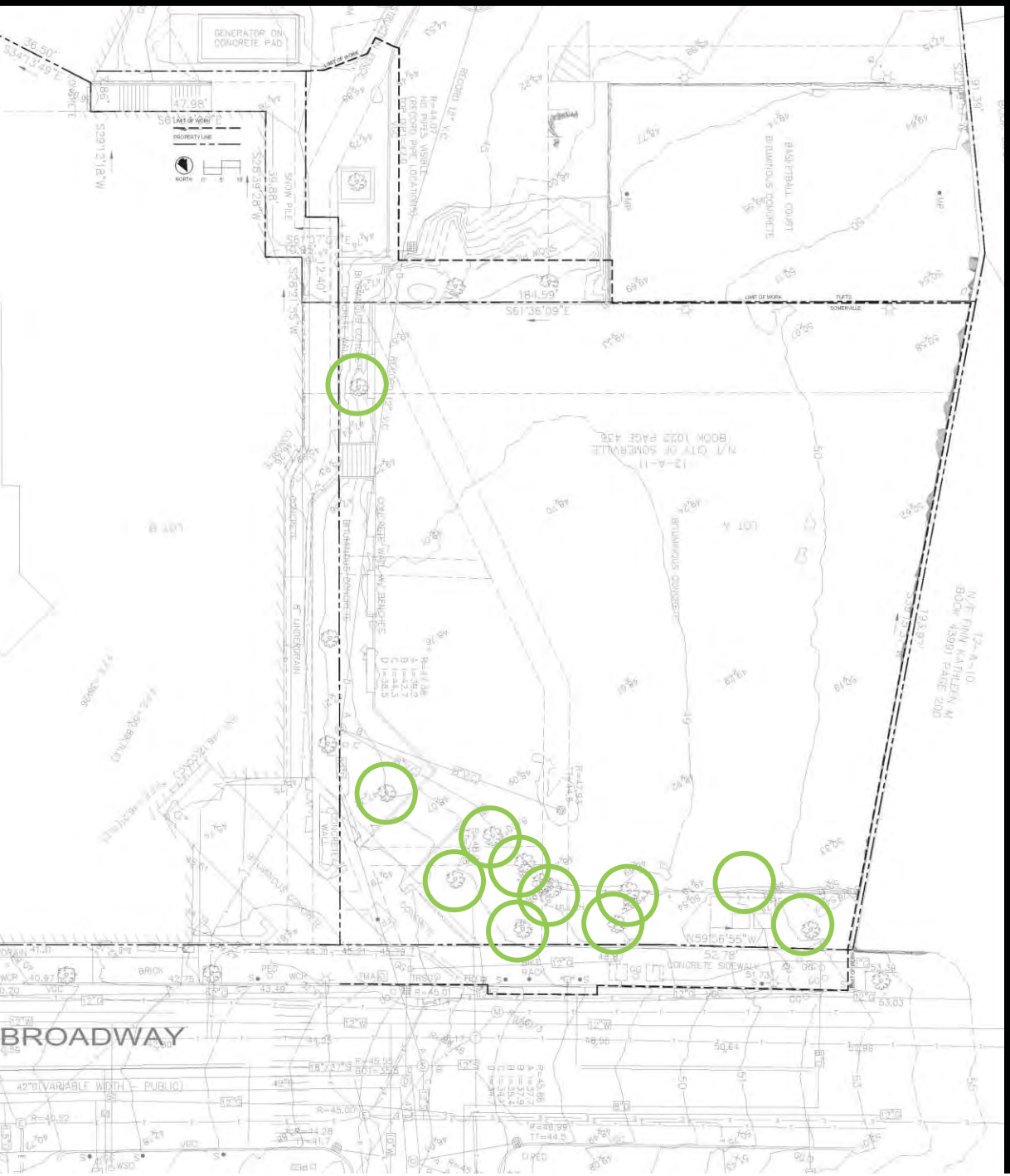
Park Site

Harrison Rd
Claremon St
Moore St
Cameron Ave
Holland St
Elmwood St
Broadway
Jay St
Holland St
Packard Ave
Paulina St
Irving St
Simpson Ave
Corinthian Rd
Whitman St
Wallace St
Irving St
Electric Ave

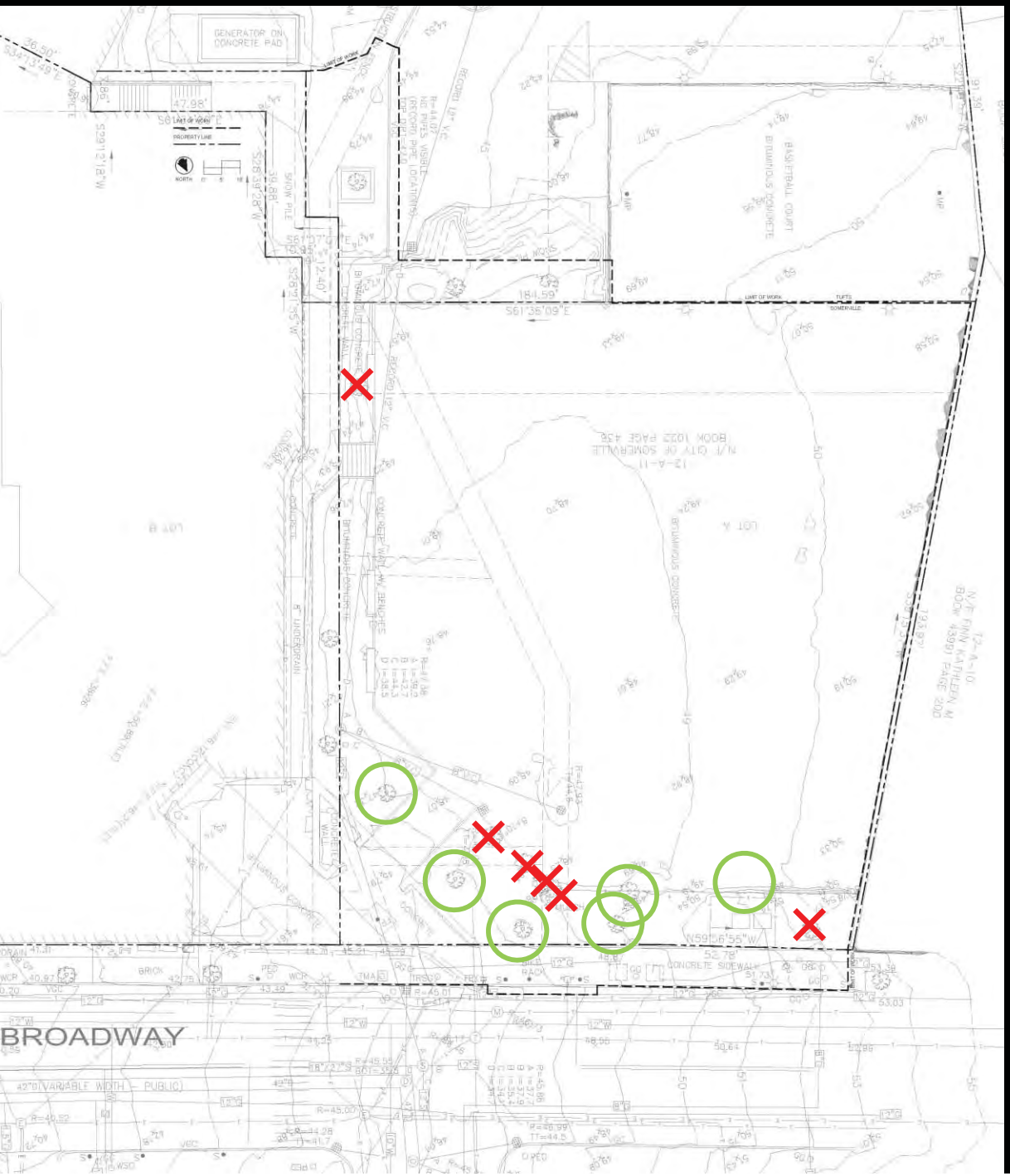
Existing Conditions



Trees


GENERATOR ON CONCRETE PAD
BASKETBALL COURT
BITUMINOUS CONCRETE
BITUMINOUS CONCRETE
CONCRETE SIDEWALK
BROADWAY

Trees



Existing to remain – 6 Trees

Removed – 6 Trees

Trees

Existing to remain – 6 Trees

Removed – 6 Trees (52” DBH)

Proposed – 16 Trees (61” Cal)

Net Gain – 10 Trees (9” DBH)

Park Plan

Park Program

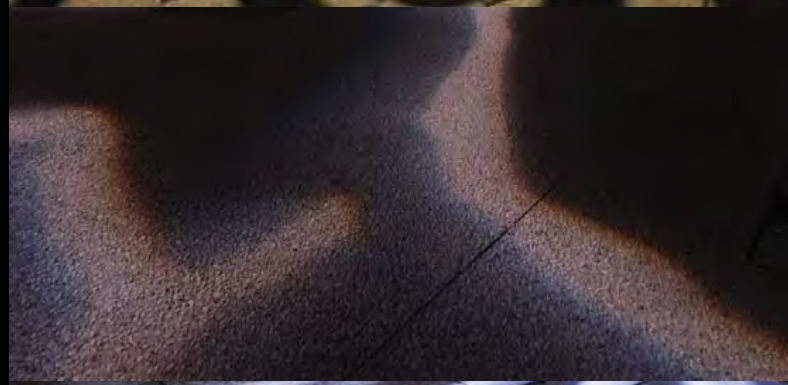
Walking Paths

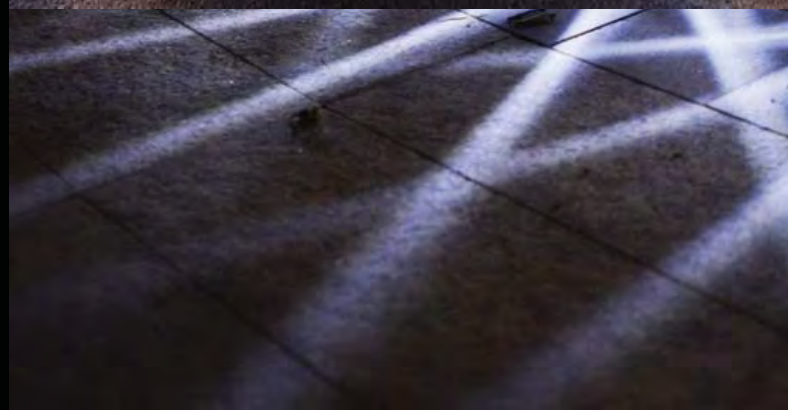
Park Plan

Multi-use Lawn

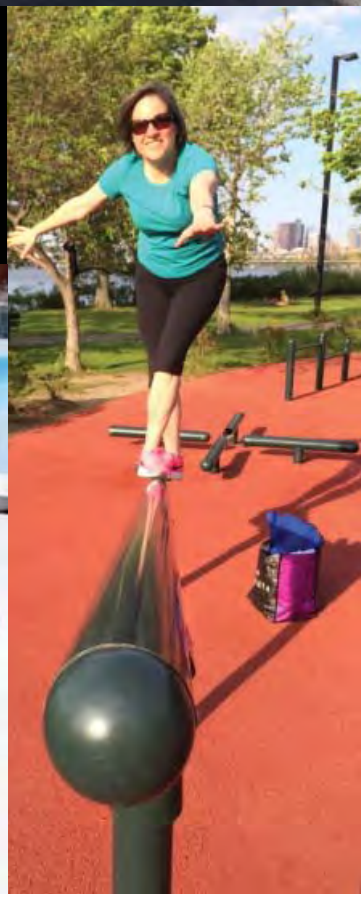
Seating

Activate the Wall





Program Opportunities



Planting Strategy

- Lush, naturalistic, & maintainable
- All season interest
- Attract biodiversity
- Plants with structure to direct circulation
- Stormwater catchment, passive irrigation

Planting | Trees

Planting | Plant Beds

Myrica pensylvanica
Bayberry (N)
5'-8' HT

Planting | Plant Beds

Thuja occidentalis
American Arborvitae (N)
2'-3' HT

Planting | Plant Beds

Cornus sericea
Yellow Twig Dogwood (N)
5’-6’ HT

Planting | Plant Beds

Ilex verticillata
Winterberry (N)
3'-6' HT

Planting | Plant Beds

Perovskia atriplicifolia
Russian Sage
3'-4' HT

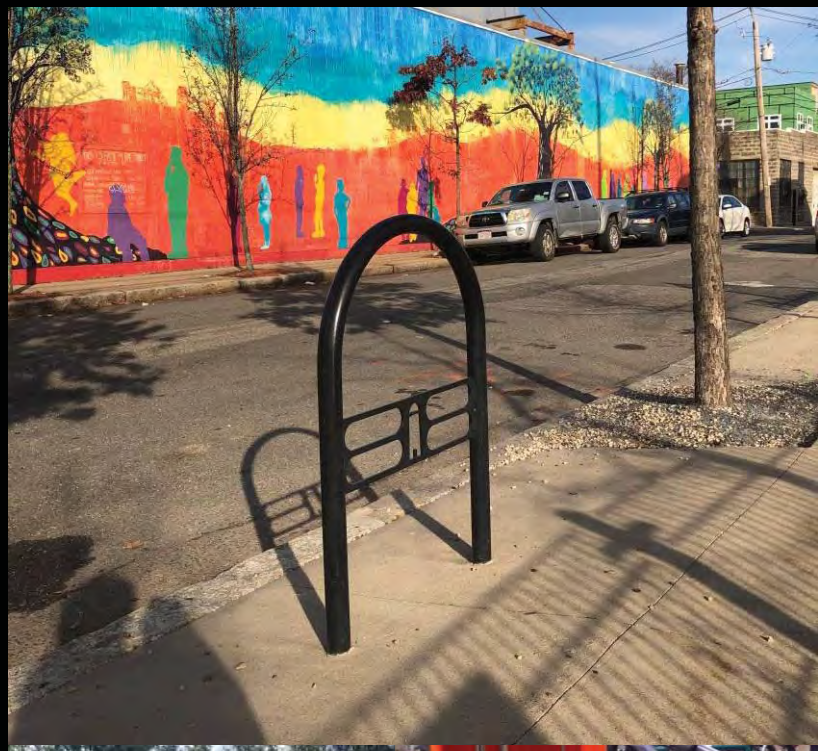
Planting | Plant Beds

Amsonia hubrichtii
Blue Star (N)
2’-3’ HT

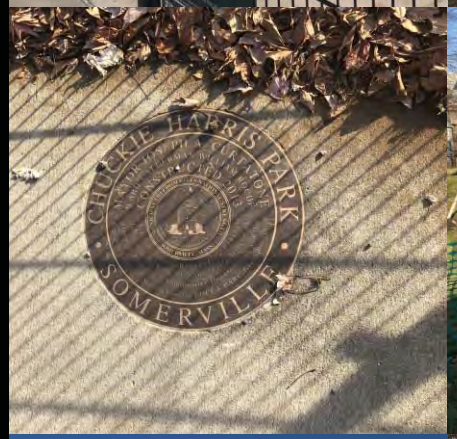
Planting | Plant Beds

Yucca filamentosa
Adam's Needle (N)
2' foliage, 4' plume HT

Bike Parking & Repair



Standard Park Furnishings



Existing View looking North

Park View looking North

What’s Next?

July 2019

Groundbreaking

Spring 2020

Park Opens

Friends Group

Comments & Questions

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(617) 625-6600 x 2561
Sthomas@somervillema.gov

Luisa Oliveira
Senior Planner-Landscape Design
(617) 625-6600 x 2529
loliveira@somervillema.gov

Sign up for Project Updates tonight.

DRAWING LIST

X0.3 EXISTING CONDITIONS
L0.3 SITE PREPARATION PLAN
L1.3 MATERIALS PLAN
L2.3 LAYOUT PLAN
L3.3 GRADING PLAN
L4.3 PLANTING PLAN
L5.3 SITE DETAILS
E1.01 ELECTRICAL SITE LIGHTING PLAN
E1.02 ELECTRICAL SITE LIGHTING DETAILS
L-1/01 PHOTOMETRIC

POWDER HOUSE

1060 BROADWAY
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NOTE:

NOT FOR CONSTRUCTION

STAMP:

REVISION

REV	DATE	DESCRIPTION
	03/06/17	90% DD
	07/09/18	DD Set
	08/06/18	DD Pricing
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	01/18/2019	Rev Per City Review
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	05/13/2019	100% CD

PARK
COVER SHEET

PROJECT NUMBER: POWDER HOUSE	SHEET:
DRAWING DATE: 04/15/2019	00.3
SCALE: AS SHOWN	

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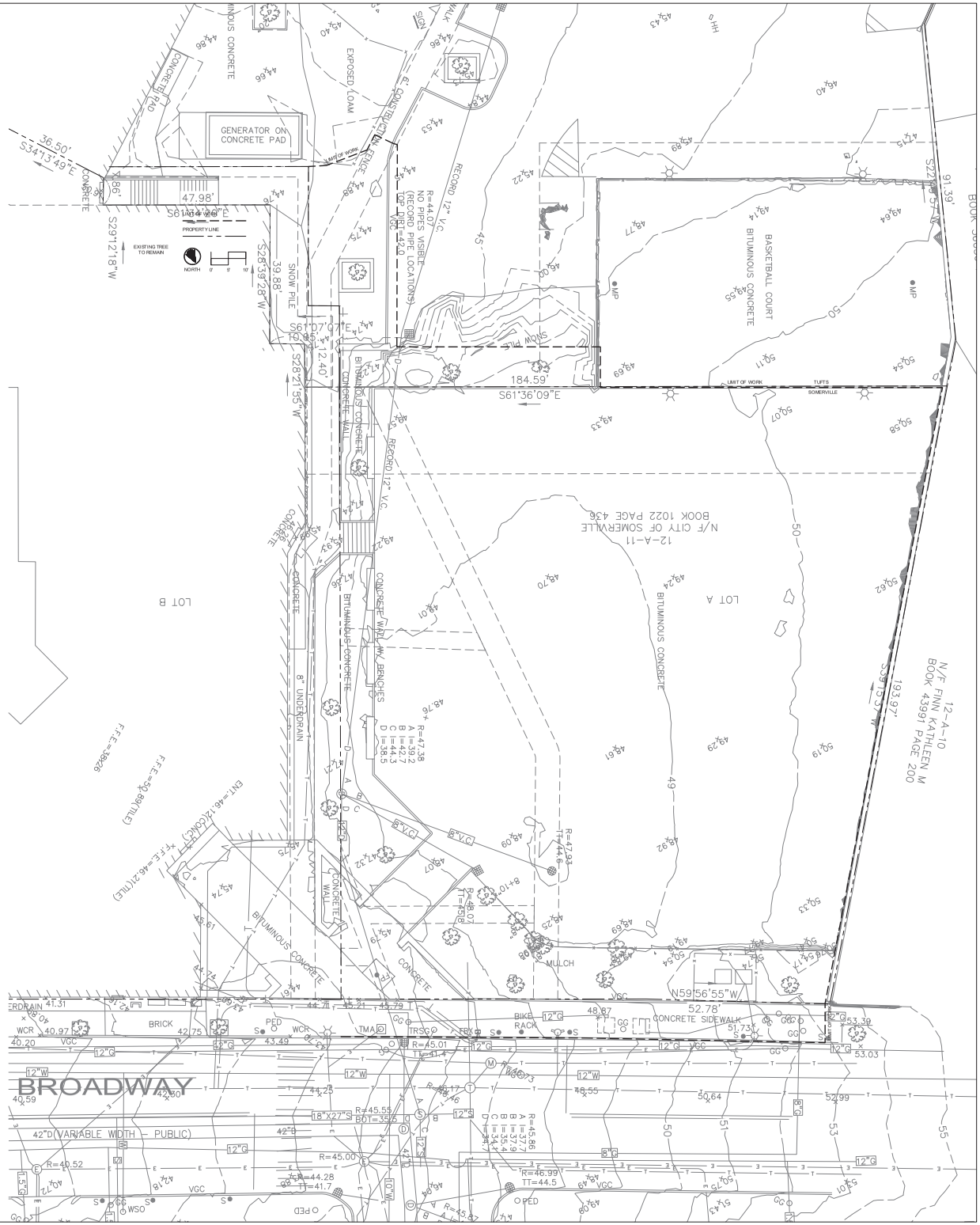
LEGEND

	CATCH BASIN
Ⓒ	CABLE TELEVISION MANHOLE
Ⓓ	DRAIN MANHOLE
Ⓔ	ELECTRIC MANHOLE
Ⓜ	MISCELLANEOUS MANHOLE
Ⓢ	SEWER MANHOLE
Ⓣ	TELEPHONE MANHOLE
Ⓦ	WATER MANHOLE
GSO	GAS SHUT-OFF
WSO	WATER SHUT-OFF
GG	GAS GATE
WG	WATER GATE
	FIRE HYDRANT
DS	DOWN SPOUT
BWW	BOSTON WATER WORKS
UP	UTILITY POLE
UP W/ UE	UTILITY POLE WITH CONDUIT LINE TO GROUND
	LIGHT POLE
LB	LIGHT BOLLARD
LL	LANDSCAPE LIGHT
HH	HAND HOLE
TC	TRASH CAN
FACB	FIRE ALARM CALL BOX
MP	METAL POST
CP	CONCRETE POST
PM	PARKING METER
S	SIGN POST
12"	DECIDUOUS TREE WITH TRUNK DIAMETER
12"	CONIFEROUS TREE WITH TRUNK DIAMETER
	HANDICAP PARKING
601x43	SPOT ELEVATION
CLF	CHAIN LINK FENCE
BB	BITUMINOUS CONCRETE BERM
SGC	SLOPED GRANITE CURB
VGC	VERTICAL GRANITE CURB
VCC	VERTICAL CONCRETE CURB
WCR	WHEELCHAIR RAMP
LST	LANDSCAPE TIMBER
R=	RIM ELEVATION EQUALS
I=	INVERT ELEVATION EQUALS
TH=	TOP OF HOOD ELEVATION EQUALS
NPV	NO PIPES VISIBLE
TOW=	TOP OF WATER
TW	TOP OF WALL ELEVATION
CATV	UNDERGROUND CABLE TELEVISION LINE
D	UNDERGROUND DRAIN LINE
E	UNDERGROUND ELECTRIC LINE
G	UNDERGROUND GAS LINE
S	UNDERGROUND SEWER LINE
T	UNDERGROUND TELEPHONE LINE
W	UNDERGROUND WATER LINE
OHW	OVERHEAD WIRES
MW	MONITORING WELL
	BENCH MARK

SURVEY NOTES

1) SURVEY INFORMATION PROVIDED BY NITSCH ENGINEERING IN FILE DATED JANUARY 17, 2014.



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PARK
EXISTING CONDITIONS PLAN

PROJECT NUMBER: POWDER HOUSE

DRAWING DATE: 04/15/2019

SCALE: AS SHOWN

SHEET: X0.3

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SITE PREPARATION LEGEND

EXISTING TREE TO REMAIN AND BE PROTECTED

TREE PROTECTION FENCE

SITE PREPARATION NOTES

1. In accordance with MGL chapter 82, section 40 including all amendments, all contractors should notify in writing all utility companies and government agencies prior to any excavation work, and call DIGSAFE (1-800-344-7233) prior to commencement of construction. Report any discrepancies in writing to the Landscape Architect and receive instructions prior to proceeding.

2. All items called for removal shall be removed to full depth including all footings, foundations, and other appurtenances, except as specifically noted otherwise.

3. Unless specifically noted to be saved or reused, all site features called for removal shall be removed from the site and legally disposed.

4. All existing site features to remain as indicated on the plan shall be protected throughout the construction period. Any features damaged during construction operations shall be repaired or replaced to the satisfaction of the Owner at no additional cost.

5. The site is to remain secure at all times prior to and during the construction period. The contractor shall install temporary 5' high construction fencing as necessary to ensure public safety.

6. 'Clear and grub' as indicated on plan shall include removal of shrubs and underbrush, removal of roots and general debris.

7. Strip & stockpile existing topsoil as required to accomplish the work of the contract for later reuse where appropriate, and as noted.

All work shall conform to Massachusetts DEP guidelines for herbicidal treatments, erosion and sedimentation control, latest version. Erosion control barriers to be installed at the toe of slopes.

8. Prior to commencing work the contractor shall ensure proper provisions are in place for controlling dust during construction activities. This includes provisions for on site water, water trucks, and any other item to aide in dust migration as approved by the Landscape Architect.

9. Maintain existing electrical connections and extend and connect to proposed structure locations per local code requirements. Contractor to stub off other laterals.

10. The contractor shall saw cut at existing concrete sidewalk pavement prior to removal and disposal of adjacent pavements.

11. Prior to construction, contractor shall obtain a temporary permit from the City water department for water use/meter. Contractor shall be responsible for all construction water use.

12. Construction access to the project site shall be limited to a designated entrance.

13. The storage of materials and equipment will be permitted at locations designated by the Landscape Architect. Protection of stored materials and equipment shall be the sole responsibility of the contractor.

14. Contractor is responsible for securing necessary traffic control details and measures per state and local requirements for any construction activity in the roadright-of-way.

15. Coordinate extents and dimensions of all wall and hardscape removals with layout plan and elevations.

TREE PROTECTION NOTES

1. Trees to be protected shall be identified by Owner or Landscape Architect. Trees shall be protected by the installation of a fence. Tree protection shall be maintained for the duration of construction and removed by Contractor at the end of the construction.

2. Install tree protection fencing. Unless otherwise shown or directed, place fencing at least 10 feet from the trunks of trees to remain, preferably beyond the drip line. Erect fencing prior to any construction or excavation work. Maintain protection in place throughout the duration of construction operations. Remove when approved by Landscape Architect.

3. Do not injure or deface vegetation to remain. Repair or replace any damaged items using an approved Certified Arborist at no additional cost. In the event that repair or replacement is not feasible, the Contract sum shall be reduced by the value of the damage based on the latest Standards approved by International Society of Arboriculture.

4. Do not use trees that are to remain for any purpose such as crane stays, guy anchors, etc. Do not place debris where damage to trees may result. Do not store materials, equipment or vehicles within drip line of trees to remain. Do not store materials on unpaved surfaces within drip line of trees to remain.

5. As approved by Landscape Architect, remove any roots and branches that would interfere with normal construction operations, or that need to be removed to balance the trees, without injury to trunks. Do any additional cutting or trimming only as necessary and in accordance with accepted standards of International Society of Arboriculture.

6. Deep water trees for one week prior to commencing excavation.

7. Do not damage roots of trees that are to remain during excavation. When excavating or trenching within the branch spread of trees scheduled to remain, do so by hand and in a manner which will cause minimum damage to root systems. Do not cut tree roots over 2 inches in diameter. Do not leave surface roots exposed. Neatly and cleanly saw cut roots that are necessary to remove as well as injured roots and backfill as soon as possible.

A. Notify Landscape Architect if any main root is encountered in the excavation. Obtain authorization prior to cutting and/or removal.

B. Temporarily cover exposed roots with wet burlap to prevent roots from drying out. Cover roots with earth as soon as possible.

8. Water trees and other vegetation to remain within the limit of work as required to maintain their health during the course of construction operations.

9. Only trees designated on the Drawing shall be removed. No vegetation shall be removed incidentally to other Work without the Landscape Architect's approval. Do not use heavy equipment to remove clippings and debris within the protected root zones of plants to remain. Dispose of trees, shrubs and stumps off-site according to local laws. Burning is not permitted.

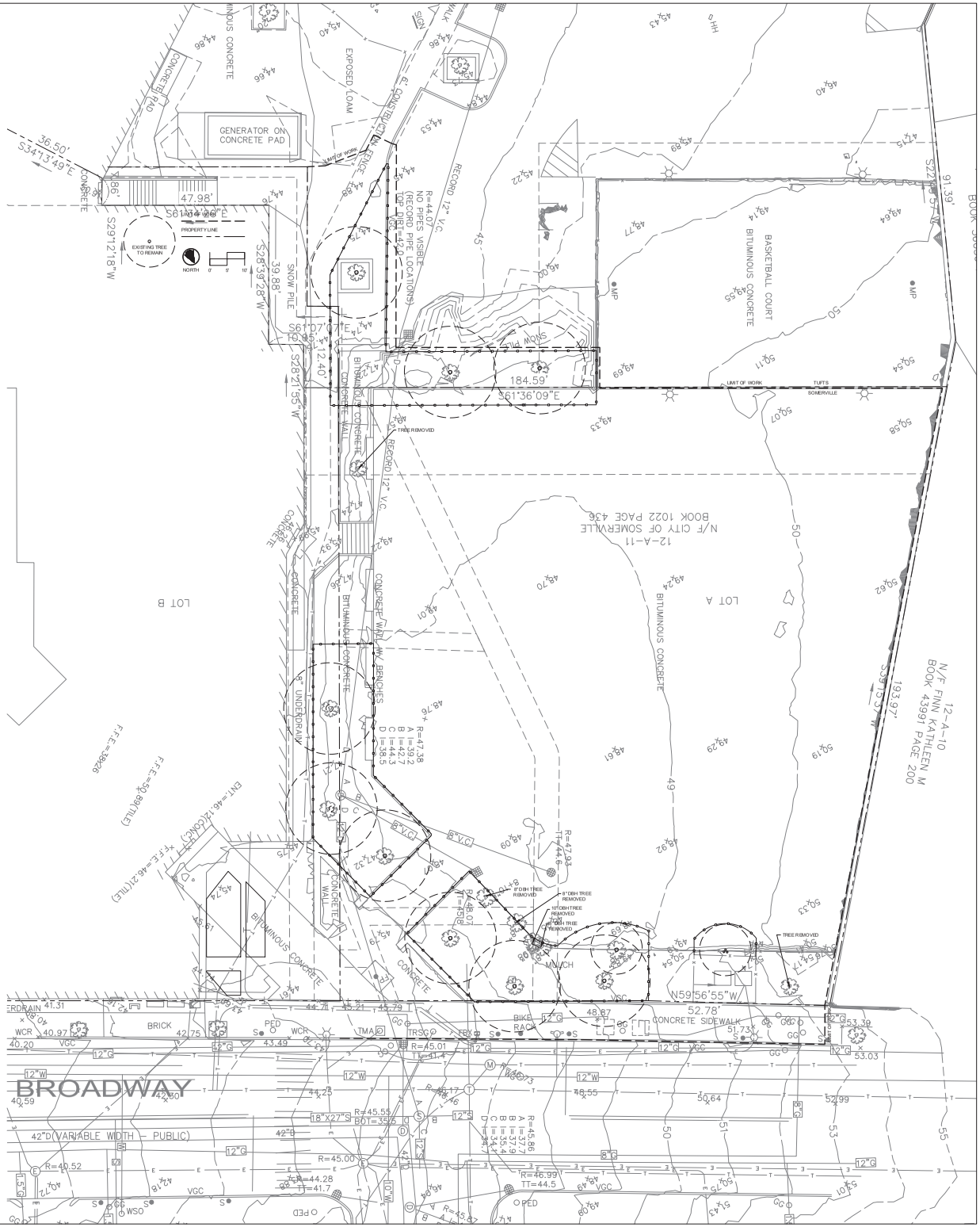
10. Remove trees following TCIA Standards for safety and removal. Trees shall be cut to level with existing grade, as indicated on the Drawings, with stumps and roots removed. All materials removed shall be legally disposed of offsite. Depressions caused by removal of stumps or roots shall be filled and compacted with sandy loam material suitable for filling and compacting. Grade the area around the removed stump flush with surrounding grade, with 6" approved loam.

11. Trees to be removed whose root zones extend into root zones of trees to remain shall have their root zones trench-cut close to the trunk before removal, so as to minimize damage to root zones of trees to remain.

12. Fell trees in a manner that avoids damaging other vegetation or structures.

13. Chipping of trees and branches to produce mulch is optional for re-use on the project.

14. Have any damage done to tree crowns or root systems of trees to remain inspired immediately by an approved tree surgeon at no additional cost. Repair any accidental injuries to the bark, trunk and branches immediately by pruning and trace cutting with a clean, sharp knife.



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PARK SITE PREPARATION PLAN

PROJECT NUMBER: POWDER HOUSE

DRAWING DATE: 04/15/2019

SCALE: AS SHOWN

SHEET: L0.3

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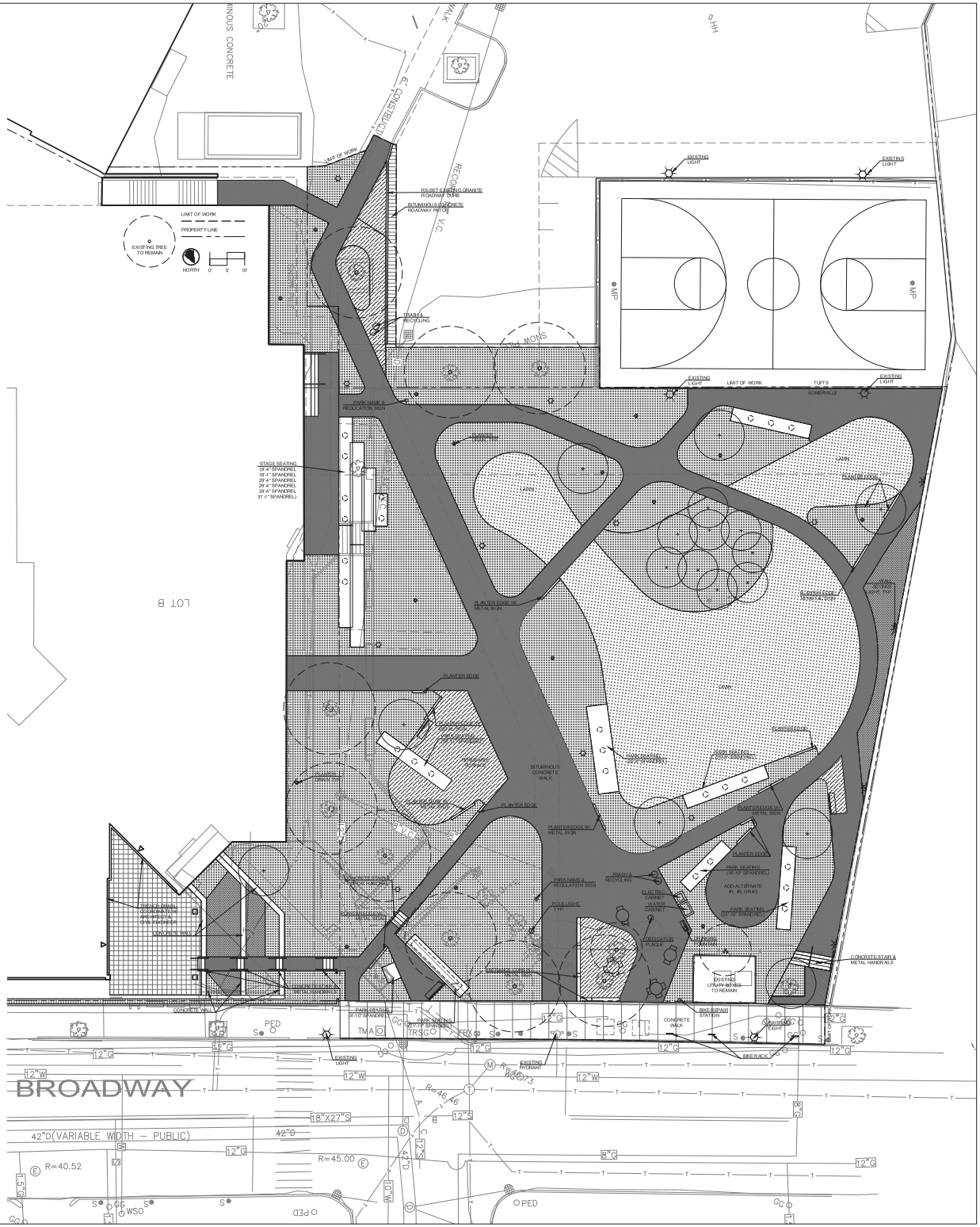
MATERIALS LEGEND

- BITUMINOUS CONCRETE WALK Detail 2/L5.3
- BITUMINOUS CONCRETE ROADWAY PATCH Patch as required to adjust for re-set curb.
- CONCRETE WALK Detail 1/L5.3
- PERMEABLE PAVING Detail 3&4/L5.3
- STONEDUST SURFACE Detail 5/L5.3
- PERMEABLE UNIT PAVERS Detail 6/L5.3
- LAWN Detail 5/L5.4
- PLANT BED Detail 6/L5.4
- CONCRETE STAIR Detail 9/L5.3
- RE-SET GRANITE ROADWAY CURB Re-set existing granite curb to adjust for new surface grading.
- ENTRANCE CURB & METAL SIGN Detail 13/L5.3
- PLANTER EDGE & METAL SIGN Detail 14/L5.3
- METAL HANDRAIL Detail 9/L5.3
- STAGE SEATING 8/L5.3
- PARK SEATING 7/L5.3
- BENCH See Specification
- TABLE SEATING See Specification
- BIKE RACK 15/L5.3
- BIKE REPAIR STATION See Specification
- TRASH & RECYCLING RECEPTACLE Somerville City Standard - Detail L5.3
- PARK SIGNS: NAME & REGULATION 16/L5.3
- DEDICATION PLAQUE 18/L5.3
- DRINKING FOUNTAIN See Specification
- TREE 7/ L5.4
- IRRIGATION See Specification
- POLE LIGHT See Specification and Electrical Drawings
- WALL SCONCE LIGHT See Specification and Electrical Drawings
- ELECTRIC CABINET See Detail 31/L5.4 and Electrical Drawings
- WATER CABINET See Detail 11/L5.4 and Civil Drawings
- PLANTER DRAIN See Detail 31/L5.4 and Civil Drawings
- ADD-ALTERNATE #1 Plant Maintenance - See Specification
- ADD-ALTERNATE #2 Exercise Equipment - See Specification
- ADD-ALTERNATE #3 Water Play - See Specification
- ADD-ALTERNATE #4 Ping Pong Table - See Specification



POWDER HOUSE

1060 BROADWAY
SOMERVILLE, MA 02144

SEBASTIAN MARISCAL STUDIO
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CAMBRIDGE, MA 02139
T: 617.395.1210

GENERAL CONTRACTOR
KAPLAN
T:

LANDSCAPE ARCHITECT
GROUNDVIEW
5 DELL STREET
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NOTE:

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STAMP:

REVISION

REV	DATE	DESCRIPTION
	03/06/17	90% DD
	07/09/18	DD Set
	08/06/18	DD Pricing
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	01/16/2019	Revise City Review
	01/24/2019	Design Update for City
	03/01/2019	50% CD
	04/15/2019	75% CD
	05/13/2019	100% CD

PARK MATERIALS PLAN

PROJECT NUMBER: POWDER HOUSE	SHEET:
DRAWING DATE: 04/15/2019	L1.3
SCALE: AS SHOWN	

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LAYOUT NOTES

1. Layout plan provides layout of all site elements and their foundations. See Utility Plan for location of subgrade utility locations. See Planting Plan for plant material layout.

2. Employ licensed surveyor to verify and layout baselines, centerlines, dimensions and elevations.

3. Report any layout discrepancies to landscape architect immediately for written resolution prior to installation of element.

4. All proposed site elements shall be laid out and staked prior to installation for review and approval by the landscape architect. Any required adjustments to the layout shall be undertaken as required at no additional cost to the owner.

5. Landscape architect will work directly with contractor to establish layout of all site elements and adjust as necessary for field conditions.

6. Dimensions from the corner of site are from property line corners. All layout lines, offsets, or references to locating elements are either: (A) parallel or perpendicular to property lines, (B) designated by angles or dimensions shown in drawings.

7. Dimensions are to wall face, curb face, pavement edge, or centerline of elements or as otherwise noted.

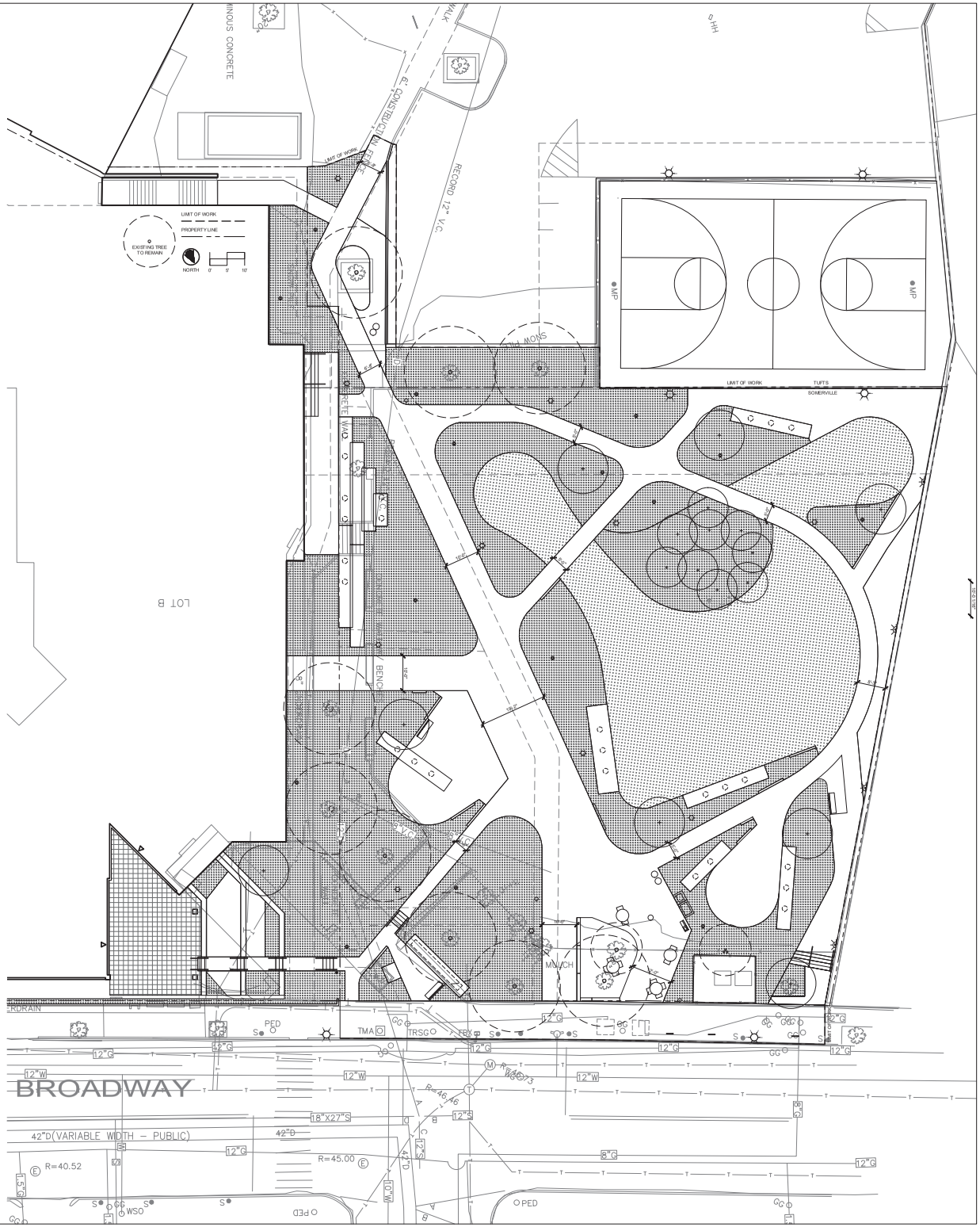
8. Align all edges, joints, surfaces that appear aligned in plan.

9. Units for paving, steps and walls are to be located in quantities and arrangements shown in drawings. Notify landscape architect of conflicts.

10. Unless clearly shown, units for paving, steps and walls should not be cut or ground as a means of achieving dimensions or alignments. Notify landscape architect of conflicts.

11. Centerlines for paths of odd numbered units in width are to center of center unit. Centerlines of even numbered units in width are to center of joint between two centermost units.

12. Offsets between units for paving, steps and walls are to be consistent between adjacent units unless shown.



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PARK LAYOUT PLAN

PROJECT NUMBER: POWDER HOUSE

DRAWING DATE: 04/15/2019

SCALE: AS SHOWN

SHEET: L2.3

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GRADING LEGEND

x(00.00)	EXISTING SPOT GRADE
+ 00.00	PROPOSED SPOT GRADE
TC	TOP OF CURB ELEVATION
BC	BOTTOM OF CURB ELEVATION
TS	TOP OF STAIR ELEVATION
BS	BOTTOM OF STAIR ELEVATION
0.0%	SLOPE
— — —	GRADE BREAK

GRADING NOTES

1. All work relating to installation, renovation or modification of water, drainage and/or sewer services shall be performed in accordance with the standards of the City of Somerville.
2. Contour interval is 1'-0".
3. Grade evenly between grades and contours.
4. All proposed pavements shall meet the line and grade of existing adjacent pavement surfaces.
5. Pitch pavement to provide positive drainage. Notify Landscape Architect before placing: pavement with a pitch of 4.75% or greater; and cross pitch greater than 2% or less than .75%.
6. Rim elevations of drainage and utility structures to be flush with final surrounding grades so not to cause a trip edge.
7. All rough grading will be staked and reviewed in field by Landscape Architect prior to installation.
8. Final grading shall be approved in the field by Landscape Architect.
9. Excavate by hand in proximity to existing utilities and existing structures.
10. See Utility Plan for storm drainage infrastructure.

POWDER HOUSE

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PARK
GRADING PLAN

PROJECT NUMBER: POWDER HOUSE

DRAWING DATE: 04/15/2019

SCALE: AS SHOWN

SHEET: L3.3

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PLANT SCHEDULE

Symbol	Botanical Name	Size
Quantity	Common Name	Notes
	TREES	
Gi Bi	*Gingko biloba 'Fastigiata Blagon'*	2" - 2.5" cal.
9	Goldspire Ginkgo	
Li TU	*Liriodendron tulipifera*	5" - 5.5" cal.
8	Tulip Tree	
	SHRUBS AND PERENNIALS	
My Pe	*Myrica pennsylvanica*	5 gallon pot
266	Bayberry	
Th Oc	*Thuja occidentalis 'Golden Globe'*	5 gallon pot
305	Golden Globe American Arborvitae	
Co Se	*Cornus sericea 'Silver and Gold'*	5 gallon pot
327	Variegated Yellow Twig Dogwood	
Il Ve	*Ilex verticillata 'Winter Gold'*	5 gallon pot
273	Winter Gold Winterberry	
Pe At	*Perovskia atriplicifolia*	1 gallon pot
917	Russian Sage	
Am Hu	*Amsonia hubrichtii*	1 gallon pot
825	Blue Star	
Yu Fi	*Yucca filamentosa 'Color Guard'*	2 gallon pot
492	Variegated Adam's Needle	
LAWN		
6735 sf	*Fescue Mix*	seed
BULBS		
1500	*Allium (500 sm, 500 med, 500 lg)*	bulb

PLANTING NOTES

1. All plant material to be tagged and approved by Landscape Architect prior bringing to the site.

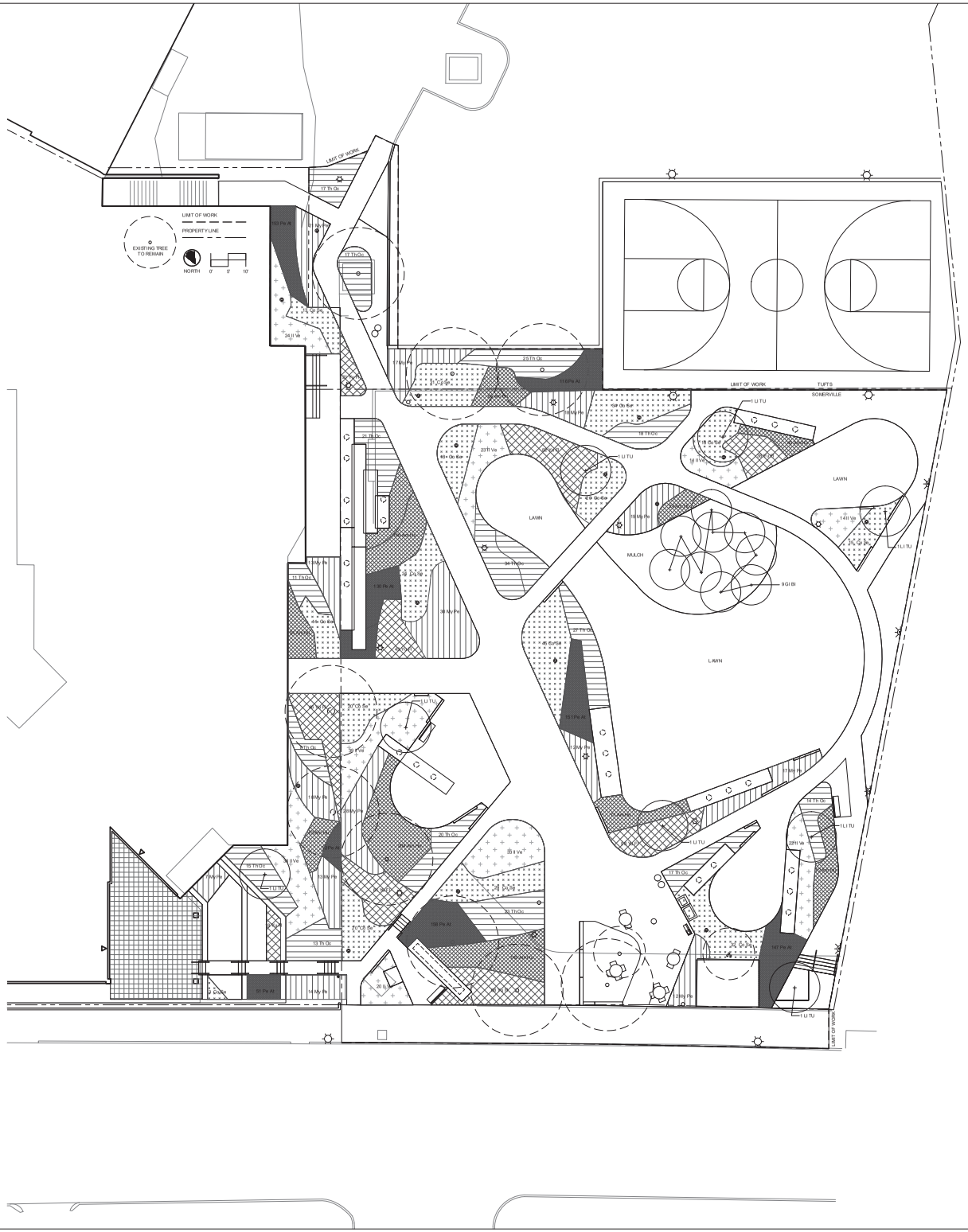
2. The contractor shall identify proposed tree locations prior to placement with a stake and coordinate with the landscape architect to make any necessary adjustments before actual placement. The contractor shall not place new trees directly under overhead wires or above utility lines.

3. The contractor shall layout shrubs, grasses, perennials & bulbs and coordinate with the landscape architect to make any necessary adjustments before planting.

4. Plant locations shown on this plan are approximate only and shall be approved in the field by landscape architect prior to installation.

5. If necessary the contractor shall maintain temporary erosion control blanket during ground cover application until areas are established.

6. All planting areas to be irrigated. Irrigation to be design/build. Irrigation company and design to be approved by landscape architect. 'Pop-up' spray heads for use in lawn areas and 'drip' system in tree wells and planting beds. See Specifications for requirements.



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PARK PLANTING PLAN

PROJECT NUMBER: POWDER HOUSE

DRAWING DATE: 04/15/2019

SCALE: AS SHOWN

SHEET: L4.3

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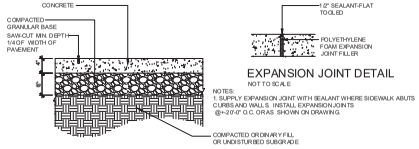
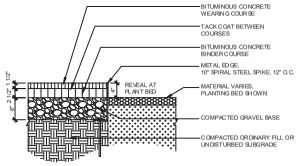


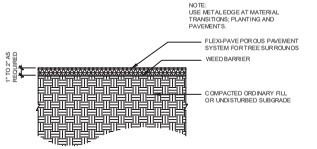
1 CONCRETE WALK

0' .5' 1'



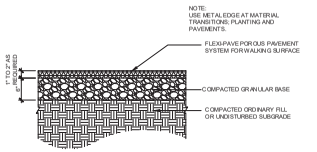
2 BITUMINOUS CONCRETE WALK

0' .5' 1'



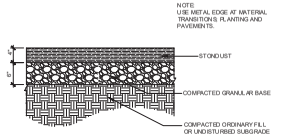
3 PERMEABLE PAVING AT TREE SURROUNDS

0' .5' 1'



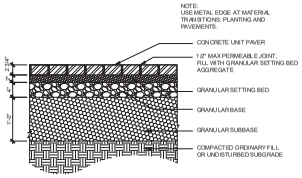
4 PERMEABLE PAVING

0' .5' 1'



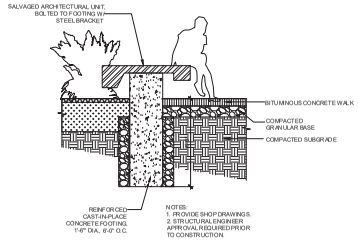
5 STONEDUST SURFACE

0' .5' 1'



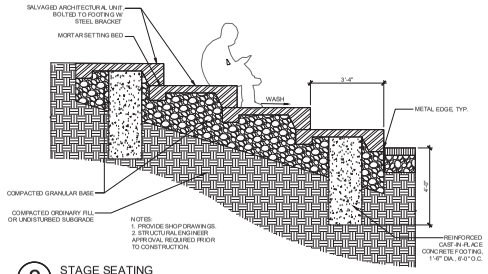
6 PERMEABLE UNIT PAVERS

0' .5' 1'



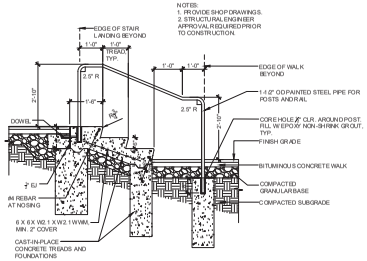
7 PARK SEATING

0' 1' 2'



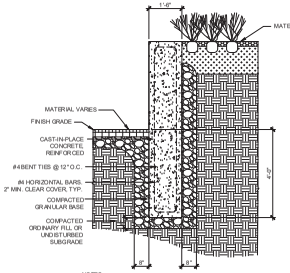
8 STAGE SEATING

0' 1' 2'



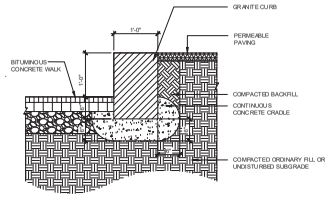
9 CONCRETE STAIR AND METAL HANDRAIL

0' 1' 2'



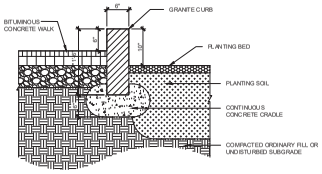
10 CONCRETE WALL

0' 1' 2'



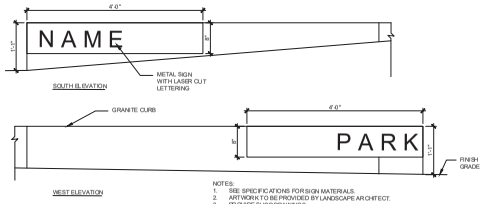
11 ENTRANCE CURB DETAIL

0' .5' 1'



12 PLANTER EDGE DETAIL

0' .5' 1'



13 ENTRANCE CURB

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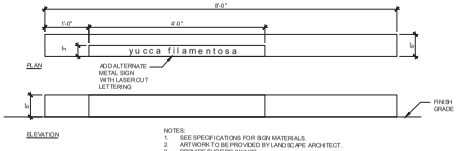
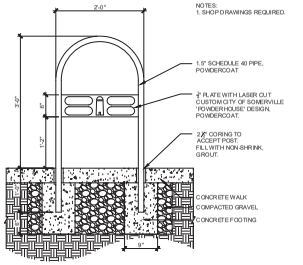


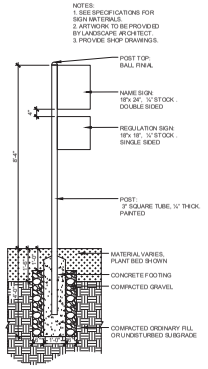
14 PLANTER EDGE

0' .5' 1'



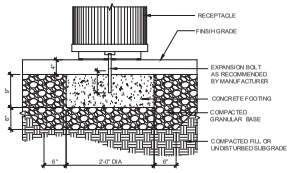
15 BIKE RACK

0' .5' 1'



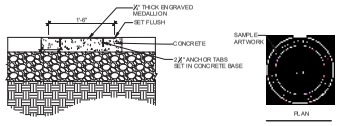
17 PARK SIGNS & POST

0' 1' 2'



16 TRASH AND RECYCLING RECEPTACLE

0' .5' 1'



18 DEDICATION PLAQUE

0' .5' 1'

POWDER HOUSE

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PARK
SITE DETAILS

PROJECT NUMBER POWDER HOUSE	SHEET
DRAWING DATE 04/15/2019	L5.3
SCALE AS SHOWN	

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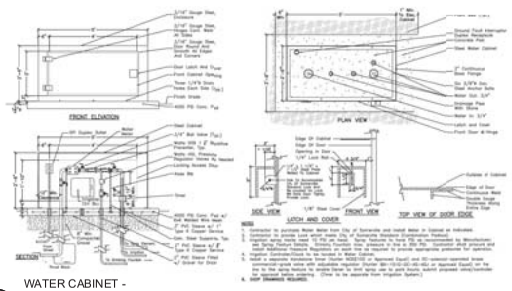
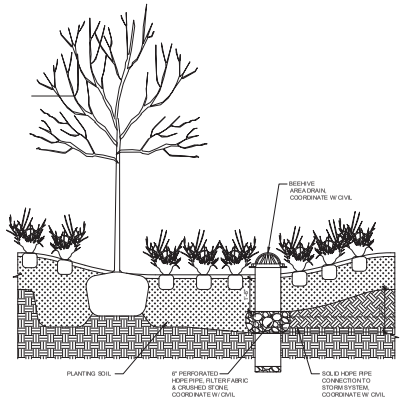


1 WATER CABINET - CITY OF SOMERVILLE STANDARD

N.T.S.

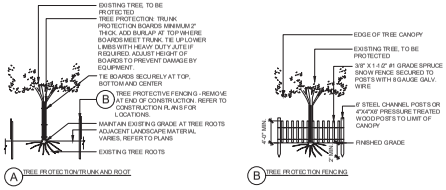
2 ELECTRIC CABINET - CITY OF SOMERVILLE STANDARD

N.T.S.



3 PLANTER DRAIN

0' 1' 2'

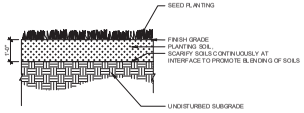


NOTES:
1. INSTALLATION OF FENCING SHALL BE COMPLETED BEFORE CONSTRUCTION VEHICLES ACCESS THE SITE OR ANY OTHER SITE PREPARATION, DEMOLITION, SALVAGE OR CONSTRUCTION COMMENCES.
2. TREE ROOTS SHOULD BE PROTECTED AT LEAST TO THE DRIPLINE (EDGE OF CANOPY) OR AS SHOWN ON PLANS. LAYOUT SHALL BE REVIEWED ON SITE WITH ARBORIST AND LANDSCAPE ARCHITECT.
3. REMOVE ALL BURLAP, BOARDS, TIES AND FENCING IMMEDIATELY AFTER COMPLETION OF CONSTRUCTION FOR FINAL ACCEPTANCE.
4. ALL TREES IMPACTED BY CONSTRUCTION SHALL BE PRUNED, DEEP ROOT WATERED, FERTILIZED AND MULCHED (AS REQUIRED). REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

4 TREE PROTECTION

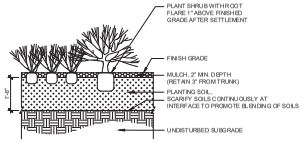
SCALE: 1/8"=1'-0"

0' 4' 8'



5 LAWN PLANTING, TYP.

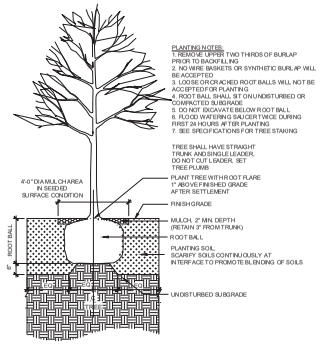
0' 1' 2'



NOTE: WITH ADJACENT SHRUBS, PROVIDE PLANTING SOIL & MULCH IN CONTINUOUS BED

6 SHRUB & PERENNIAL PLANTING, TYP.

0' 1' 2'



7 TREE PLANTING, TYP.

0' 1' 2'

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	08/06/18	DD Pricing
	10/26/2018	Consolidated Pricing
	01/16/2019	Rev Per City Review
	01/24/2019	Design Update for City
	03/01/2019	50% CD
	04/15/2019	75% CD
	05/13/2019	100% CD

LANDSCAPE DETAILS

PROJECT NUMBER: POWDER HOUSE

DRAWING DATE: 04/15/2019

SCALE: AS SHOWN

SHEET: L5.4

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POWDER HOUSE

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NOTE:

DRAWN BY: RC
CHECKED BY: PM

STAMP:

REVISION

REV	DATE	DESCRIPTION

GENERAL NOTES

1. ALL CONDUITS AND EQUIPMENT SHALL BE INSTALLED AND GROUND IN ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE APPLICABLE LOCAL AND NATIONAL CODES.
2. CONDUIT RUNS ARE SHOWN DIAGRAMATICALLY ONLY AND SHALL BE INSTALLED IN A MANNER TO PREVENT CONFLICTS WITH EQUIPMENT AND STRUCTURAL CONDITIONS. EXPOSED CONDUITS SHALL BE INSTALLED PARRALEL TO BEAMS AND WALLS. EMPTY CONDUITS SHALL HAVE NYLON PULL LINE
3. CONDUITS SHALL BE TERMINATED SO AS TO PERMIT NEAT CONNECTIONS TO EQUIPMENT.
4. NO CONDUIT SMALLER THAN 3/4", NOR WIRE SIZE SMALLER THAN NO. 12 A.W.G. FOR POWER SHALL BE USED UNLESS OTHERWISE NOTED.
5. THE WIRING DIAGRAMS, QUANTITY AND SIZE OF THE WIRES AND CONDUIT REPRESENT A SUGGESTED ARRANGEMENT BASED UPON SELECTED STANDARD COMPONENTS OF ELECTRICAL EQUIPMENT. MODIFICATIONS ACCEPTABLE TO THE CONSTRUCTION MANAGER MAY BE MADE BY THE CONTRACTOR TO ACCOMMODATE EQUIPMENT ACTUALLY PURCHASED. THE BASIC SEQUENCE AND METHOD OF CONTROL MUST BE MAINTAINED AS INDICATED ON THE DRAWINGS AND/OR SPECIFICATIONS.
6. ALL PANELBOARDS SHALL BE MOUNTED SO THAT THE DISTANCE FROM THE TOP CIRCUIT BREAKER OPERATING HANDLE TO THE FLOOR SHALL NOT EXCEED 6'-6"
7. LIGHTING FIXTURES SHALL BE MOUNTED ACCORDING TO THE MOUNTING HEIGHT GIVEN ON THE DRAWINGS, WITH THE DISTANCE BEING MEASURED FROM THE BOTTOM OF THE LIGHTING FIXTURE TO THE FINISHED FLOOR.
8. ALL TERMINATION LUGS SHALL BE SIZED ACCORDINGLY TO ACCOMMODATE INDICATED CONDUCTORS.
9. ALL 20 AMPERE, SINGLE POLE CIRCUITS SHALL BE PROVIDED WITH A SEPARATE FULL SIZE NEUTRAL CONDUCTOR.
10. CERTAIN SYMBOLS IN THE SYMBOL LIST DO NOT APPEAR ELSEWHERE IN THE DRAWINGS. SUCH SYMBOLS ARE INCLUDED TO PERMIT INTERPRETATIONS TO BE MADE IN THE EVENT OF DESIGN CHANGES.

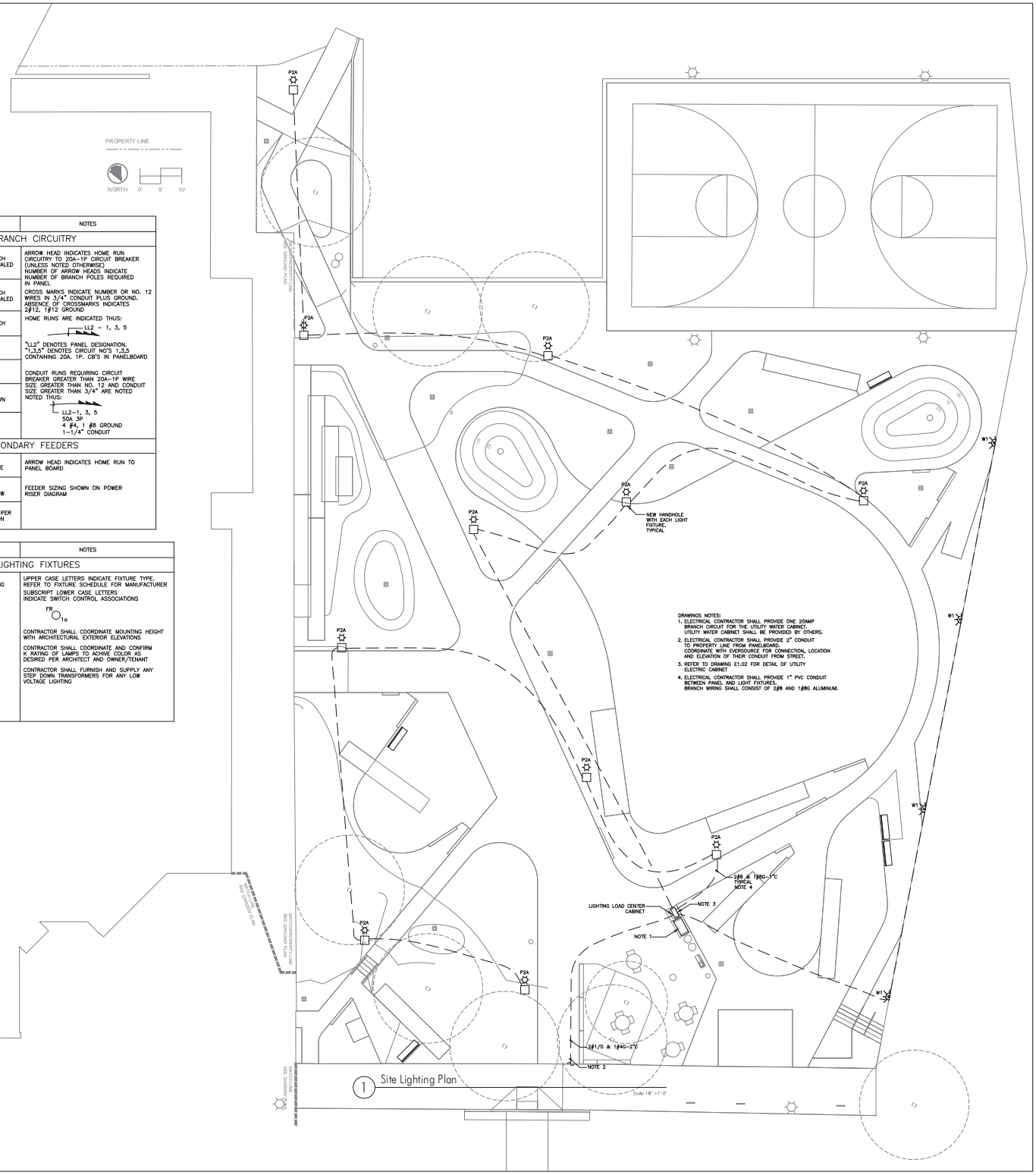
ABBREVIATIONS

ABBR	ABBREVIATIONS		
A/AMP	AMPERE	L	LENGTH
AC	ALTERNATING CURRENT	LP	LIGHTING PANEL
ARCH	ARCHITECTURAL	LTG	LIGHTING
ATC	AUTOMATIC TEMPERATURE CONTROL	M	METER
		MM	MILLIMETER
C	CONDUIT	MCB	MAIN CIRCUIT BREAKER
CAB	CABINET	MFR	MANUFACTURER
CB	CIRCUIT BREAKER	MLO	MAIN LUG ONLY
CKT	CIRCUIT	MISC	MISCELLANEOUS
CL	CENTERLINE	MTD	MOUNTED
CW	COOL WHITE	N	NEUTRAL
		N/C	NORMALLY CLOSED
DET	DETAIL	NEC	NATIONAL ELECTRIC CODE
DIA	DIAMETER		
DISC	DISCONNECT	NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
DN	DOWN		
DP	DISTRIBUTION PANEL		
DWG	DRAWING	N/O	NORMALLY OPEN
		NO	NUMBER
EA	EACH		
EC	ELECTRICAL CONTRACTOR	OC	ON CENTER
EL	ELEVATION	O/C	OVERCURRENT
ELEC	ELECTRIC	OL	OVERLOAD
ES	ENERGY SAVING		
		PH	PHASE
FDR	FEEDER	PNL	PANEL
FLUO	FLUORESCENT	PWR	POWER
GFI	GROUND FAULT INTERRUPTER	RECEPT	RECEPTACLE
GFP	GROUND FAULT PROTECTOR	RPA	RELAY PANEL
GND	GROUND		
		SEC	SECONDARY
HGT	HEIGHT	SP	SPARE
HPS	HIGH PRESSURE SODIUM	SPECS	SPECIFICATIONS
HZ	HERTZ	SW	SWITCH
HV	HIGH VOLTAGE		
		TYP	TYPICAL
IN	INCHES		
		U.N.O.	UNLESS NOTED OTHERWISE
JB	JUNCTION BOX		
		V	VOLTS
KV	KILOVOLT	VA	VOLT AMPERAGE
KVA	KILOVOLT-AMPERES	VT	VAPOR TIGHT
KW	KILOWATT		
		W	WATT ON WIRE
		W/	WITH
		WP	WEATHERPROOF

SYMBOL	DESCRIPTION	NOTES
	JUNCTION BOXES	
J	CEILING MOUNTED JUNCTION BOX	
J	WALL MOUNTED JUNCTION BOX	
J	SURFACE MOUNTED JUNCTION BOX	
J	FLUSH FLOOR MOUNTED JUNCTION BOX	
PB	PULL BOX	
J	JUNCTION BOX WITH FLEXIBLE CONNECTION TO EQUIPMENT	P – DENOTES POWER FEED C – DENOTES COMMUNICATIONS FEED

SYMBOL	DESCRIPTION	NOTES
	BRANCH CIRCUITRY	
	LIGHTING AND APPLIANCE BRANCH CIRCUITRY CONCEALED ABOVE	ARROW HEAD INDICATES HOME RUN CIRCUITRY TO 20A–1P CIRCUIT BREAKER (UNLESS NOTED OTHERWISE) NUMBER OF ARROW HEADS INDICATE NUMBER OF BRANCH POLES REQUIRED IN PANEL CROSS MARKS INDICATE NUMBER OR NO. 12 WIRES IN 3/4" CONDUIT PLUS GROUND. ABSENCE OF CROSSMARKS INDICATES 2#12, 1#12 GROUND HOME RUNS ARE INDICATED THUS: "LL2" DENOTES PANEL DESIGNATION. "1,3,5" DENOTES CIRCUIT NO'S 1,3,5 CONTAINING 20A. 1P. CB'S IN PANELBOARD CONDUIT RUNS REQUIRING CIRCUIT BREAKER GREATER THAN 20A–1P WIRE SIZE GREATER THAN NO. 12 AND CONDUIT SIZE GREATER THAN 3/4" ARE NOTED NOTED THUS: LL2–1, 3, 5 50A 3P 4 #4, 1 #8 GROUND 1–1/4" CONDUIT
	LIGHTING AND APPLIANCE BRANCH CIRCUITRY CONCEALED BELOW	
	LIGHTING AND APPLIANCE BRANCH RUN EXPOSED	
	INDIVIDUAL RUN TURNING UP	
	INDIVIDUAL RUN TURNING DOWN	
	INDIVIDUAL RUN TURNING UP&DOWN	
	SECONDARY FEEDERS	
	FEEDER RUN CONCEALED ABOVE	ARROW HEAD INDICATES HOME RUN TO PANEL BOARD
	FEEDER RUN CONCEALED BELOW	FEEDER SIZING SHOWN ON POWER RISER DIAGRAM
	FEEDER RUN AS PER SPECIFIC NOTATION	

SYMBOL	DESCRIPTION	NOTES
	LIGHTING FIXTURES	
FP 1a	WALL OR POLE MOUNTED LIGHTING FIXTURE	UPPER CASE LETTERS INDICATE FIXTURE TYPE. REFER TO FIXTURE SCHEDULE FOR MANUFACTURER SUBSCRIPT LOWER CASE LETTERS INDICATE SWITCH CONTROL ASSOCIATIONS FR 1a CONTRACTOR SHALL COORDINATE MOUNTING HEIGHT WITH ARCHITECTURAL EXTERIOR ELEVATIONS CONTRACTOR SHALL COORDINATE AND CONFIRM K RATING OF LAMPS TO ACHIVE COLOR AS DESIRED PER ARCHITECT AND OWNER/TENANT CONTRACTOR SHALL FURNISH AND SUPPLY ANY STEP DOWN TRANSFORMERS FOR ANY LOW VOLTAGE LIGHTING
FP 1a		



DRAWINGS NOTES:
1. ELECTRICAL CONTRACTOR SHALL PROVIDE ONE 20AMP BRANCH CIRCUIT FOR THE UTILITY WATER CABINET. UTILITY WATER CABINET SHALL BE PROVIDED BY OTHERS.
2. ELECTRICAL CONTRACTOR SHALL PROVIDE 2" CONDUIT TO PROPERTY LINE FROM PANELBOARD. COORDINATE WITH EVERSOURCE FOR CONNECTION, LOCATION AND ELEVATION OF THEIR CONDUIT FROM STREET.
3. REFER TO DRAWING E1.02 FOR DETAIL OF UTILITY ELECTRIC CABINET
4. ELECTRICAL CONTRACTOR SHALL PROVIDE 1" PVC CONDUIT BETWEEN PANEL AND LIGHT FIXTURES. BRANCH WIRING SHALL CONSIST OF 2#8 AND 1#8G ALUMINUM.

1 Site Lighting Plan

ELECTRICAL SITE LIGHTING PLAN & LEGEND

PROJECT NUMBER POWDER HOUSE	SHEET
DRAWING DATE 04/11/19	E1.01
SCALE 1/8" = 1'-0"	

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LIGHTING FIXTURE SCHEDULE							
TYPE	DESCRIPTION	MANUFACTURER & CATALOG NUMBER	LAMPS		INPUT		REMARKS
			NUMBER	TYPE	VOLTS	WATTS	
P2A	DOMUS SMALL	LUMEC: DCS-55W32LED3K-T-LE2F-120-YM-[FAWS-040]-COLTX	1	LED	120	55W	SEE NOTES BELOW – –
W1	LED WALL SCONCE 101 SERIES	GARDCO: 101L-16L-530-NW-G1-3	1	LED	208	65W	SEE NOTES BELOW – –

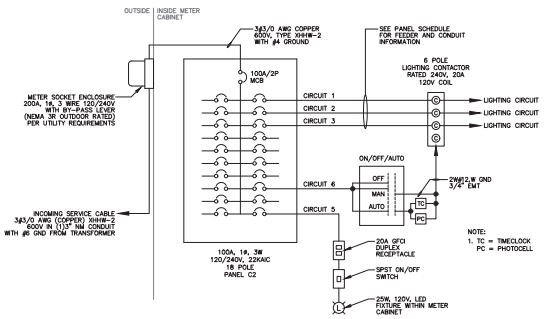
FIXTURE SCHEDULE NOTES:

1. ELECTRICAL CONTRACTOR SHALL CONFIRM FIXTURE, POLE BASE, COVER COLOR/FINISH, AND LAMP COLOR WITH LANDSCAPE ARCHITECT.
2. CONTRACTOR SHALL CONFIRM QUANTITY AND LOCATION OF FIXTURES WITH SITE/CIVIL ENGINEER AND LANDSCAPE ARCHITECT.
3. CONTRACTOR SHALL CONFIRM MOUNTING HEIGHT OF GFCI RECEPTACLE WITH LANDSCACPE ARCHITECT.

LOAD CENTER PANEL SCHEDULE – C1

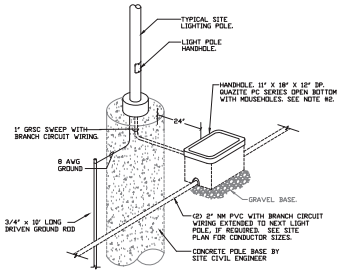
PHASE: 1 WIRES: 3 VOLTAGE: 120/240 MAINS: 100AMCB

CIRCUIT	BREAKER			DESCRIPTION OF LOAD	CABLE	CONDUIT	COMMENTS
	FRAME	POLES(N-NEUTRAL)	TRIP				
M	100	2P	100	MAIN CIRCUIT BREAKER			
1	100	2P	20	NEW LIGHTING CIRCUIT C1-1			
2	100	2P	20	NEW LIGHTING CIRCUIT C1-2			
3	100	2P	20	NEW LIGHTING CIRCUIT C1-3			
4	100	1P	20	RECEPTACLE IN CABINET			
5	100	1P	20	ON/OFF/AUTO CONTROL IN CABINET			
6	100	1P	20	TIMECLOCK IN CABINET			
7	100	1P	20	IRRIGATION CABINET POWER			
8							
9							
10							
11							
12							



1 Lighting Load Center Riser Detail

Scale: None

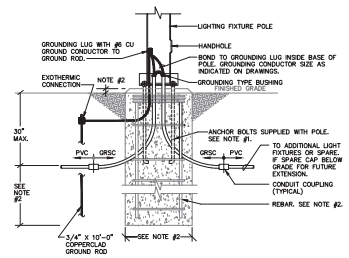


NOTES:

1. INSTALLATION TYPICAL FOR LANDSCAPED OR PAVED SIDEWALK AREAS. HANDHOLE SHALL NOT BE LOCATED IN TRAFFIC AREAS. COORDINATE COVER AND FRAME COLOR OF HANDHOLE WITH ARCHITECT.
2. PROVIDE IN-LINE, WATERPROOF FUSE HOLDER-BUSS "TRON", TYPE HEB OR HEX, AS REQUIRED.
3. REFER TO TYPICAL LIGHT POLE BASE DETAIL.

2 Site Lighting/Fixture Handhole Detail

Scale: None



NOTES:

1. BOLT PATTERN SHOWN IS TYPICAL AND NOT FOR CONSTRUCTION. CONTRACTOR SHALL PROVIDE BOLT PATTER DETAILS BASED ON SELECTED MANUFACTURER.
2. REFER TO SITE CIVIL ENGINEER FOR POLE BASE HEIGHT, SIZE AND REBAR REQUIREMENTS.
3. COORDINATE EXACT ANCHOR BOLT REQUIREMENTS WITH SITE CIVIL ENGINEER e.g. BREAK-AWAY TYPE.

3 Site Lighting Pole Base Detail

Scale: None

POWDER HOUSE

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NOTE:

DRAWN BY: RC
CHECKED BY: PM

STAMP:

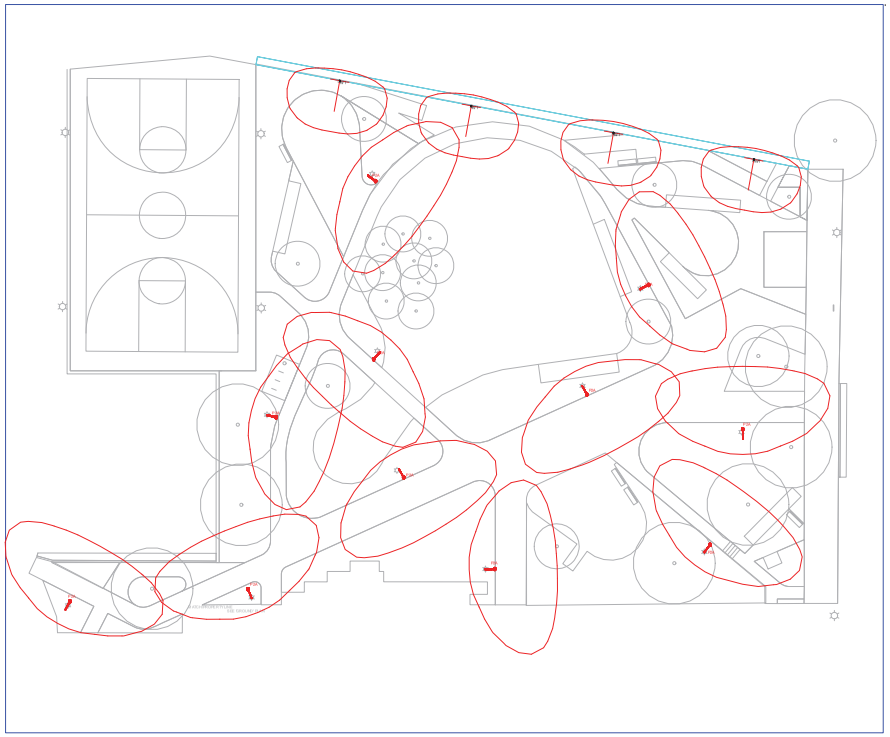
REVISION

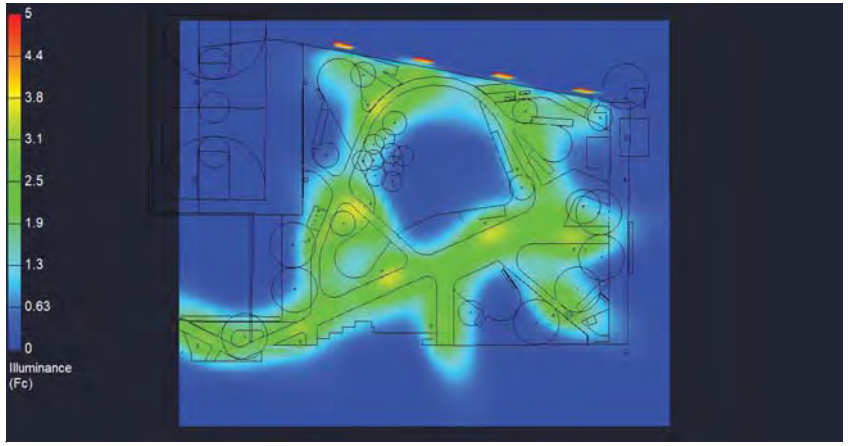
REV	DATE	DESCRIPTION

ELECTRICAL SITE LIGHTING DETAILS

PROJECT NUMBER: POWDER HOUSE
DRAWING DATE: 04/11/19
SCALE: AS NOTED
SHEET: E1.02

SEBASTIAN MARISCAL STUDIO 2019





Luminaire Schedule						
Qty	Label	Manufacturer	Series	Catalog #	BUG Rating	IES Class
11	P2A	Lumec	Domus Small	DOS-55W32LED3K-T-LE2F	B1-U0-G1	Type II
4	W1	Gardco	101 Series	101L-16L-530-NW-G1-3	B1-U0-G1	Type III

GENERAL DISCLAIMER:

Calculations found herein are made based upon lighting IES standards and good practice. The site utilizes room between measured values and calculated results may occur due to false assumptions in calculation or efficient, existing personal uses, comp assumed per-form areas, measurement techniques and field conditions such as ceiling and the reflectance. Input data used is generally the a Attached calculations so all as room dimensions, ceiling heights, and reflectance information is assumed unless noted on the lighting calculations. If the end use or commercial use deems do not match the input data a difference in will occur between mea sured values and calculated values.

LLF Dirtiest-end Living Curve of 6 % Added Loss Ok!

NOTE TO REVIEWER:

Total Light Loss factor (LLF) applied at the time of design is dete mined by applying the manufacturer's published lamp lumen data curve at lamp m anufacturer's catalog, a Luminaire Dirt Depreciation Factor (LDD) based on IES recom mended values and a Ballast Factor (BF) from curr ent ballast specification sha eets. Pg plus loss of an income & Light Loss F actor (LF) will result f rescaled of g which mance that I will not occur ably depict actual r esults.

For proper comparison of photo metric layouts, I is wise vital that you ir sist all designers use correct Light Loss Fa ctors.

REVISIONS:

REV. xx

APEX LIGHTING SOLUTIONS

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FAX 08 MILE 860.632.8256

PROJECT TITLE:

Somerville - PHL Project

DRAWING TITLE:

OPTION C- DOMUS SMALL 16' POLE & WALL SCONCE
PHOTOMETRIC CALCULATION

SCALE: **NTS**

DATE: **02/27/2019**

DRAWN BY: **DP**

SHEET:

L-1.02