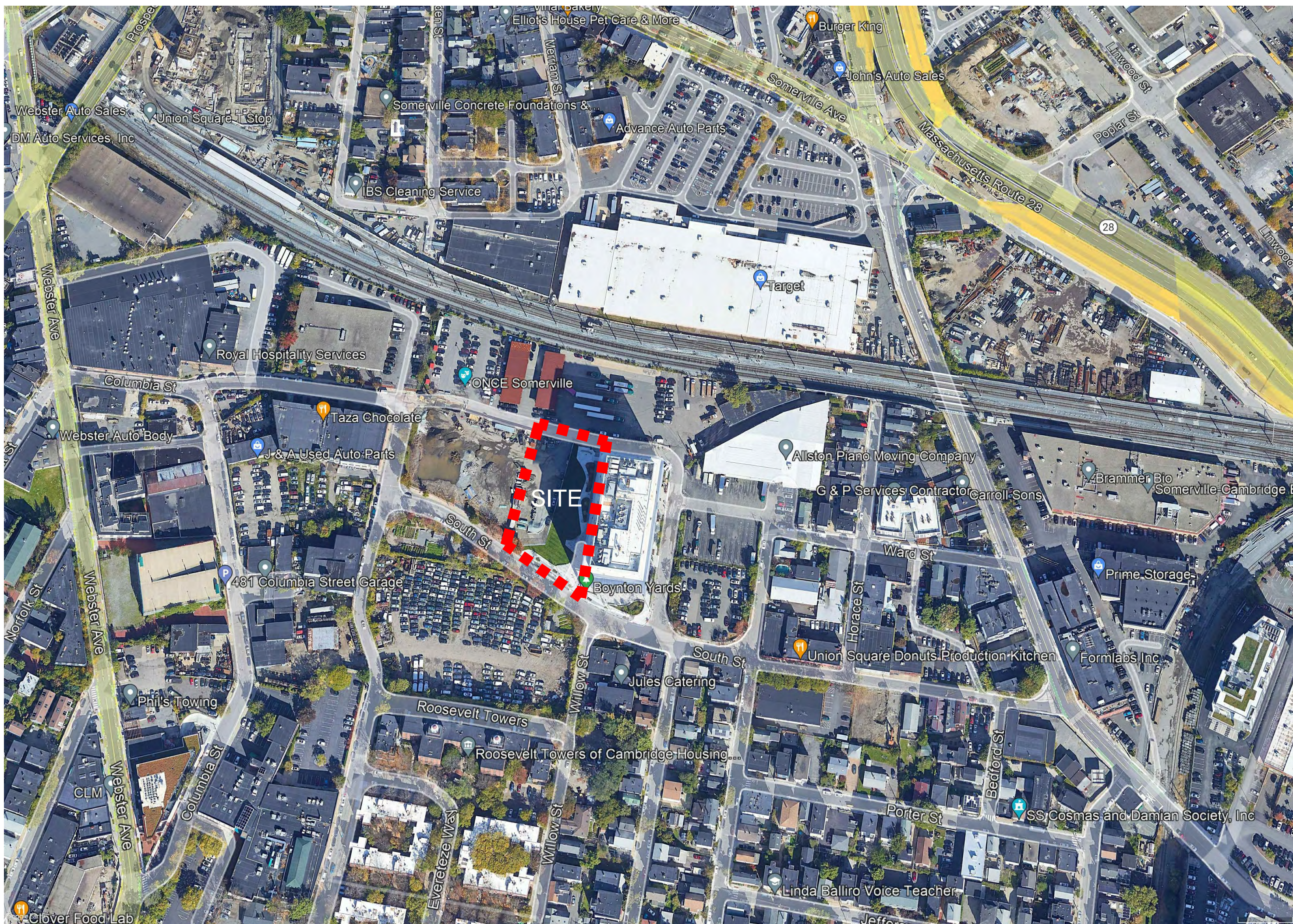


# BOYNTON YARDS CIVIC SPACE 1

## 100% CONSTRUCTION DOCUMENTS

LOCUS MAP



SITE VIEW



ILLUSTRATIVE SITE PLAN



BOYNTON YARDS CIVIC SPACE 1 SHEET INDEX		
SHEET #	SHEET TITLE	PREPARED BY
COVER		
EX1.00	EXISTING CONDITIONS PLAN	COPLEY WOLFF DESIGN GROUP
L1.00	SITE PREPARATION PLAN	COPLEY WOLFF DESIGN GROUP
L2.00	MATERIALS PLAN	COPLEY WOLFF DESIGN GROUP
L3.00	LAYOUT PLAN	COPLEY WOLFF DESIGN GROUP
L4.00	GRADING PLAN	COPLEY WOLFF DESIGN GROUP
L5.00	PLANTING PLAN	COPLEY WOLFF DESIGN GROUP
L6.00	LANDSCAPE DETAILS	COPLEY WOLFF DESIGN GROUP
L6.01	LANDSCAPE DETAILS	COPLEY WOLFF DESIGN GROUP
L6.02	LANDSCAPE DETAILS	COPLEY WOLFF DESIGN GROUP
L6.03	LANDSCAPE DETAILS	COPLEY WOLFF DESIGN GROUP
L6.05	CIVIC PLATFORM (FOR REFERENCE ONLY)	COPLEY WOLFF DESIGN GROUP
C1	LEGEND & GENERAL NOTES	VHB
C2	UTILITY PLAN	VHB
C3	UTILITY DETAILS	VHB
E11	ELETRICAL PLAN	BR+A CONSULTING ENGINEERS
E12	PHOTOMETRICS PLAN	BR+A CONSULTING ENGINEERS
E21	ELETRICAL DETAILS	BR+A CONSULTING ENGINEERS
IR1	IRRIGATION PLAN	AQUEOUS CONSULTANTS
IR2	IRRIGATION DETAILS	AQUEOUS CONSULTANTS
IR3	IRRIGATION DETAILS	AQUEOUS CONSULTANTS
IR4	WATER FEATURE LAYOUT PLAN	AQUEOUS CONSULTANTS
IR5	SPLASH PAD DRAINAGE PLAN & SECTION	AQUEOUS CONSULTANTS
IR6	WATER FEATURE DETAILS	AQUEOUS CONSULTANTS
IR7	WATER FEATURE DETAILS	AQUEOUS CONSULTANTS
IR8	WATER FEATURE DETAILS	AQUEOUS CONSULTANTS
IR9	WATER FEATURE DETAILS	AQUEOUS CONSULTANTS

PREPARED BY:

### LANDSCAPE ARCHITECT

COPLEY WOLFF DESIGN GROUP  
10 POST OFFICE SQUARE, SUITE 1315  
BOSTON, MA 02109

IN COLLABORATION WITH:

### SURVEYOR

FELDMAN GEOSPATIAL  
152 HAMPDEN STREET  
BOSTON, MA 02119

### CIVIL ENGINEER

VANASSE HANGEN BRUSTLIN, LLC.  
99 HIGH STREET  
BOSTON, MA 02110

### ELECTRICAL ENGINEER

BR+A CONSULTING ENGINEERS  
10 GUEST STREET, 4th FLOOR  
BOSTON, MA 02135

### IRRIGATION & SPLASH PAD CONSULTANT

AQUEOUS CONSULTANTS  
2 DUNDEE PARK DRIVE,  
ANDOVER, MA 01810

PREPARED BY:

Copley  
Wolff

PROJECT NAME / CLIENT:

BOYNTON YARDS - CIVIC SPACE 1  
111 SOUTH STREET, SOMERVILLE, MA

CWDG PROJECT NUMBER: 2036

ISSUANCES:

REV # DATE DESCRIPTION

STAMP:

100% CD SET

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COVER

DRAWN BY: AML

CHECKED BY: IR

SCALE:

DATE: 03/10/2023

SHEET 1 OF 11

DRAWING NUMBER:

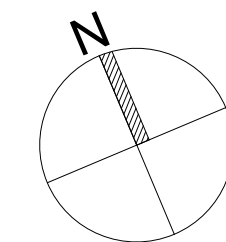
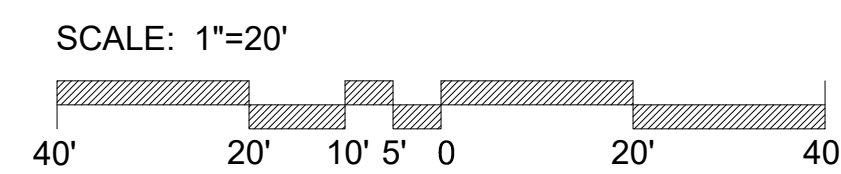
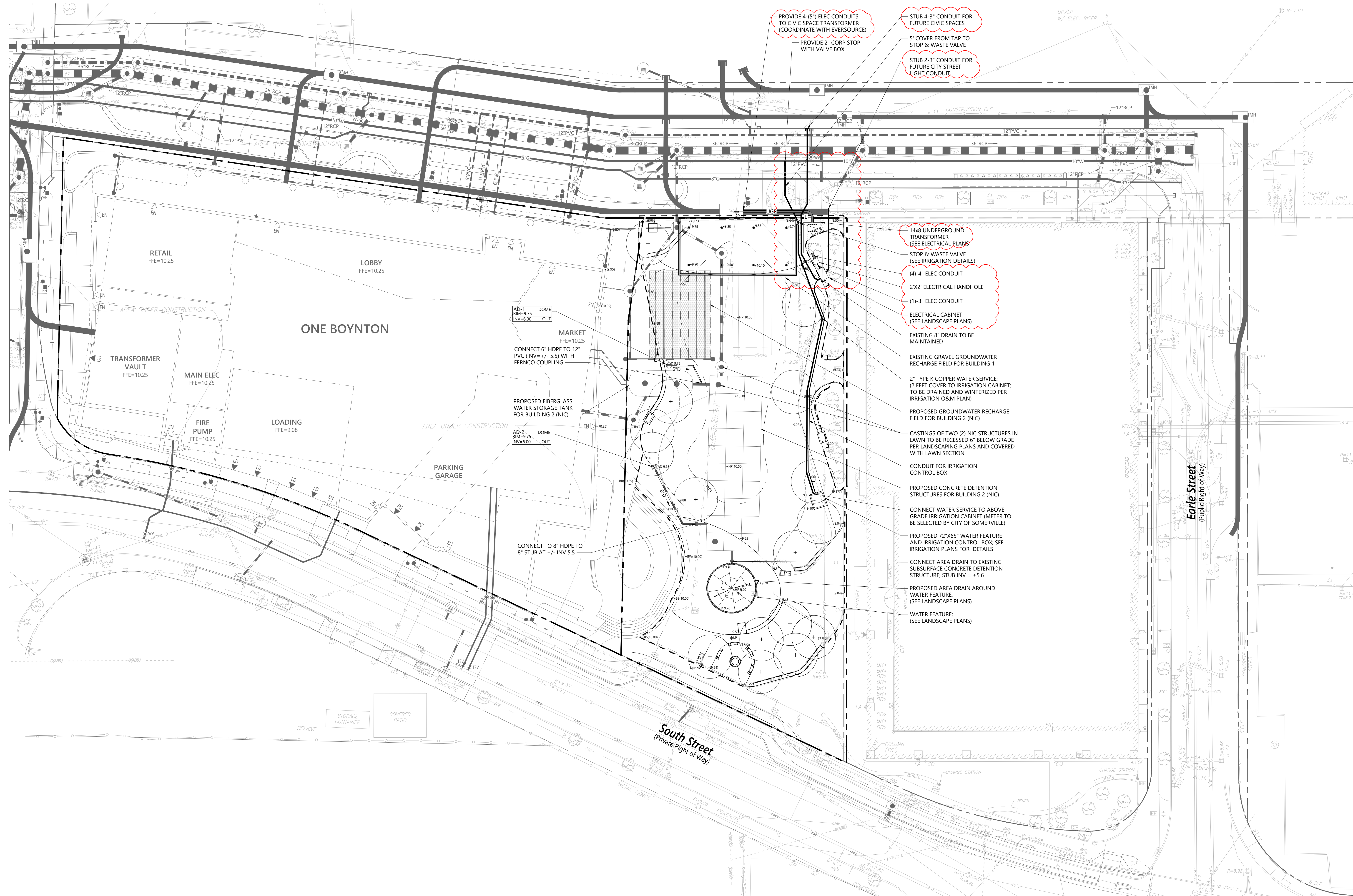
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PREPARED BY:



Copley Wolff Design Group  
Landscape Architects & Planners

PROJECT NAME / CLIENT:

# BOYNTON YARDS - CIVIC SPACE 1

111 SOUTH STREET, SOMERVILLE, MA

CWDG PROJECT NUMBER: 2036

ISSUANCES:

REV #	DATE	DESCRIPTION
02	05.22.23	ADDENDUM #2

STAMP:

100% CD SET

DRAWING TITLE:

UTILITY PLAN

DRAWN BY: RA

CHECKED BY: JVC

SCALE: 1" = 20'

DATE: 3/10/2023

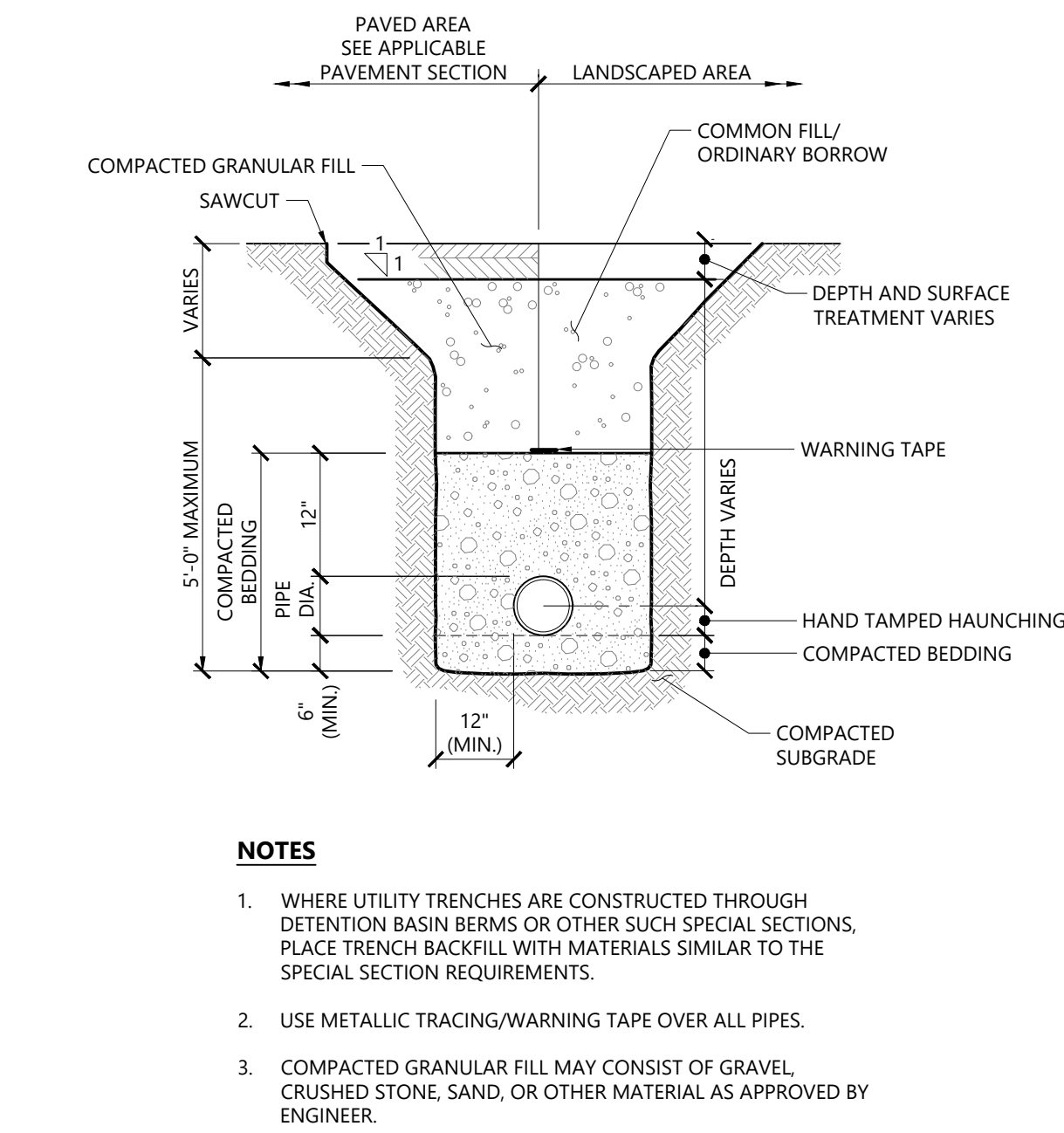
SHEET 2 OF 3

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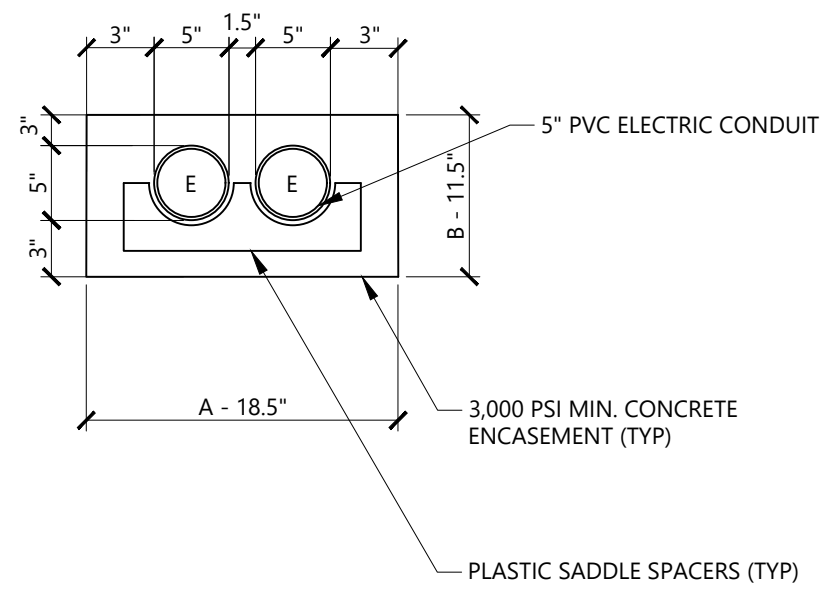
C-2



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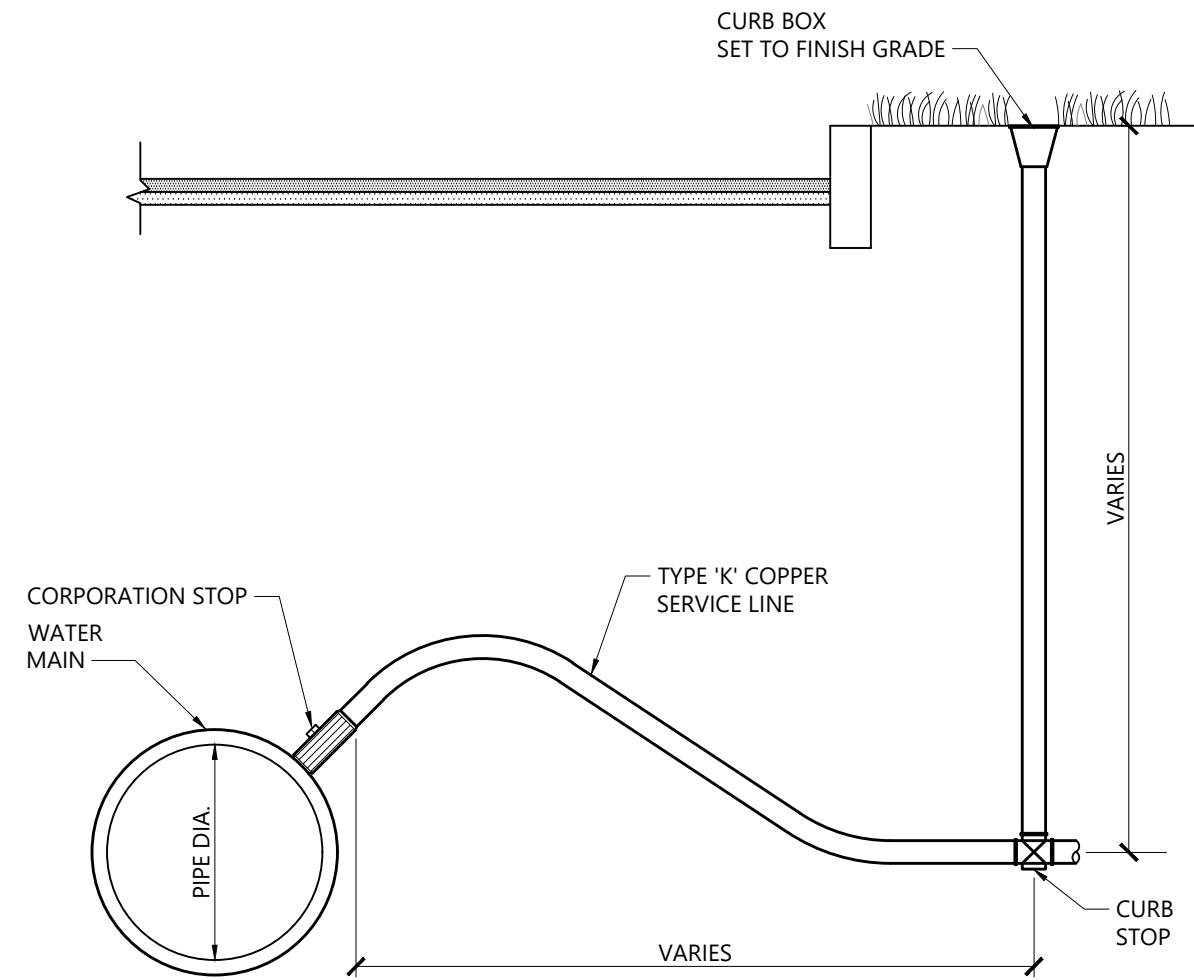


**Utility Trench** 11/19  
N.T.S. Source: VHB LD\_300



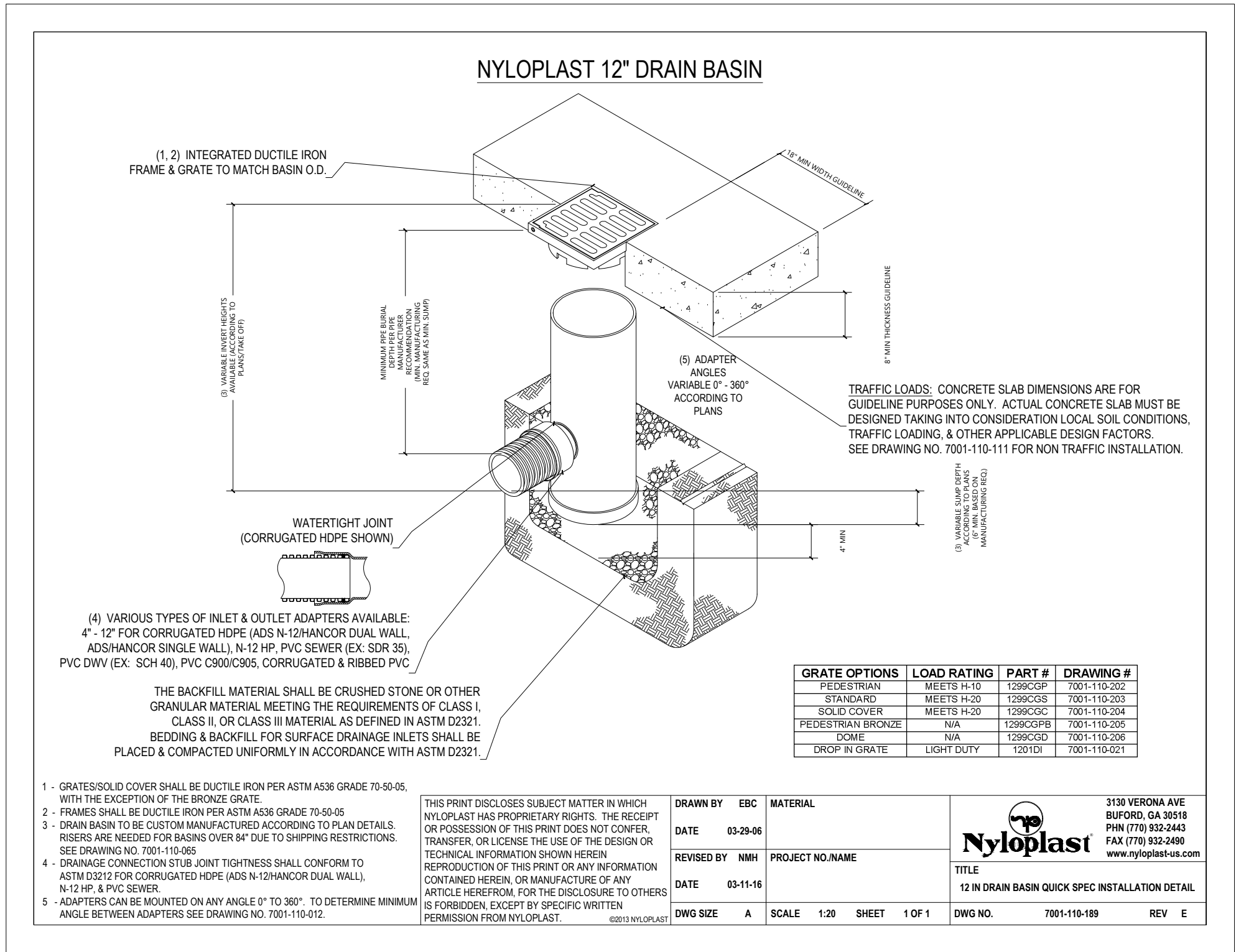
- NOTES**
- DIMENSIONS INDICATED ARE MINIMUM, UNLESS OTHERWISE NOTED. DIMENSIONS A & B ARE MINIMUM TOTALS NOTED IN EVERSOURCE SPECIFICATIONS.
  - REBAR CAN BE USED PER EVERSOURCE SPECIFICATIONS IF DEEMED NECESSARY BY CONTRACTOR AND/OR PROVIDER
  - GROUNDING PER EVERSOURCE SPECIFICATIONS IF APPLICABLE.

**Electric Ductbank - (2) 5" Conduit**  
N.T.S. Source: VHB



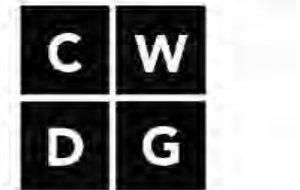
- NOTES**
- INSTALLATIONS SHALL CONFORM WITH MUNICIPAL WATER WORKS SPECIFICATIONS AND STANDARDS.

**Corporation/Curb Stop with Box** 1/16  
N.T.S. Source: VHB LD\_256



**12" Nyloplast Area Drain**  
N.T.S. Source: Nyloplast

PREPARED BY:



Copley Wolff Design Group  
Landscape Architects & Planners

PROJECT NAME / CLIENT:

# BOYNTON YARDS - CIVIC SPACE 1

111 SOUTH STREET, SOMERVILLE, MA

CWDG PROJECT NUMBER: 2036

ISSUANCES:

REV # DATE DESCRIPTION

STAMP:

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DRAWING TITLE:

UTILITY  
DETAILS

DRAWN BY: RA

CHECKED BY: JVC

SCALE: NTS

DATE: 3/10/2023

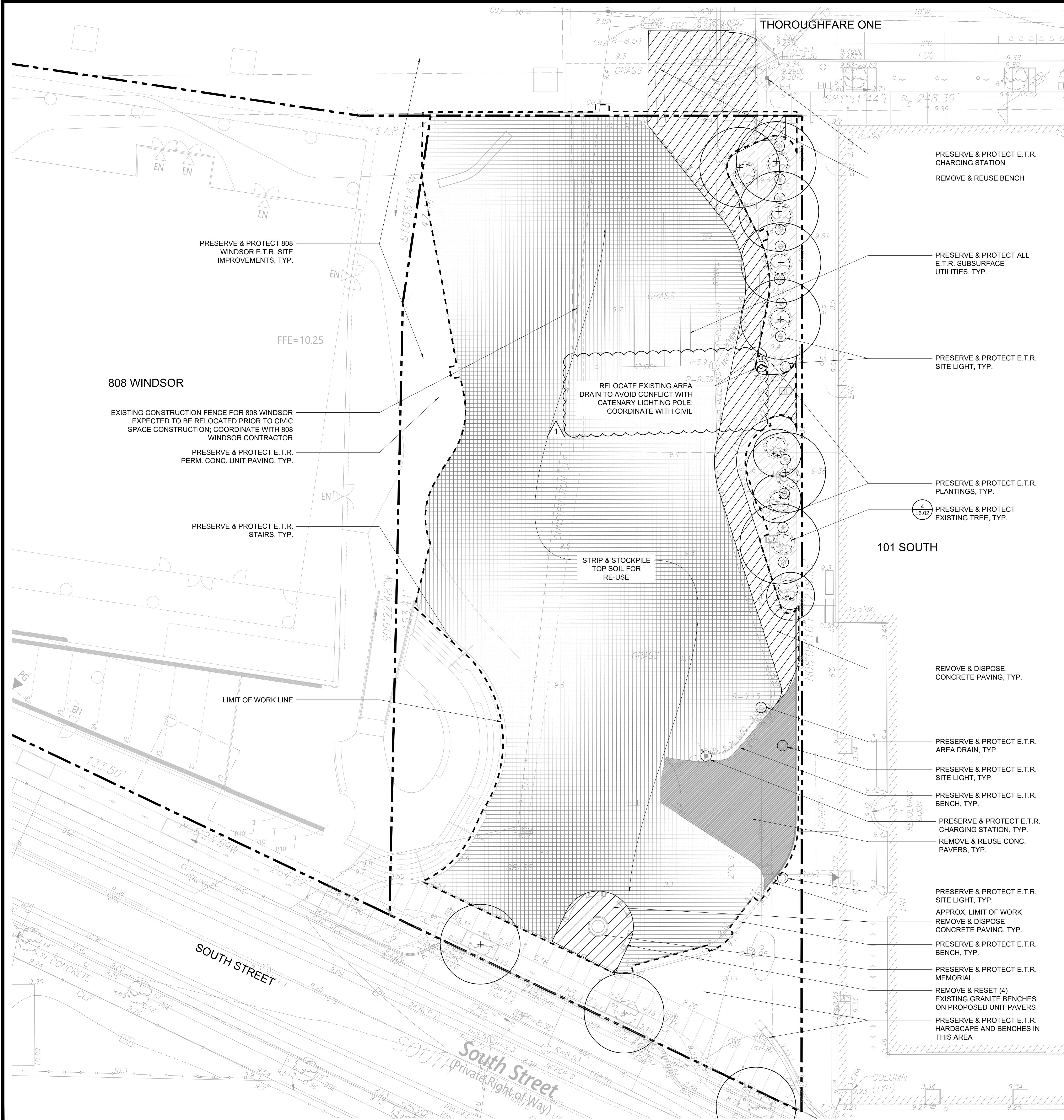
SHEET 3 OF 3

DRAWING NUMBER:

C-3



4/27/2023 11:04:21 AM - T:\2036 BOYNTON YARDS PUBLIC COMMON W.D.L.J. - LMP\CONSTRUCTION DRAWINGS\CURRENT CWDG DRAWINGS\BY CIVIC PLANS DWG - MICHAEL MACMULTRY



SITE PREPARATION NOTES

1. REMOVAL OF ANY WORK OR ITEM SHALL INCLUDE OFFSITE LEGAL DISPOSAL OF SAME, UNLESS OTHERWISE INDICATED. ALL REMOVAL AND DISPOSAL WORK SHALL BE PERFORMED IN A SAFE LEGAL MANNER.
2. THE CONTRACTOR SHALL RELOCATE ALL ITEMS SCHEDULED TO REMAIN AWAY FROM THE CONSTRUCTION AREA AND PROTECT AGAINST DUST AND MOISTURE AS NECESSARY. FOLLOWING CONSTRUCTION, THE CONTRACTOR SHALL RETURN THESE ITEMS UNDAMAGED TO THEIR ORIGINAL LOCATIONS. ANY ITEM DAMAGED BY THE CONTRACTOR SHALL BE REPLACED IN KIND AT NO COST TO THE OWNER.
3. ALL EXISTING TREES AND SHRUBS SHOWN ARE FOR REFERENCE ONLY. THE CONTRACTOR SHALL REMOVE TREES, SHRUBS, AND OTHER VEGETATION IN THE WORK AREA ONLY AS APPROVED ON THE DRAWINGS OR WITH PRIOR WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT. EVERY EFFORT SHALL BE MADE TO MINIMIZE THE AMOUNT OF VEGETATION DISTURBED. THE CONTRACTOR SHALL REPLACE ALL DAMAGED VEGETATION TO REMAIN IN KIND FOLLOWING THE COMPLETION OF THE WORK. NEWLY PLANTED TREES SHALL BE IN ACCORDANCE WITH THE PROJECT PLANTING PLANS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL TREES AND SHRUBS.
4. THE CONTRACTOR SHALL RESTORE ALL LANDSCAPING AND HARDSCAPING AFFECTED BY THE DEMOLITION AND CONSTRUCTION ACTIVITIES IN KIND, AT NO ADDITIONAL EXPENSE TO THE OWNER. THE CONTRACTOR SHALL PROVIDE TREE PROTECTION AS SPECIFIED IN THE DETAILS FOR ALL TREES TO BE PRESERVED IN THE WORK AREA.
5. ALL MATERIALS STOCKPILED DURING THE WORK SHALL BE PLACED IN A DESIGNATED LOCATION THAT PREVENTS EROSION, SEDIMENTATION AND COMPACTION. THE CONTRACTOR SHALL STOCKPILE MATERIALS IN AN AREA ON-SITE. STOCKPILE LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT.
6. THE CONTRACTOR'S DISPOSAL PRACTICE OF ALL EXCESS MATERIAL SHALL COMPLY WITH ALL FEDERAL, STATE, AND MUNICIPAL WASTE MANAGEMENT LAWS AND REGULATIONS.
7. ANY ITEM OR STRUCTURE DAMAGED BEYOND THE LIMITS OF WORK SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT HIS OR HER OWN EXPENSE.
8. PROVIDE SHORING OR UNDERPINNING AS NECESSARY TO PROTECT EXISTING STRUCTURES.
9. EXISTING STRUCTURES, LANDSCAPING, AND HARDSCAPING ARE PRESENT IN AND BEYOND THE LIMITS OF WORK BUT NOT NECESSARILY SHOWN HEREON. THE CONTRACTOR SHALL PROTECT ALL EXISTING FEATURES IN PLACE DURING THE ENTIRE DURATION OF THE PROJECT.
10. AN EROSION CONTROL BARRIER SHALL BE INSTALLED ALONG THE EDGE OF THE PARK PRIOR TO THE COMMENCEMENT OF DEMOLITION OR CONSTRUCTION OPERATIONS. THE EROSION CONTROL LINE AS SHOWN IS A MINIMUM REQUIREMENT, ADDITIONAL EROSION CONTROL MEASURE MAY BE REQUIRED AS CONDITIONS WARRANT.
11. CONTRACTOR TO PROTECT EXISTING SIGNS TO REMAIN. ADDITIONALLY, ALL EXISTING LIGHT POLES SHALL BE PROTECTED DURING CONSTRUCTION, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
12. PRIOR TO THE START OF CONSTRUCTION, NOTIFY "DIG-SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY SITE DEMOLITION OR EXCAVATION.
13. ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO STATE AND LOCAL REQUIREMENTS, INCLUDING BUT NOT LIMITED TO THE CITY OF BOSTON, THE COMMONWEALTH OF MASSACHUSETTS, AND ANY OTHER AGENCIES HAVING JURISDICTION.
14. NO EQUIPMENT, VEHICLES OR STOCKPILES MAY BE PLACED WITHIN THE DRIPLINES OF EXISTING TREES.
15. ALL WORK WITHIN THE DRIPLINES OF TREES TO REMAIN IS TO BE HAND DUG OR AIR SPADE.
16. TREE PROTECTION TO BE INSTALLED BEFORE DEMOLITION COMMENCES.

SITE PREPARATION LEGEND

- STRIP AND STOCKPILE TOPSOIL FOR REUSE
- REMOVE AND REUSE CONC. PAVERS

PREPARED BY:

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PROJECT NAME / CLIENT:

BOYNTON YARDS - CIVIC SPACE 1  
111 SOUTH STREET, SOMERVILLE, MA

CWDG PROJECT NUMBER: 2036

ISSUANCES:

REV #	DATE	DESCRIPTION
01	04.26.23	ADDENDUM #1

STAMP:

100% CD SET

DRAWING TITLE:  
SITE  
PREPARATION  
PLAN

DRAWN BY: AML  
CHECKED BY: IR

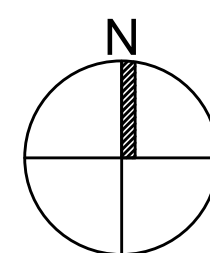
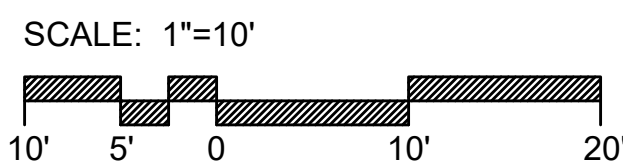
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DATE: 04/26/2023

SHEET 3 OF 11

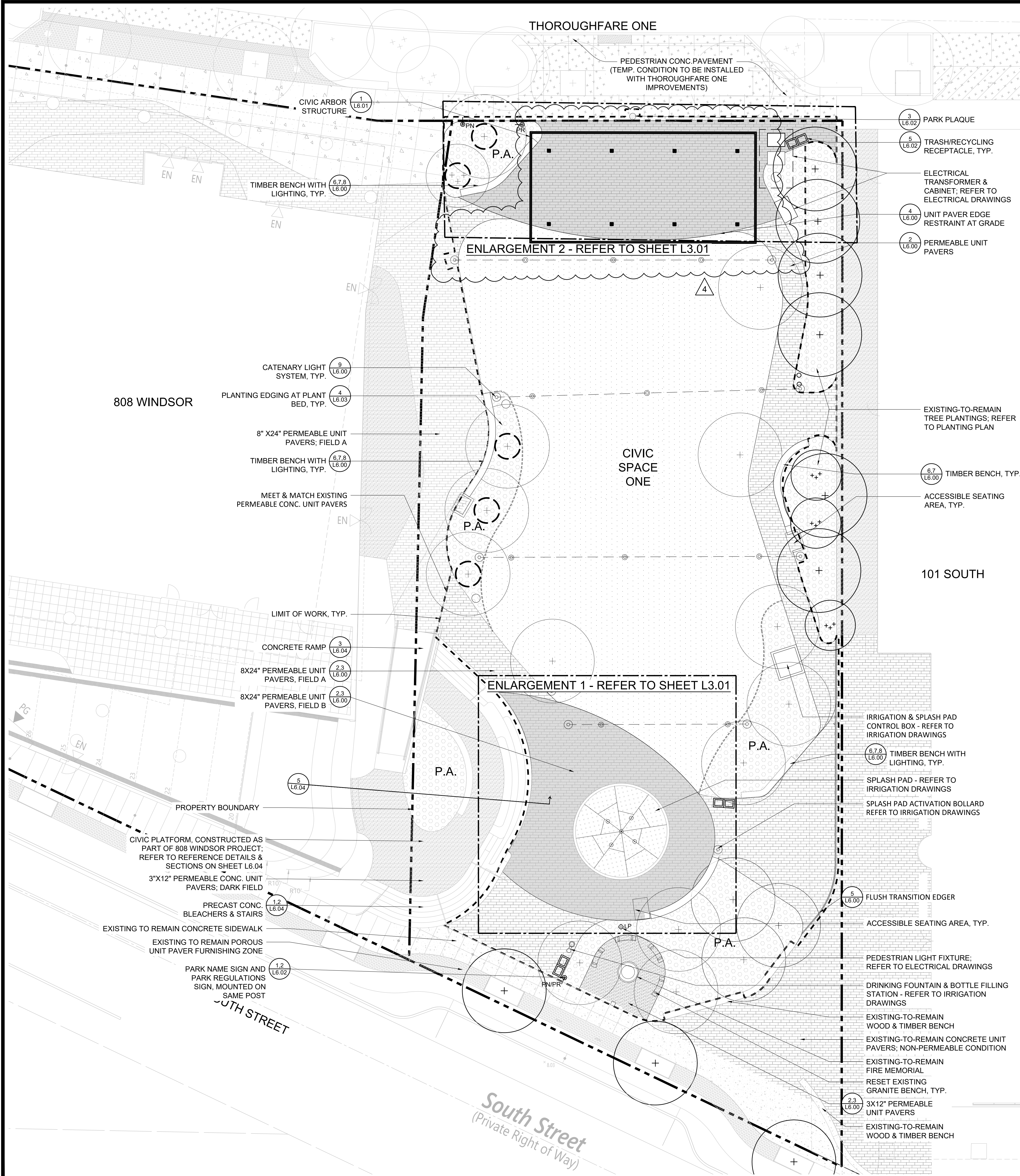
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### LANDSCAPE MATERIAL NOTES

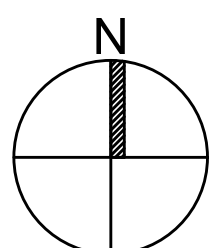
1. THE CONTRACTOR SHALL REVIEW ALL DRAWINGS AND SPECIFICATIONS TO DETERMINE THE TOTAL SCOPE OF WORK AND ALL REQUIRED COORDINATION.
2. THE CONTRACTOR IS RESPONSIBLE FOR A THOROUGH SITE EXAMINATION TO SATISFY HIM OR HERSELF AS TO THE ACTUAL SITE CONDITIONS BEFORE SUBMISSION OF BIDS.
3. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
4. CONTRACTOR SHALL ARRANGE PRE-INSTALLATION CONFERENCES AT PROJECT SITE FOR PAVEMENT WORK. ATTENDEES SHALL INCLUDE OWNER'S REPRESENTATIVE, LANDSCAPE ARCHITECT, GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS DIRECTLY CONCERNED WITH THE WORK.
5. CONTRACTOR SHALL PREPARE SUBMITTALS TO THE LANDSCAPE ARCHITECT FOR ALL COMPONENTS OF THE FINISHED WORK, INCLUDING SHOP DRAWINGS, PRODUCT DATA, MATERIAL CERTIFICATIONS, MIX DESIGNS AND SAMPLES.
6. CONTRACTOR SHALL FURNISH AND INSTALL CONSTRUCTED SAMPLES (MOCK-UPS) DEMONSTRATING ALL COMPONENTS OF THE DESIGN, INCLUDING FINISHED EXPOSED EDGES AND SURFACES, COLORS AND JOINTING FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTING FINAL WORK. MOCK-UPS MAY BE PART OF THE FINAL CONSTRUCTION. MOCK-UPS SHALL BE MAINTAINED AND PROTECTED THROUGHOUT THE DURATION OF THE PROJECT AND WILL SERVE AS PROJECT STANDARD. CONTRACTOR SHALL DEMOLISH AND RECONSTRUCT MOCK-UP UNTIL APPROVAL FROM LANDSCAPE ARCHITECT. MOCK-UPS SHALL INCLUDE ONE 6' X 6' PANEL OF EXPOSED AGGREGATE CONCRETE PAVEMENT.
7. THE DIMENSIONS OF PAVEMENT JOINTS AS SHOWN ON THE DRAWINGS ARE TO THE CENTER LINE OF EACH TYPE OF JOINT EXCEPT WHERE PAVEMENT MEETS A VERTICAL FACE; AT THIS LOCATION DIMENSIONS ARE TO THE VERTICAL FACE. THE DIMENSIONS SHOWN ON DRAWINGS SHOW DESIGN INTENT AND MUST BE FIELD VERIFIED PRIOR TO PREPARATION OF SHOP DRAWINGS. ALL ALIGNMENTS SHALL BE INSTALLED AS SHOWN.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING THE LOCATIONS OF ALL EXISTING SITE ELEMENTS TO BE RESET IN THEIR SAME HORIZONTAL LOCATION.
9. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE INSIDE OR OUTSIDE OF LIMIT OF WORK LINE DUE TO HIS/HER CONSTRUCTION OPERATIONS.
10. STORAGE AREAS FOR THE GENERAL CONTRACTOR'S EQUIPMENT AND MATERIALS SHALL BE LOCATED WITHIN THE LIMITS OF WORK AS APPROVED BY THE LANDSCAPE ARCHITECT.
11. WHERE NEW PAVING MEETS EXISTING PAVING, MEET LINE AND GRADE OF EXISTING WITH NEW CONSTRUCTION.
12. CONTRACTOR SHALL STAKE OR SPRAY OUT EDGES OF ALL HARDSCAPE AND MATERIAL CHANGES IN THE FIELD FOR REVIEW AND APPROVAL THE LANDSCAPE ARCHITECT PRIOR TO THE PLACEMENT OF FINAL EDGING OR FORM WORK.

### MATERIALS LEGEND

LIMIT OF WORK		
PROPERTY LINE		
	MEDIUM BROOM FINISH PED. CONC. PAVING	1
	SCORE JOINT	L6.00
	EXPANSION JOINT	
	EXPOSED AGGREGATE PED. CONC. PAVING	1
	SCORE JOINT	L6.00
	EXPANSION JOINT	
	8X24" PERMEABLE UNIT PAVERS, FIELD A	2.3
		L6.00
	8X24" PERMEABLE UNIT PAVERS, FIELD B	2.3
		L6.00
	3X12" PERMEABLE UNIT PAVERS	2.3
		L6.00
	LAWN	5
		L6.03
	PLANTING AREA; REFER TO PLANTING PLANS	
	TRASH/RECYCLING RECEPTACLE	5
		L6.02
	TIMBER BENCH	6
		L6.00
	CATENARY LIGHTS SEE ELECTRICAL DRAWINGS	10
		L6.00
	PARK NAME (PN) SIGN & PARK RULES (PR) SIGN	1 2
		L6.02 L6.02

Civic Space 1 Zoning Requirement Table		
Park type: Neighborhood		
SZO Requirement	Description	Requirement(s) Met
13.1.2.a	Siting & Orientation	Yes
13.1.2.b	Design & Construction	Yes
13.1.2.c	Accessibility	Yes
13.1.2.d	House of Access	Yes
13.1.2.e	Circulation	Yes
13.1.2.f.i	Landscape	Yes
13.1.2.f.ii-vi	Landscape	Yes
13.1.2.g	Hardscape	Yes
13.1.2.h	Amenities	Yes
13.1.2.i	Seating	Yes
13.1.2.j	Tables	Yes
13.1.2.k	Bicycle Parking	Yes
13.1.2.l	Signage	Yes
13.1.2.m	Litter Receptacles	Yes
13.1.2.n	Lighting	Yes
13.1.2.o	Irrigation & Drainage	Yes
13.1.2.p	Accessory Structures	Yes
13.1.3.b.i	Development Standards	Yes
13.1.3.e.i	Development Standards	Yes
13.1.3.e.11	Design Standards	Yes
13.1.3.a	<b>Required</b>	<b>Proposed</b>
Lot Size	8000 SF (min), 2 Acres (max)	22,375 SF
Landscape Area	50% (min), 100% (max)	51.5%
Permeable Area	85% min	86.4%
Seating	NA	
Tables	NA	
Large Trees	1 per 1,225SF (min - 19)	24

SCALE: 1"=10'



PREPARED BY:

Copley  
Wolff

PROJECT NAME / CLIENT:

BOYNTON YARDS - CIVIC SPACE 1  
111 SOUTH STREET, SOMERVILLE, MA

CWDG PROJECT NUMBER: 2036  
ISSUANCES:

REV #	DATE	DESCRIPTION
01	04.26.23	ADDENDUM #1
02	05.22.23	ADDENDUM #2
03	06.02.23	FIELD BULLETIN #1
04	07.26.23	FIELD BULLETIN #2

STAMP:

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**MATERIALS  
PLAN**

DRAWN BY: AML  
CHECKED BY: IR

SCALE:

DATE: 04/26/2023

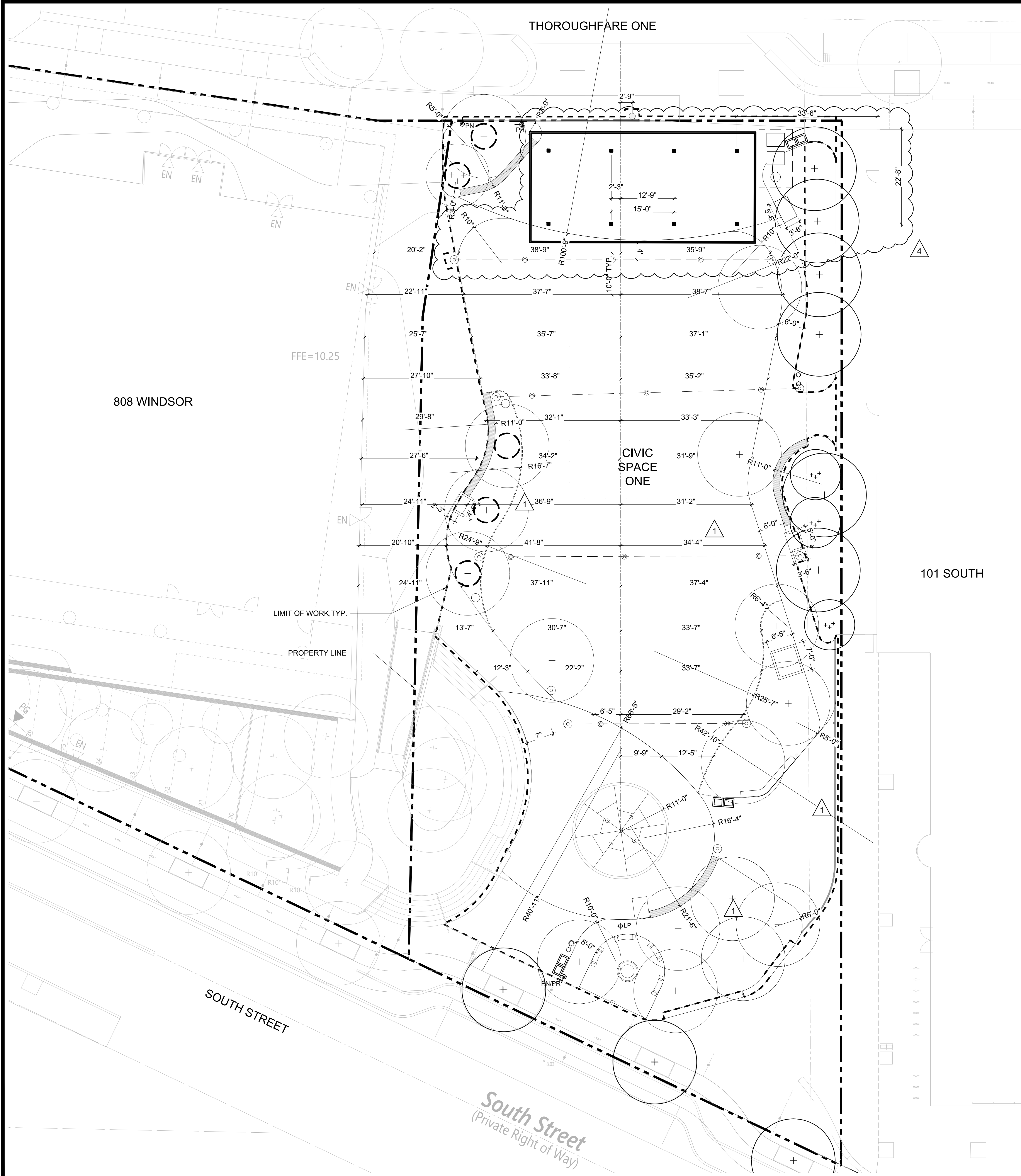
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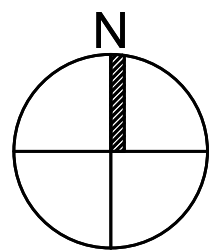
### LANDSCAPE LAYOUT NOTES

1. THE SITE PLAN IS BASED ON EXISTING CONDITIONS INFORMATION PROVIDED BY OTHERS. COPLEY WOLFF DESIGN GROUP IS NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THIS INFORMATION.
2. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY AND ALL DISCREPANCIES TO THE OWNER'S REPRESENTATIVE. ANY ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD SHALL BE PROMPTLY REPORTED BY THE CONTRACTOR TO THE OWNER'S REPRESENTATIVE AND RECORDED ON RECORD DRAWINGS.
2. CONSULT ALL DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BETWEEN ALL TRADES PRIOR TO COMMENCING NEW CONSTRUCTION.
3. THE CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY OF ANY AND ALL CONFLICTS BETWEEN PROPOSED SITE WORK AND WORK OF ALL OTHER TRADES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE INSIDE AND OUTSIDE THE LIMIT OF WORK LINE DUE TO CONTRACT OPERATIONS. CONTRACTOR SHALL RESTORE DAMAGED AREAS BEYOND CONTRACT LIMITS TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
5. THE CONTRACTOR SHALL CONTACT THE PROPER AUTHORITIES IN WRITING TO CONFIRM THE LOCATIONS OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO THE FAILURE OF THE CONTRACTOR TO CONTACT AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR. THE CONTRACTOR SHALL REPAIR ANY DAMAGE INCURRED DURING CONSTRUCTION TO EXISTING UTILITIES SCHEDULED TO REMAIN AT NO COST TO THE OWNER.
6. EXISTING STRUCTURES, IMPROVEMENTS, APPURTENANCES AND VEGETATION TO REMAIN SHALL BE PROTECTED FROM DAMAGE. ANY DAMAGE TO EXISTING SITE IMPROVEMENTS TO REMAIN SHALL BE REPAIRED AT NO COST TO THE OWNER.
7. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF PERMITS AND LICENSES ISSUED BY COGNIZANT FEDERAL, STATE, AND LOCAL AGENCIES.
8. THE CONTRACTOR SHALL COORDINATE ALL SITE UTILITY IMPROVEMENTS WITH PROPER AUTHORITIES.
9. ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING ALL LINES, GRADES, AND OTHER SURVEY CONTROL TO COMPLETE THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND PROTECTION OF THE SURVEY CONTROL REFERENCE POINTS AND LOCATION STAKES. THE CONTRACTOR SHALL EMPLOY A MASSACHUSETTS-LICENSED REGISTERED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER, FAMILIAR WITH BUILDING CONSTRUCTION, WHO SHALL ESTABLISH LINES AND LEVELS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT LOCATION OF THE PROPOSED SITE FEATURES.
11. DIMENSIONS ARE APPROXIMATE BASED ON TAKE OFF FROM SURVEY. ACTUAL DIMENSIONS MAY VARY. NOTIFY THE OWNER'S REPRESENTATIVE IN THE EVENT OF DIMENSIONAL DISCREPANCIES.
12. THE CONTRACTOR TO STAKE OUT LAYOUT FOR APPROVAL PRIOR TO EXCAVATION.
13. THE CONTRACTOR SHALL PREPARE SAMPLE PANELS FOR EACH PAVING TYPE FOR APPROVAL OF WORKMANSHIP, FINISHES, COLORS, AND JOINTING PRIOR TO FINAL INSTALLATION.
14. SEE LANDSCAPE ARCHITECTURAL PLANS FOR LAYOUT OF MATERIALS AND SITE IMPROVEMENTS AND SEE CIVIL DRAWINGS FOR GRADING, DRAINAGE, UTILITIES, AND PARKING AND CURB LAYOUT.

### LAYOUT LEGEND

- POB POINT OF BEGINNING
- CENTERLINE FOR LAYOUT
- R 5 5'-0" RADIUS
- CL CENTER LINE OF OBJECT
- VIF VERIFY DIMENSION IN FIELD
- EQ EQUAL
- ALIGN EDGES OR FACES

SCALE: 1"=10'



PREPARED BY:

Copley  
Wolff

PROJECT NAME / CLIENT:

BOYNTON YARDS - CIVIC SPACE 1  
111 SOUTH STREET, SOMERVILLE, MA

CWDG PROJECT NUMBER: 2036

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REV #	DATE	DESCRIPTION
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02	05.22.23	ADDENDUM #2
03	06.02.23	FIELD BULLETIN #1
04	07.26.23	FIELD BULLETIN #2

STAMP:

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DRAWING TITLE:  
LAYOUT PLAN

DRAWN BY: AML

CHECKED BY: JR

SCALE:

DATE: 04/26/2023

SHEET 5 OF 11

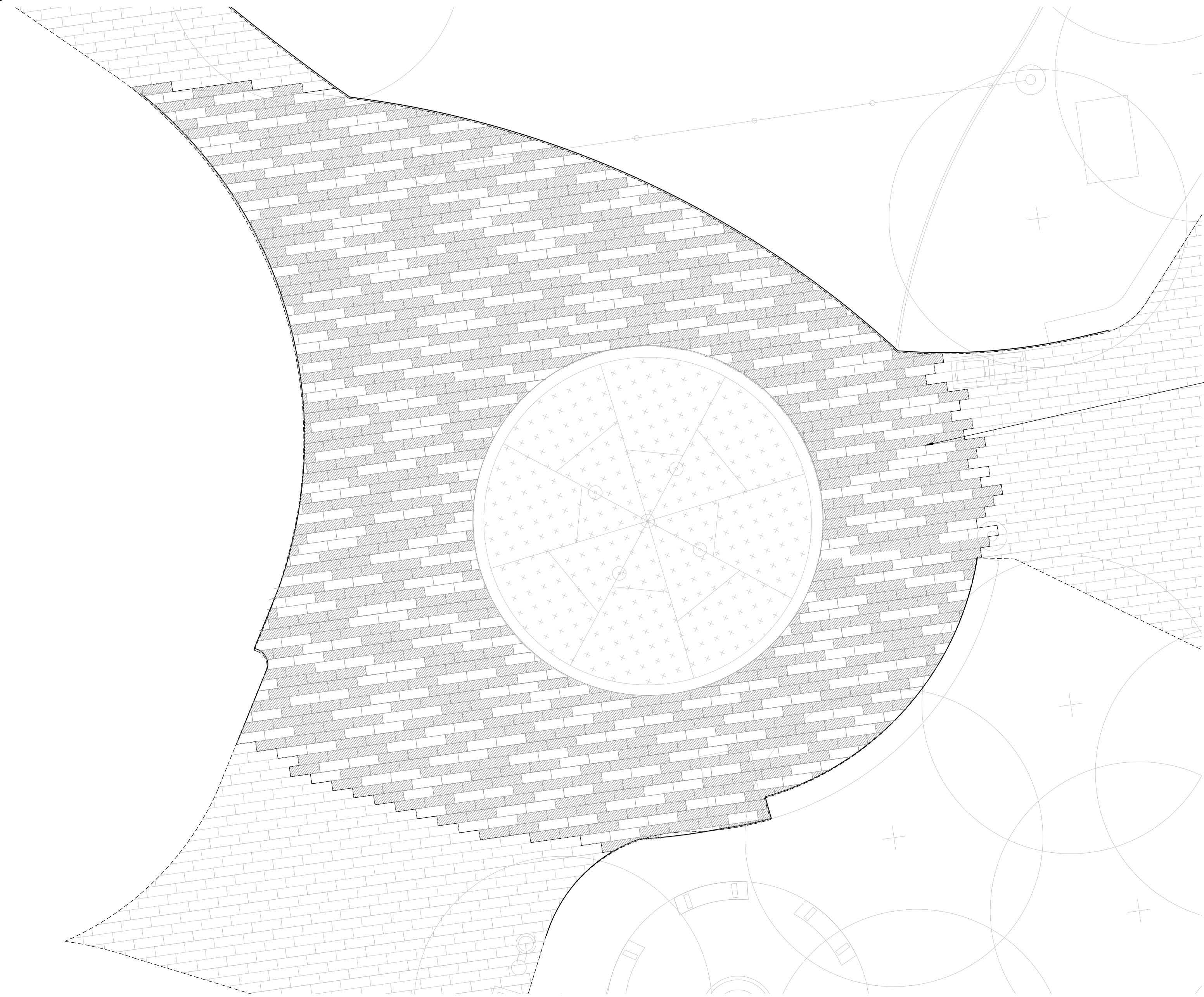
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1 PAVER ENLARGEMENT 1

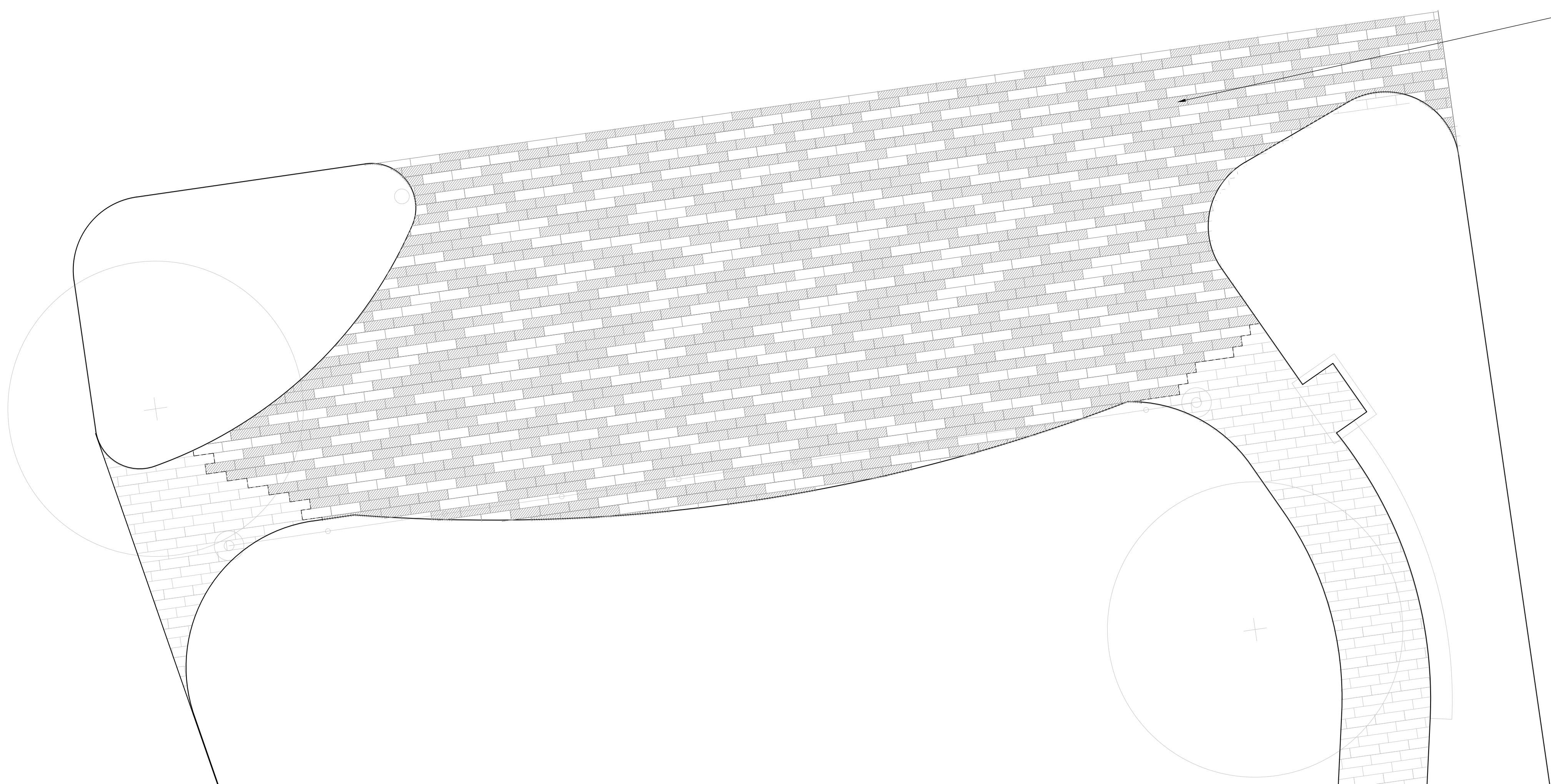


PAVER COLOR LEGEND

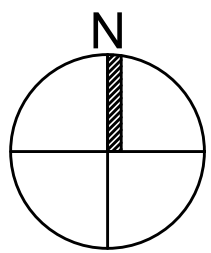
	AUTUMN SUNSET 60%
	SUMMER WHEAT 40%

2.3  
L6.00 8X24" PERMEABLE UNIT  
PAVERS, FIELD B

2 PAVER ENLARGEMENT 2



2.3  
L6.00 8X24" PERMEABLE UNIT  
PAVERS, FIELD B



PREPARED BY:

Copley  
Wolff

PROJECT NAME / CLIENT:

BOYNTON YARDS - CIVIC SPACE 1  
111 SOUTH STREET, SOMERVILLE, MA

CWDG PROJECT NUMBER: 2036

ISSUANCES:

REV # DATE DESCRIPTION


STAMP:

100% CD SET

DRAWING TITLE:  
SPECIAL  
PAVER AREA  
ENLARGEMENT

DRAWN BY: AML

CHECKED BY: JR

SCALE: 5'

DATE: 03/10/2023

SHEET 5 OF 11

DRAWING NUMBER:

L3.01





1. SEE CIVIL ENGINEERING PLANS FOR FINAL GRADING. PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVING AREAS MUST PITCH TO DRAIN AT MIN. PITCH OF  $\frac{1}{8}$ " PER FOOT UNLESS OTHERWISE SHOWN. REPORT ANY DISCREPANCIES BETWEEN EXISTING AND PROPOSED SPOT GRADES THAT DO NOT PITCH ACCORDINGLY TO THE LANDSCAPE ARCHITECT BEFORE COMMENCING WORK.
2. WHERE NEW PAVING MEETS EXISTING PAVING, MEET LINE AND GRADE OF EXISTING SMOOTHLY WITH NEW CONSTRUCTION.
3. EXCAVATION ADJACENT TO EXISTING AND PROPOSED UTILITY LINES AND EXISTING TREES SHALL BE DONE BY HAND. CONTRACTOR SHALL PROTECT ALL EXPOSED UTILITIES.
4. THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES, EXISTING STRUCTURES, IMPROVEMENTS, APPURTENANCES AND VEGETATION TO REMAIN. THE CONTRACTOR SHALL REPAIR ANY DAMAGE INCURRED AT NO COST TO OWNER.

- PREPARED BY:

PROJECT NAME / CLIENT:

CWDG PROJECT NUMBER: 2036

ISSUANCES:

STAMP:

DRAWING TITLE:

DRAWN BY: AML

CHECKED BY: IR

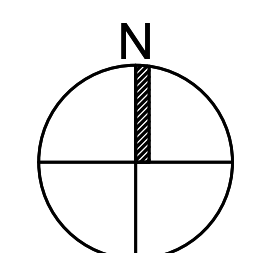
SCALE:

DATE: 03/10/2023

SHEET 6 OF 11

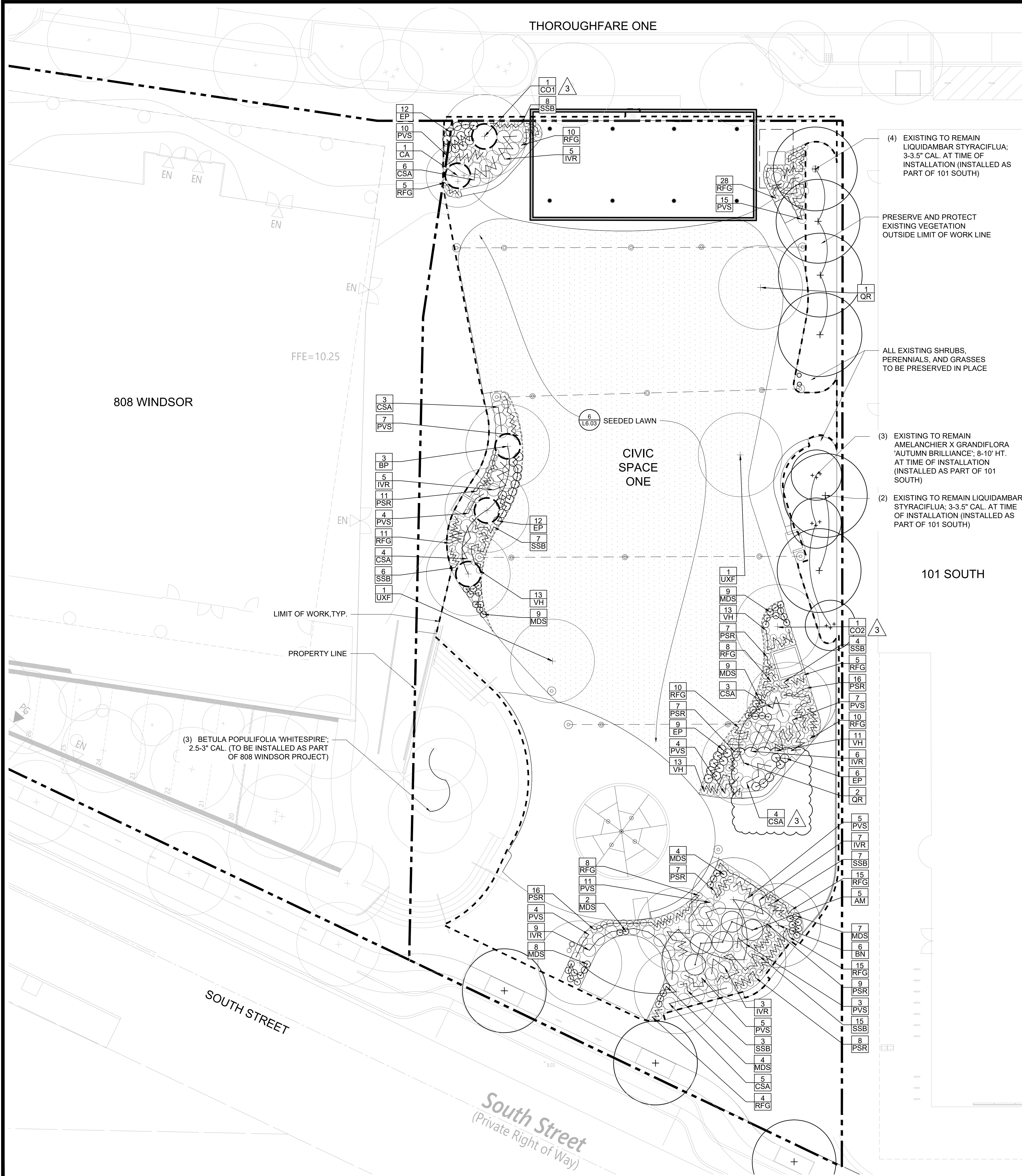
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SCALE: 1"=10'





6/2/2023 1:55:59 PM - T:12036 BOYNTON YARDS PUBLIC COMMON W DLI - LMP CONSTRUCTION DRAWINGS CURRENT CWDG DRAWINGS BY CIVIC PLANS DWG - MICHAEL MACNULTY



PLANTING AND SOIL NOTES

- IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANTING PLAN AND THE NUMBER OF PLANTS IN THE PLANT LIST, THE PLANTING PLAN SHALL GOVERN.
- ALL NEW PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. IN ADDITION, ALL NEW PLANT MATERIAL FOR THE PROJECT SHALL BE OF SPECIMEN QUALITY.
- THE LANDSCAPE ARCHITECT SHALL ONLY REVIEW TREES THAT ARE IN THE GROUND AT THE NURSERY. NO PRE-DUG TREES WILL BE ACCEPTED. THEREFORE TIMING OF IN-GROUND REVIEWS MUST BE COORDINATED WITH EXPECTED INSTALLATION DATES.
- ALL NEW PLANTS TO BE BALLED & BURLAPPED OR CONTAINER GROWN, UNLESS OTHERWISE NOTED ON THE PLANT LIST.
- THE CONTRACTOR SHALL SUPPLY ALL NEW PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL NEW PLANTS SHALL BE TAGGED AND APPROVED BY THE LANDSCAPE ARCHITECT AT THE NURSERY PRIOR TO DIGGING OR DELIVERY TO THE SITE.
- CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND SHALL REPORT ANY CONFLICTS TO THE LANDSCAPE ARCHITECT.
- STAKE LOCATION OF ALL PROPOSED PLANTING FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF PLANTING.
- NEW SHRUBS AND GROUND COVER SHALL BEAR THE SAME RELATIONSHIP TO GRADE AS IT BORE TO PREVIOUS GRADE. THE ROOT FLARE OF NEW TREES SHALL BE SET NO HIGHER THAN 1" ABOVE FINISH GRADE. NO TREES SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING.
- ALL PLANT BEDS TO RECEIVE UN-DYED ORGANIC WOOD CHIPS AS PER SPECIFICATIONS.
- ALL EXISTING TREES TO REMAIN SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. PROTECTION TECHNIQUES SHALL BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT.
- PRUNE TREES IN ACCORDANCE WITH THE SPECIFICATIONS.
- ALL PLANT MATERIAL SHALL BE MAINTAINED BY CONTRACTOR UNTIL FINAL ACCEPTANCE AND GUARANTEED FOR 1 CALENDAR YEAR.
- CONFIRM ALL QUANTITIES AGAINST PLANTING PLANS, GRADING PLANS, AND SPECIFICATIONS, INCLUDING SITE DISTURBANCE OUTSIDE OF THE LIMIT OF GRADING NECESSITATED TO FACILITATE CONSTRUCTION.
- WHERE SAND AND GRAVEL ARE SPECIFIED FOR A DRAINAGE LAYER, EXTEND DRAINAGE LAYER TO ASSOCIATED DRAIN LINES, DRAINAGE AREAS, OR DAYLIGHT.
- WHERE ONE SOIL TYPE MEETS ANOTHER SOIL TYPE, FORM A 1:1 SLOPED BOUNDARY TRANSITION.
- WHERE A SOIL PROFILE ENCR OACHES WITHIN THE DRIP LINE OF EXISTING TREES, CONSULT WITH LANDSCAPE ARCHITECT PRIOR TO COMMENCING EXCAVATION.
- ALL EXCAVATION AND PLACEMENT OF SOILS WITHIN THE DRIP LINE OF EXISTING TREES TO BE PERFORMED BY HAND.
- SCARIFY SUBGRADE AS SPECIFIED BEFORE PLACEMENT OF ANY PLANTING SOILS.
- DO NOT PLACE OR HANDLE SOILS THAT ARE WET.
- PROTECT ALL EXISTING SOILS AGAINST COMPACTION, CONTAMINATION WITH CONSTRUCTION MATERIALS, AND ALL DISTURBANCE.
- CONTRACTOR IS RESPONSIBLE FOR ACTUAL SITE CONDITIONS, COORDINATION OF SOILS PLACEMENT, AND PLANTING SUBDRAINAGE.
- DO NOT PLACE ANY PLANTING SOIL PRIOR TO INSPECTION BY LANDSCAPE ARCHITECT.

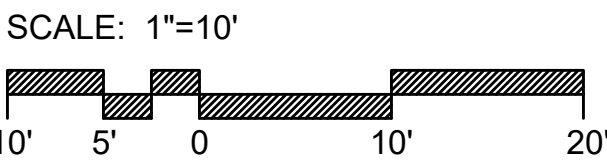
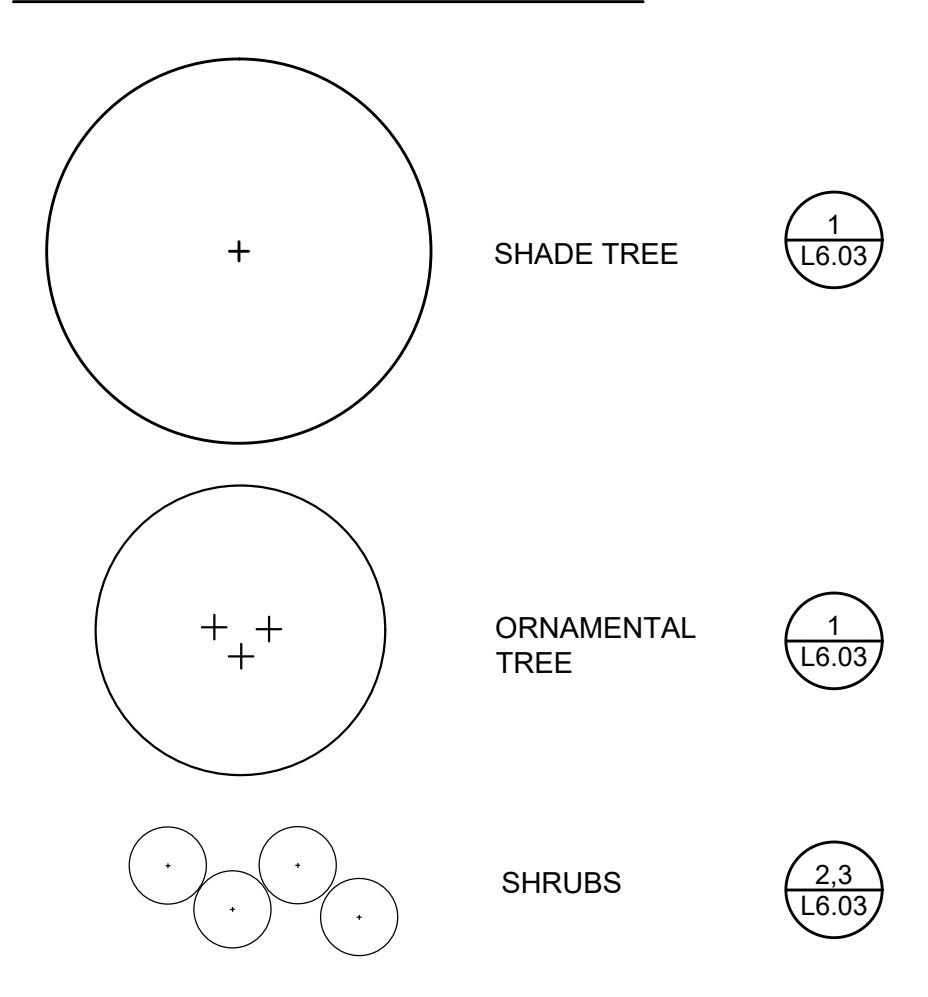
PLANT SCHEDULE

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
<b>Deciduous Shade Trees</b>						
BN	6	<i>Betula nigra</i> 'Cully'	Heritage River Birch	2.5" - 3" Cal.	B&B	Multi-stem
BP	3	<i>Betula populifolia</i> 'Whitespire'	Gray Birch	2.5" - 3" Cal.	B&B	Single Stem
CO1	1	<i>Celtis occidentalis</i>	Hackberry	2.5" - 3" Cal.	B&B	Matched
CO2	1	<i>Carya ovata</i>	Shagbark Hickory	3" - 3.5" Cal.	B&B	Matched
QR	3	<i>Quercus rubra</i>	Northern Red Oak	2.5" - 3" Cal.	B&B	Matched
UXF	2	<i>Ulmus X. 'Frontier'</i>	Frontier Elm	2.5" - 3" Cal.	B&B	Specimen
<b>Ornamental Trees</b>						
CA	1	<i>Cornus alternifolia</i>	Pagoda Dogwood	10-12' ht.	B&B	Matched
<b>Shrubs</b>						
AM	5	<i>Aronia melanocarpa</i> 'Morton'	Iroquois Beauty Black Chokeberry	#2	Cont.	24" O.C.
CSA	25	<i>Cornus sanguinea</i> 'Arctic Sun'	Arctic Sun Dogwood	#3	Cont.	30" O.C.
IVR	35	<i>Ilex verticillata</i> 'Red Sprite'	Red Sprite Dwarf Female Winterberry	#3	Cont.	36" O.C.
VH	50	<i>Verberna hastata</i>	Blue Vervain	#2	Cont.	18" O.C.
<b>Perennials, Ornamental Grasses and Groundcover</b>						
EP	39	<i>Echinacea purpurea</i> 'PowWow Wild Berry'	Purple Coneflower	#2	Cont.	18" O.C.
MDS	52	<i>Monarda didyma</i> 'Squaw'	Squaw Beebalm	#2	Cont.	18" O.C.
PSR	81	<i>Pennisetum setaceum</i> 'Rubrum'	Purple Fountain Grass	#2	Cont.	18" O.C.
PVS	75	<i>Panicum virgatum</i> 'Shenandoah'	Shenandoah Switch Grass	#2	Cont.	24" O.C.
RFG	129	<i>Rudbeckia fulgida</i> 'Goldsturm'	Goldsturm Black-eyed Susan	#2	Cont.	18" O.C.
SSB	50	<i>Schizachyrium scoparium</i> 'The Blues'	The Blues Little Bluestem	#2	Cont.	18" O.C.

SPA CONDITIONS NOTES:

- APPROVED SPA PLANS COMMITTED TO PROVIDING 28 LARGE TREES WITHIN THE CS1 PARCEL.
- NINE (9) LARGE TREES WERE INSTALLED ON THE CS1 PARCEL AS PART OF THE 101 SOUTH SCOPE.
- THREE (3) LARGE TREES WILL BE INSTALLED AS PART OF THE APPROVED 808 WINDSOR SCOPE.

PLANTING LEGEND



PREPARED BY:

Copley  
Wolff

PROJECT NAME / CLIENT:

BOYNTON YARDS - CIVIC SPACE 1  
111 SOUTH STREET, SOMERVILLE, MA

CWDG PROJECT NUMBER: 2036

ISSUANCES:

REV # DATE DESCRIPTION

01 04.26.23 ADDENDUM #1  
02 05.22.23 ADDENDUM #2  
03 06.02.23 FIELD BULLETIN #1

STAMP:

100% CD SET

DRAWING TITLE:

PLANTING  
PLAN

DRAWN BY: AML

CHECKED BY: IR

SCALE:

DATE: 04/26/2023

SHEET 7 OF 11

DRAWING NUMBER:

L5.00



4/27/2023 11:06:47 AM - T:2036 BOYNTON YARDS PUBLIC COMMON W/DLI - LMP-CONSTRUCTION DRAWINGS/CURRENT CWDG DRAWINGS/CIVIC DETAILS.DWG - MICHAEL MACNUITY

PREPARED BY:

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PROJECT NAME / CLIENT:

BOYNTON YARDS - CIVIC SPACE 1  
111 SOUTH STREET, SOMERVILLE, MA

CWDG PROJECT NUMBER: 2036

ISSUANCES:

REV # DATE DESCRIPTION

01 04.26.23 ADDENDUM #1

STAMP:

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DRAWING TITLE:  
LANDSCAPE  
DETAILS

DRAWN BY: AML

CHECKED BY: IR

SCALE: SEE DETAIL

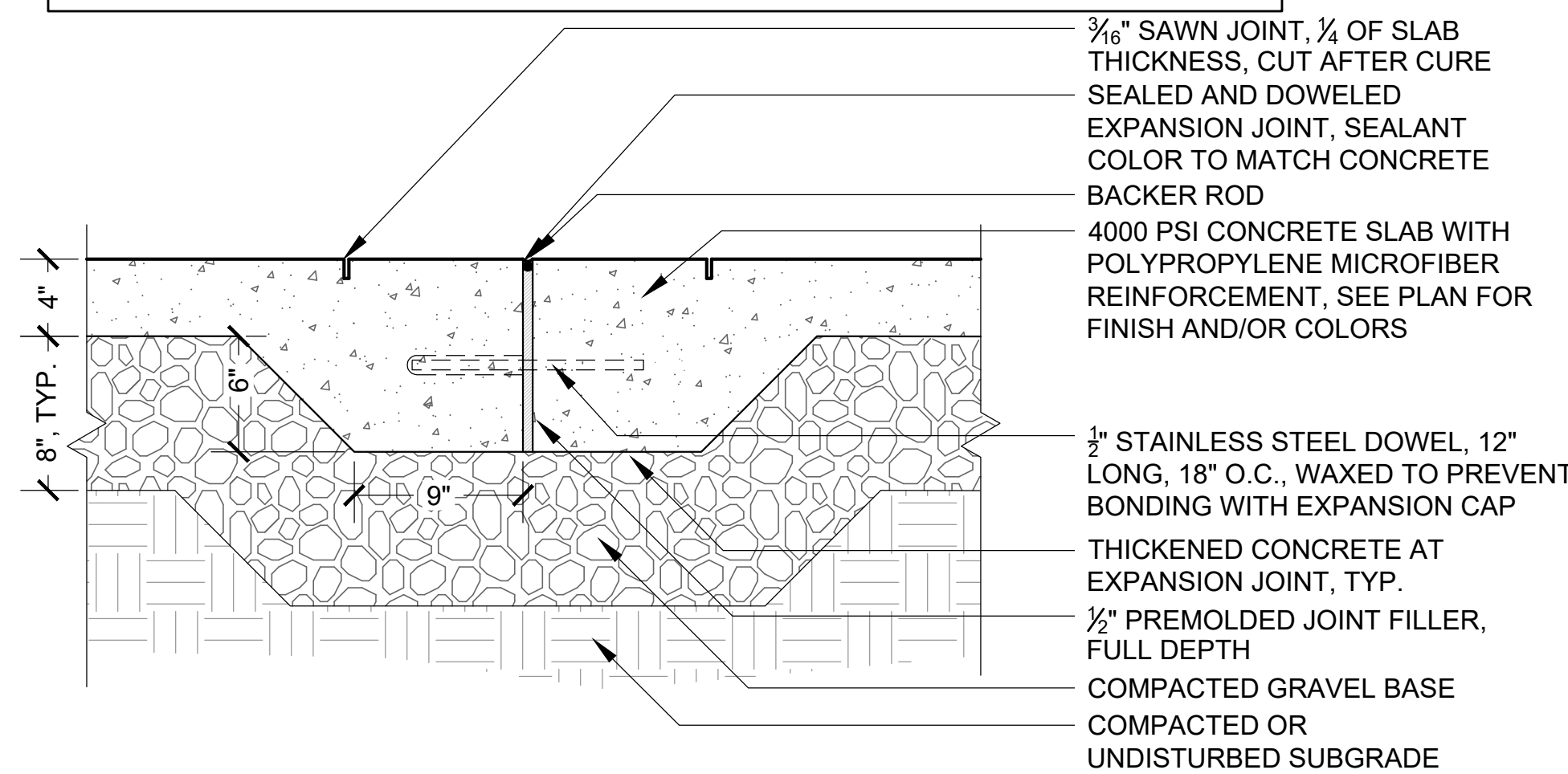
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SHEET 8 OF 11

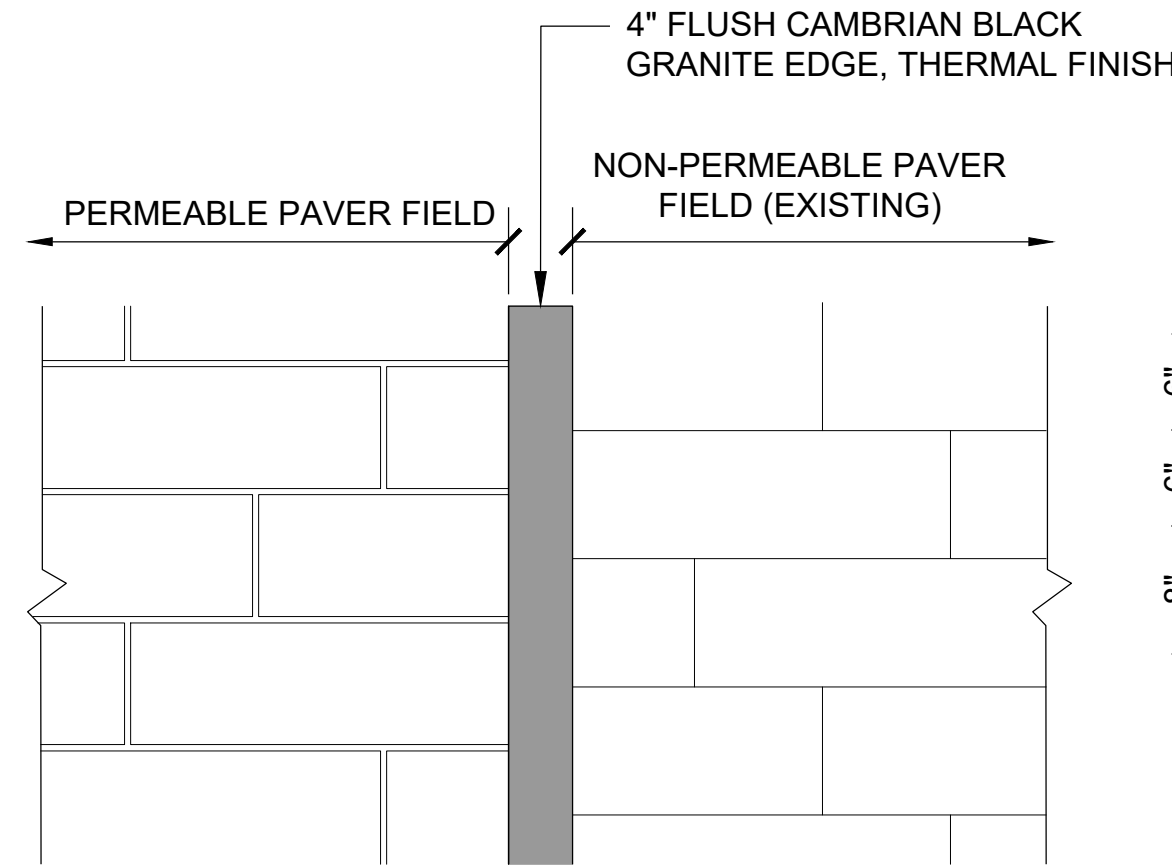
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L6.00

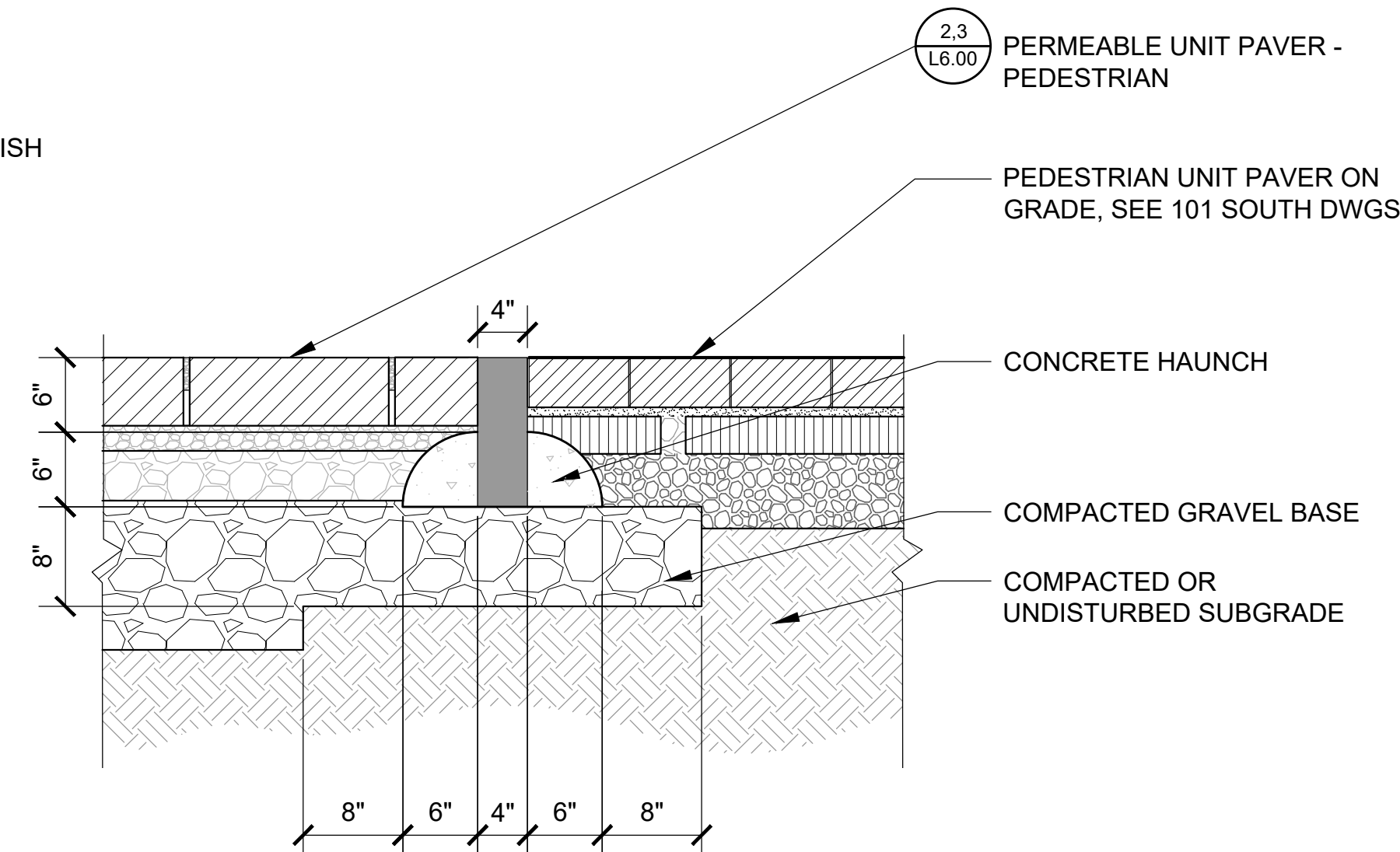
- NOTE:
- CONTROL JOINTS EVERY 5' UNLESS OTHERWISE SHOWN ON PLAN.
  - PROVIDE EXPANSION JOINT EVERY 20' UNLESS OTHERWISE SHOWN ON PLAN.
  - PROVIDE EXPANSION JOINT WITH SEALANT WHERE CONCRETE PAVEMENT ABUTS CURBS, WALLS, AND BUILDING FACES.
  - PROVIDE 10" DEEP THICKENED EDGE AT PLANTING BEDS, 6" WIDTH.



1 PEDESTRIAN CONCRETE PAVEMENT  
SCALE: 1-1/2" = 1'-0"

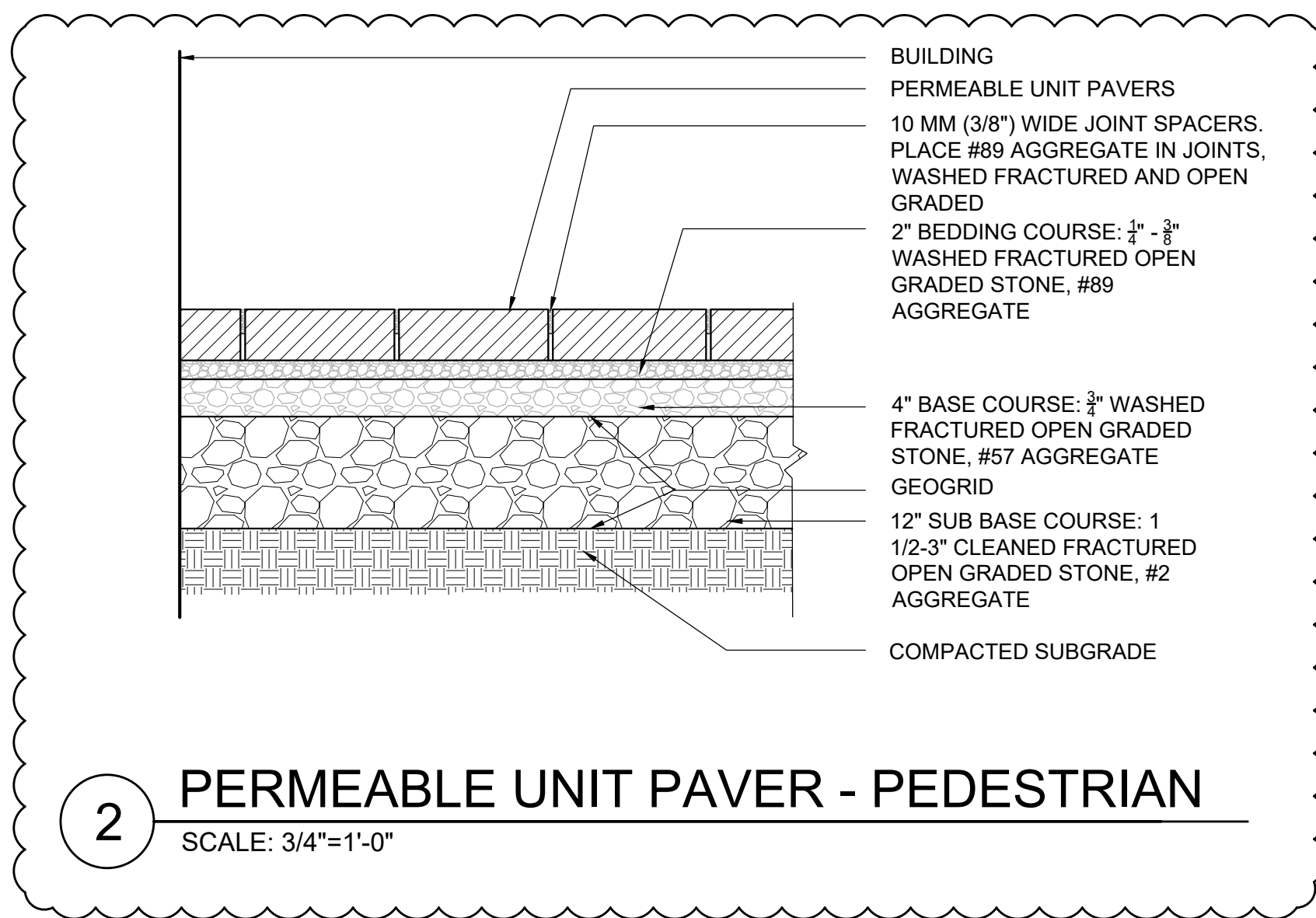
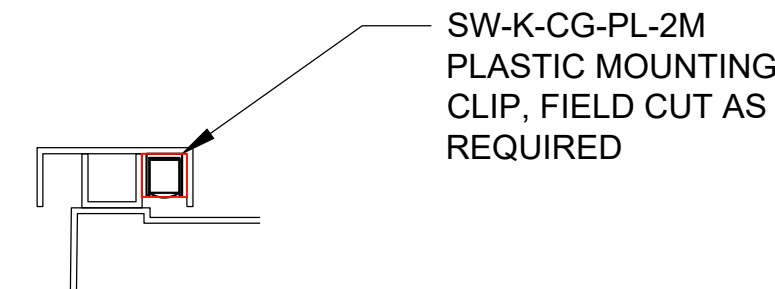


5 FLUSH TRANSITION EDGER  
SCALE: 1" = 1'-0"

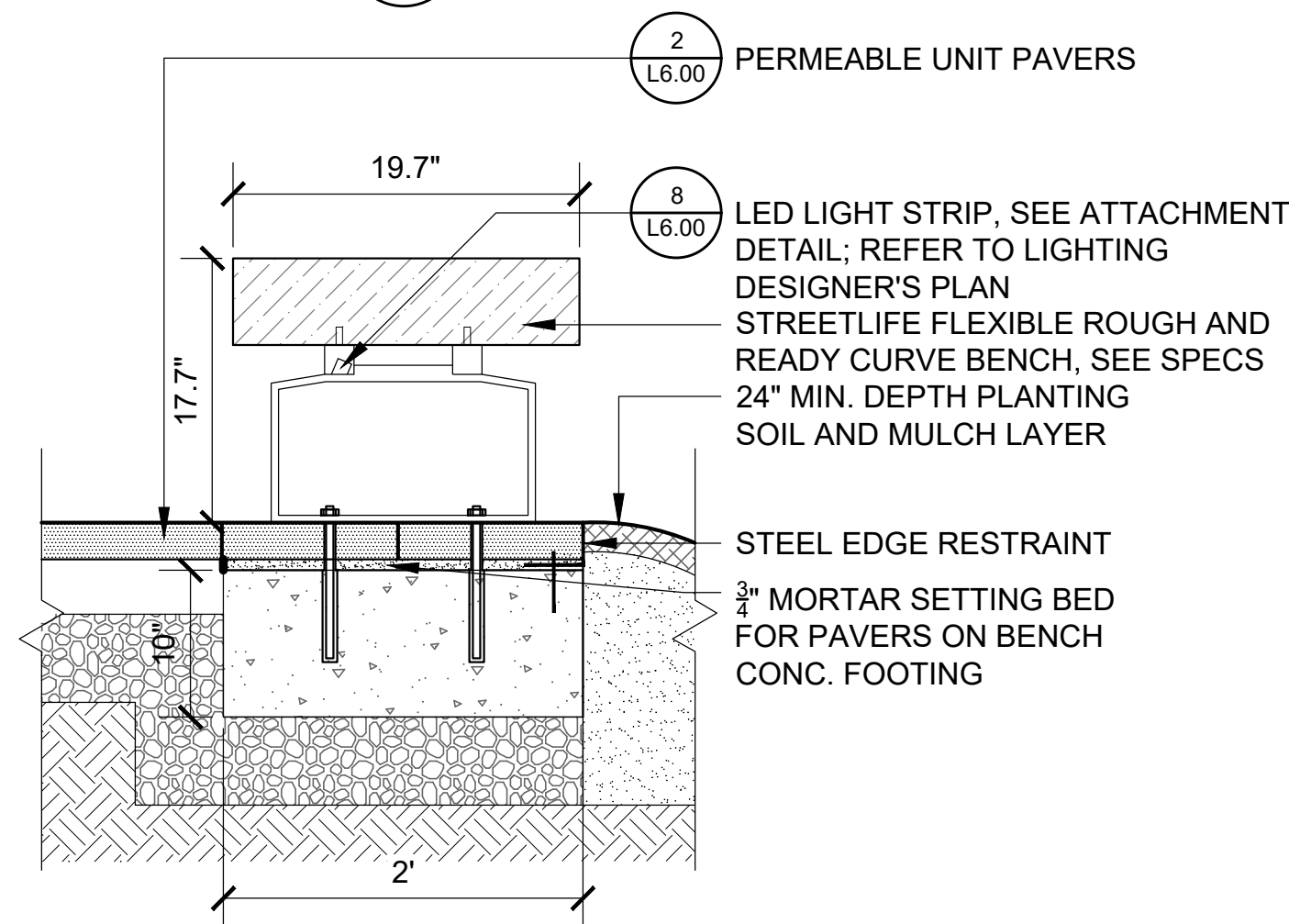


8 LED LIGHT STRIP ATTACHMENT  
SCALE: 3" = 1'-0"

NOTE: CONTRACTOR SHALL COORDINATE THE MOUNTING LOCATION AND ATTACHMENT METHOD OF THE LIGHT DRIVER WITH THE LIGHTING DESIGNER AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.



2 PERMEABLE UNIT PAVER - PEDESTRIAN  
SCALE: 3/4" = 1'-0"

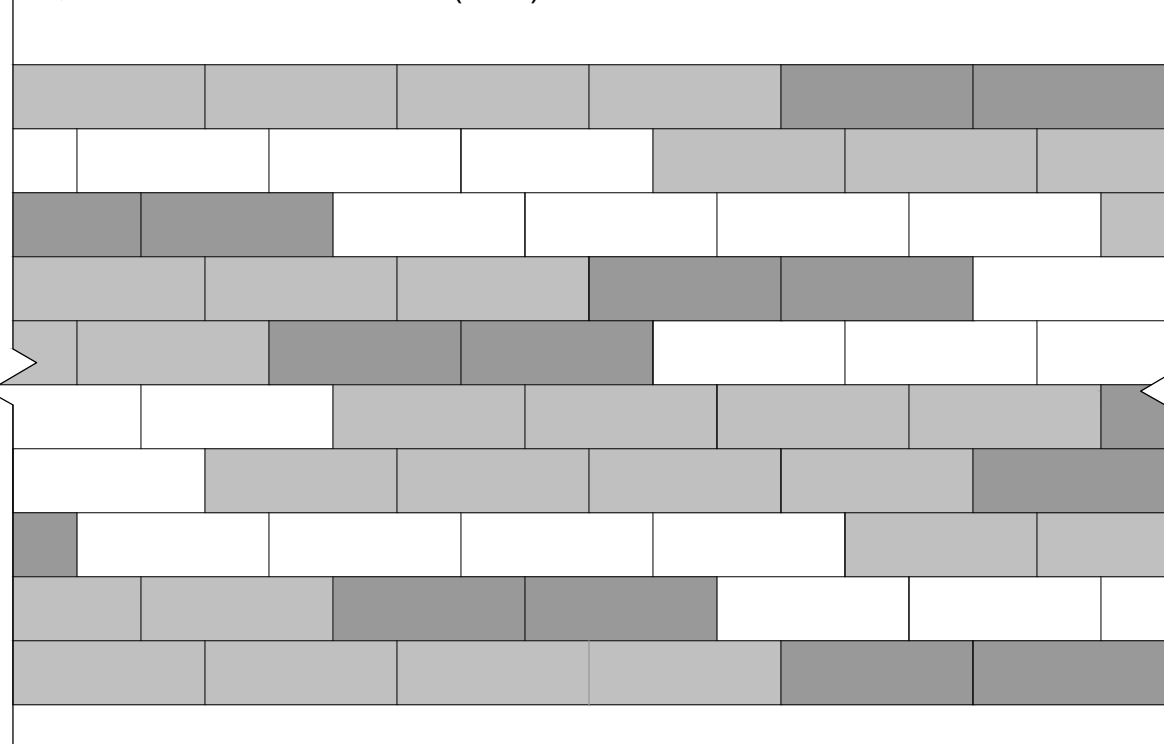


6 TIMBER BENCH  
SCALE: 1" = 1'-0"

NOTE: SHOP DRAWINGS REQUIRED PRIOR TO INSTALLATION.

BLENDED FIELD A COLOR MIX

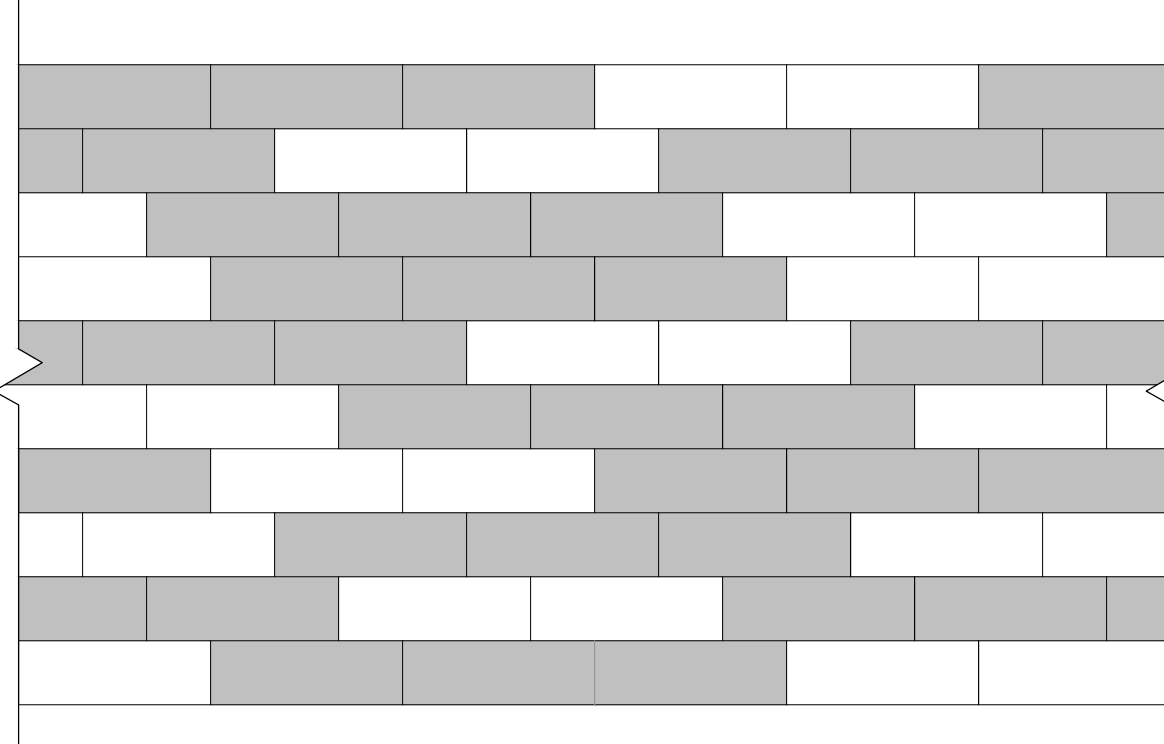
- LIGHT: GRENATA WHITE (40%)
- MEDIUM: WINTER MARVEL (40%)
- DARK: FRENCH GRAY (20%)



FIELD A

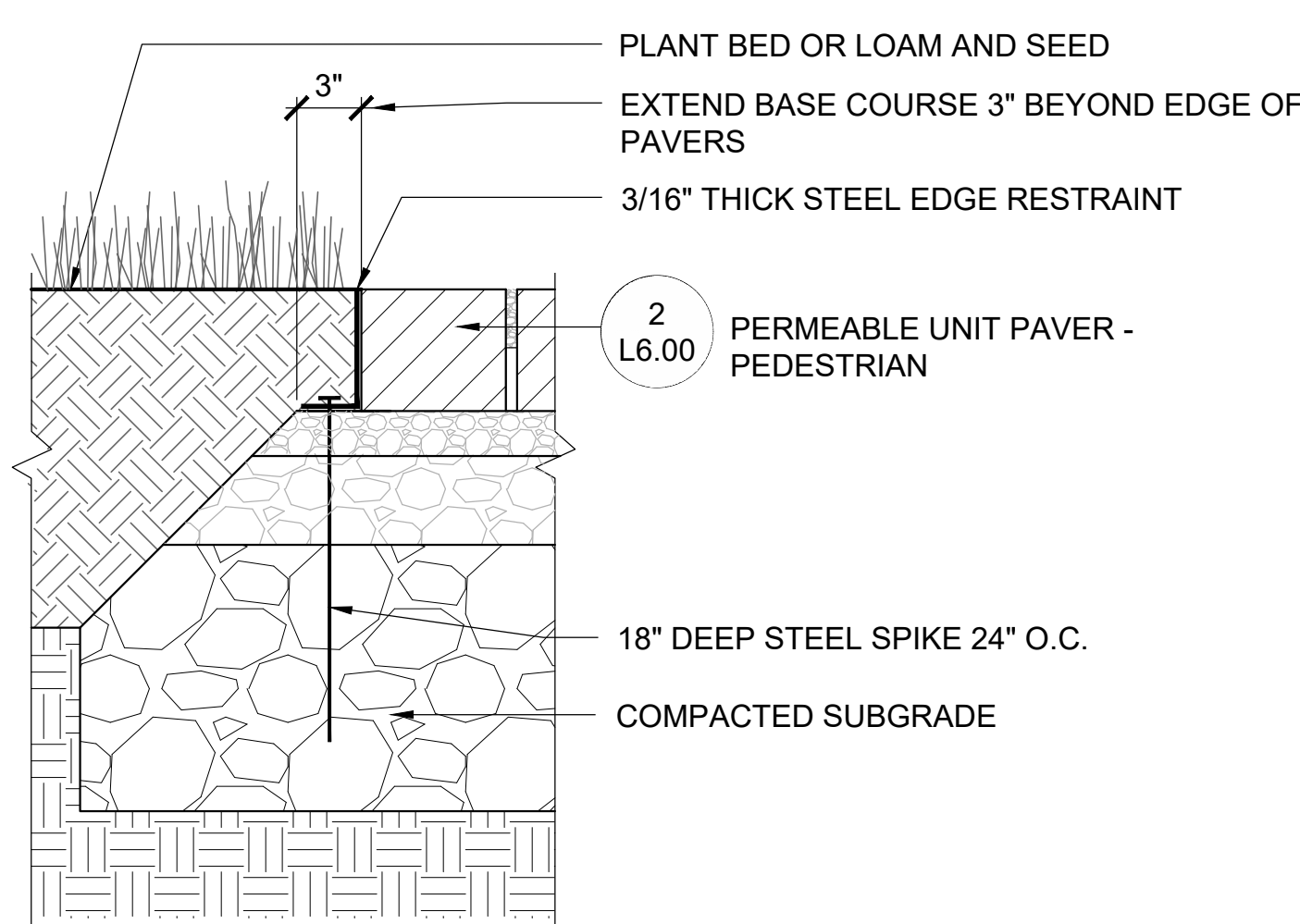
BLENDED FIELD B COLOR MIX

- LIGHT: SUMMER WHEAT (40%)
- MEDIUM: AUTUMN SUNSET (60%)

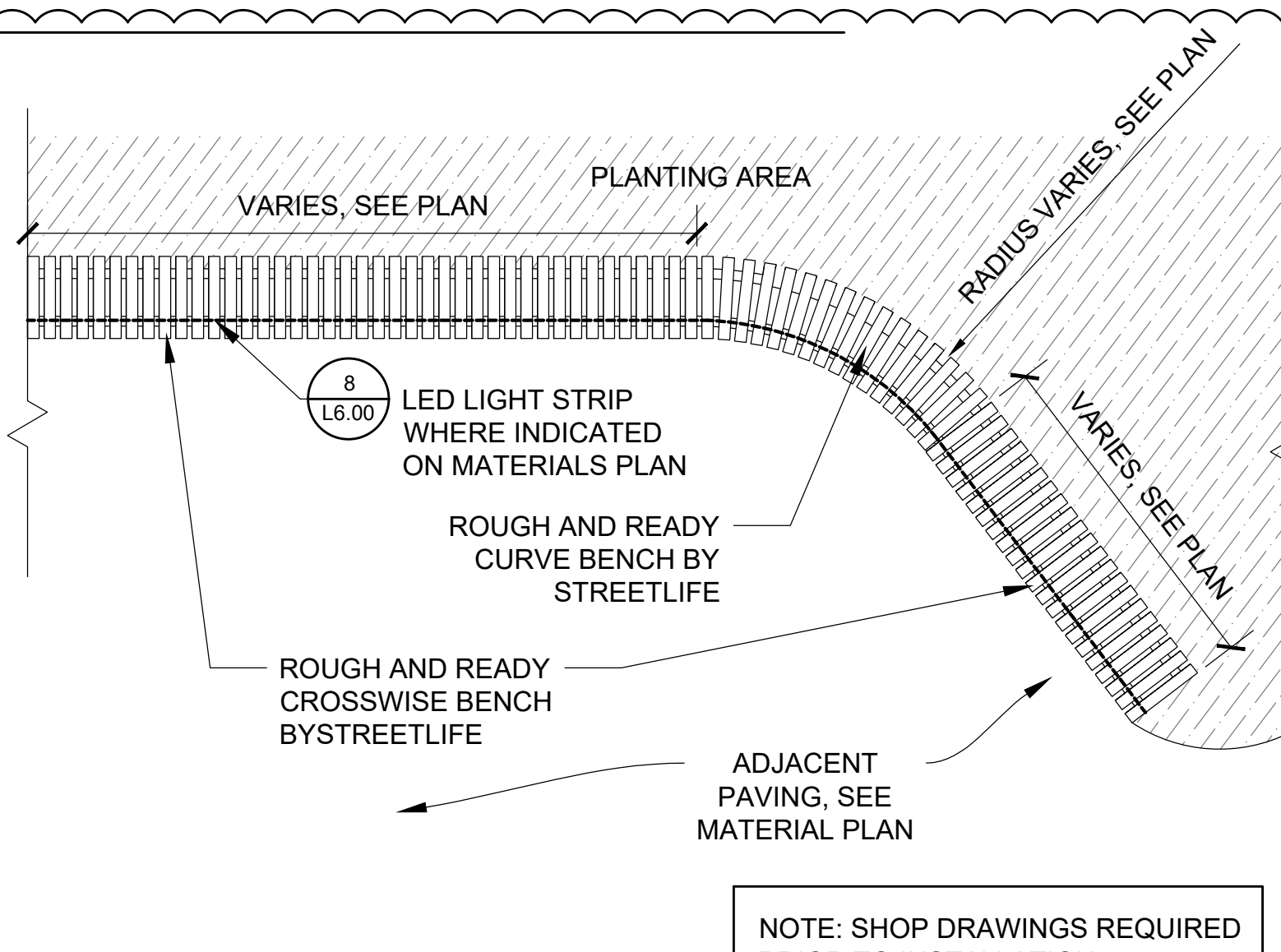


FIELD B

3 UNIT PAVER FIELD A & B PATTERNS  
SCALE: 1/2" = 1'-0"

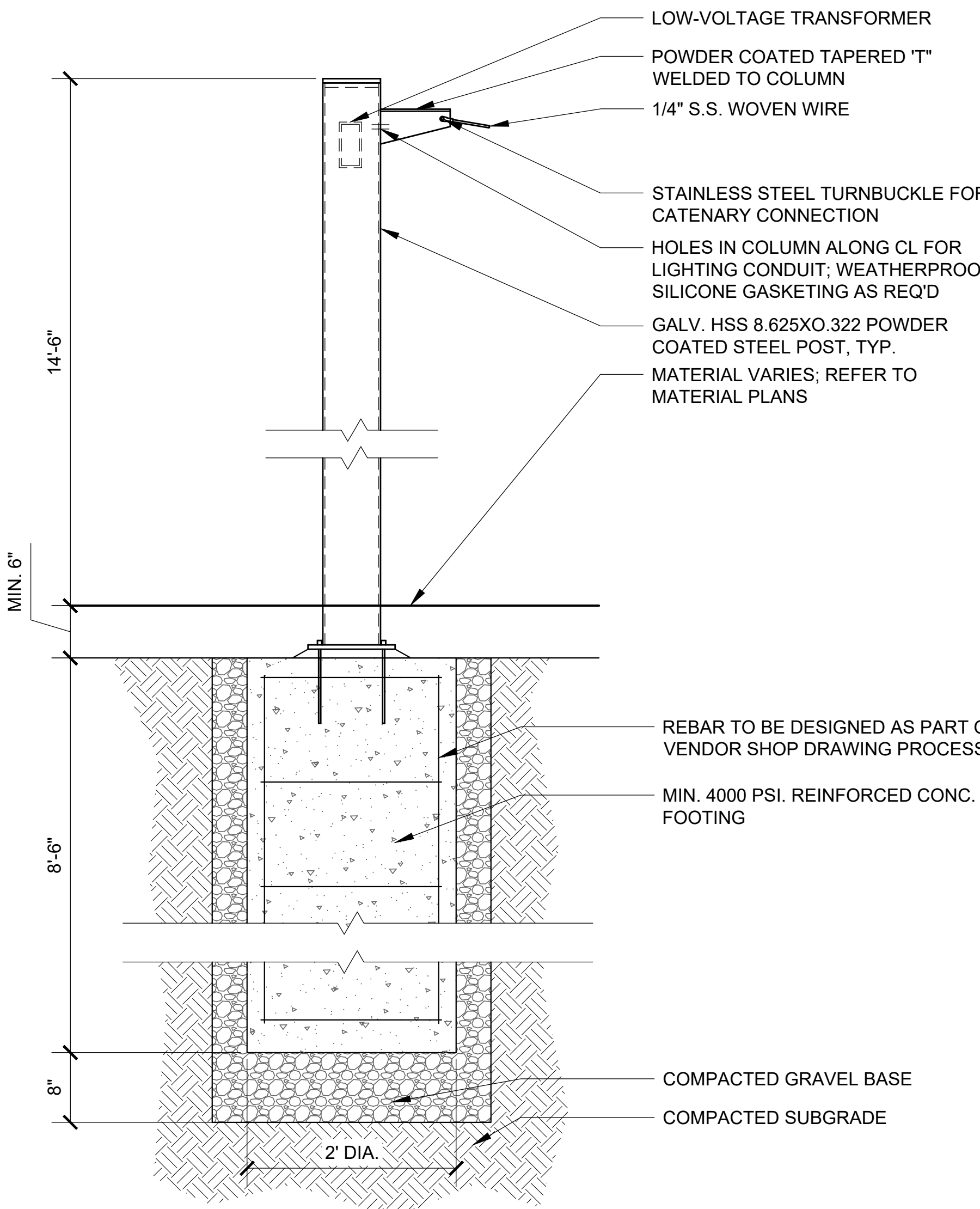
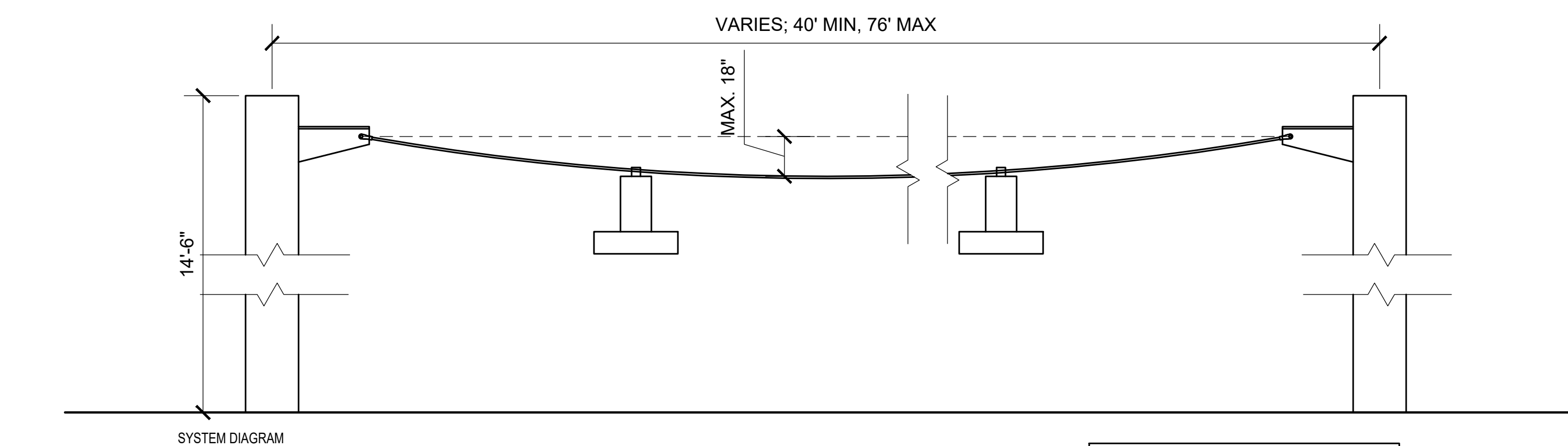


4 UNIT PAVER EDGE RESTRAINT AT GRADE  
SCALE: 1-1/2" = 1'-0"



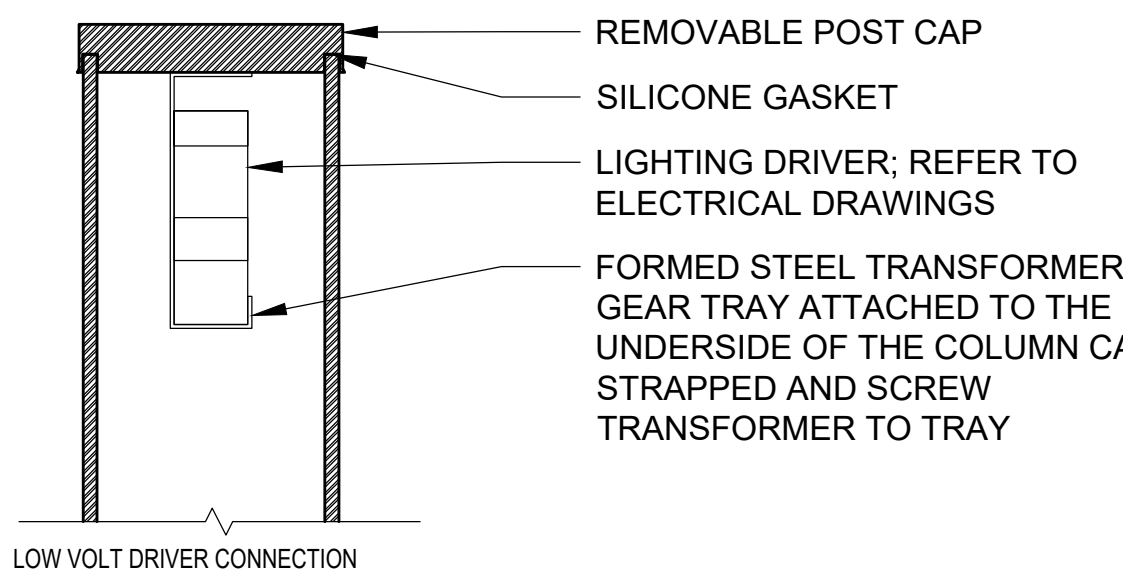
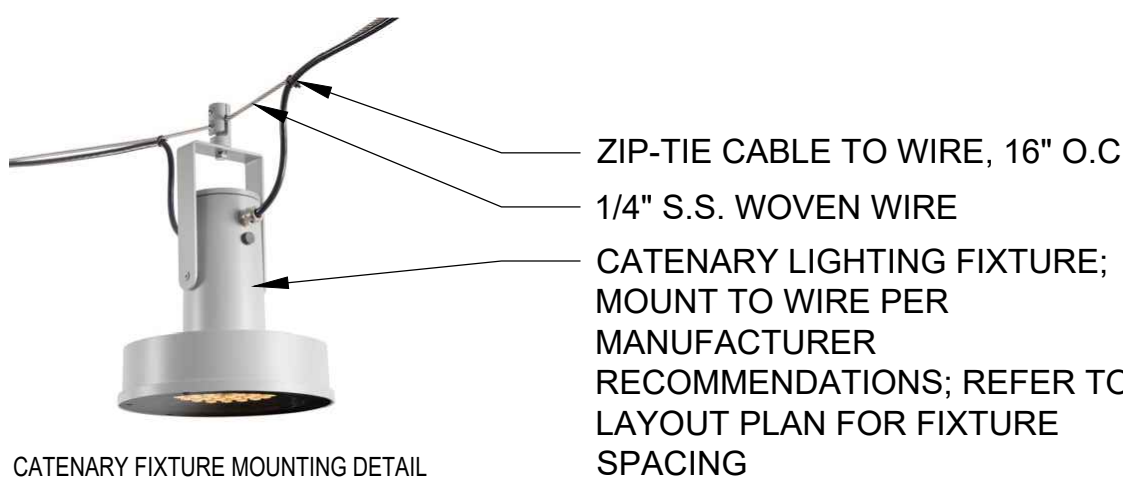
7 TIMBER BENCH - PLAN  
SCALE: 1/2" = 1'-0"

NOTE: SHOP DRAWINGS REQUIRED PRIOR TO INSTALLATION.



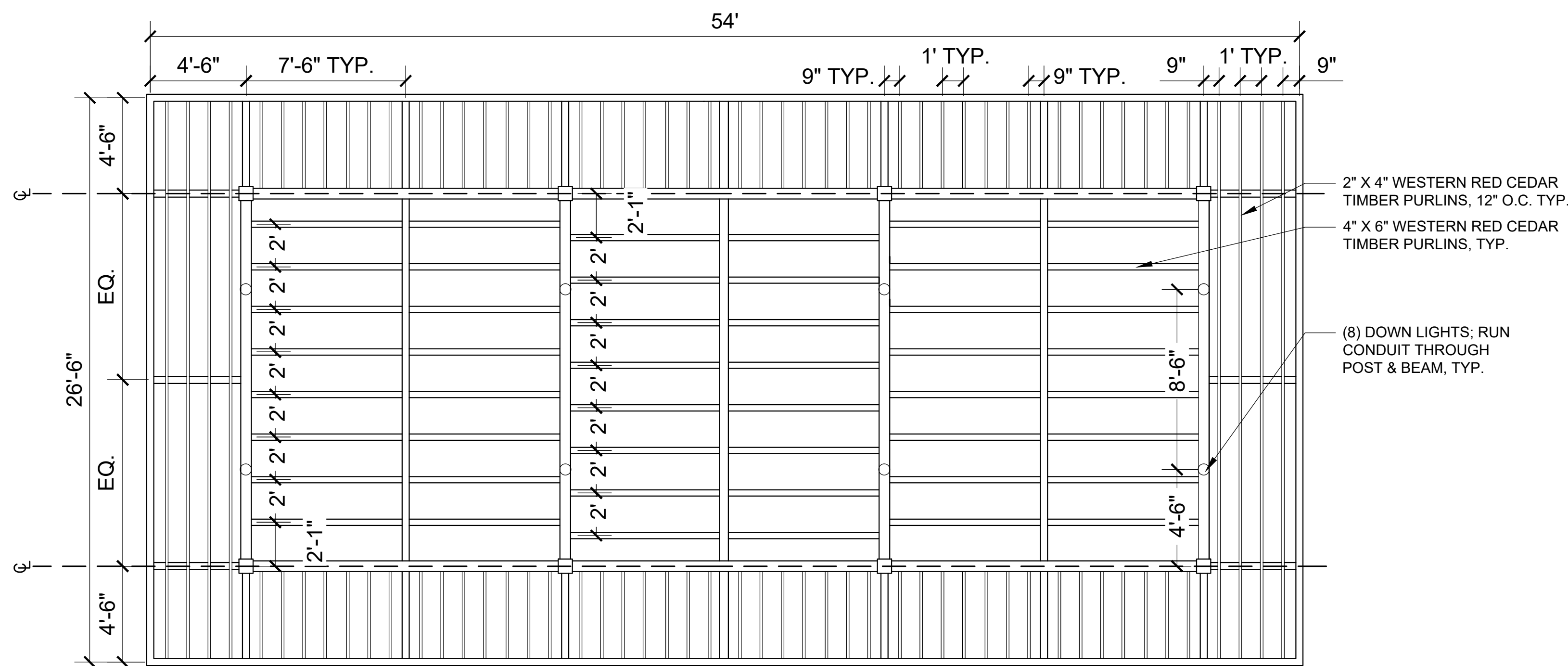
9 CATENARY LIGHTING SYSTEM  
SCALE: 1" = 1'-0"

NOTE:  
1. FOOTING DESIGN FOR CATENARY LIGHT POLES SHALL BE BY FABRICATOR/VENDOR. FABRICATOR / VENDOR SHALL SUBMIT FULL SHOP DRAWINGS FOR ALL ASPECTS OF FOOTING DESIGN INCLUDING LOADING CALCULATIONS, DRAWINGS, SCHEDULES, AND CALCULATIONS MUST BE PREPARED BY MASSACHUSETTS LICENSED STRUCTURAL ENGINEER ENGAGED BY LIGHT POST FABRICATOR / VENDOR.

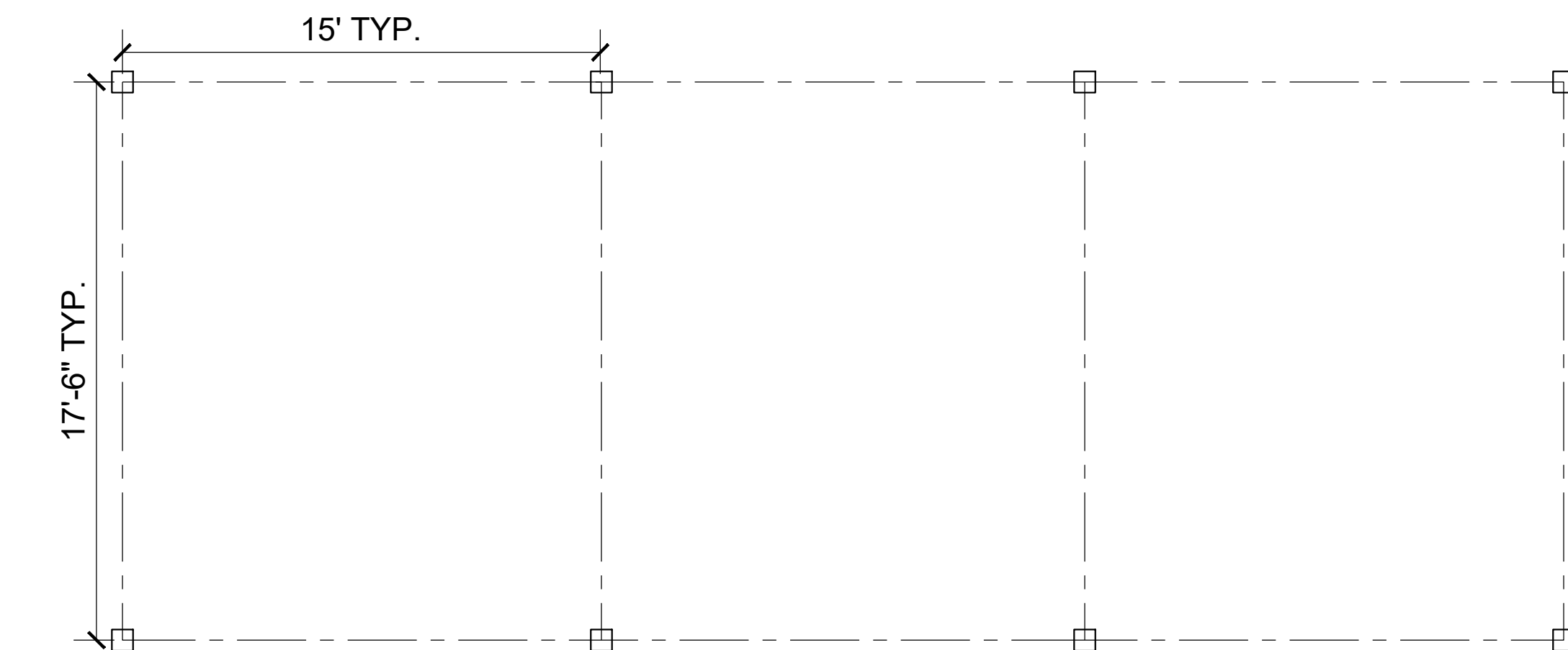




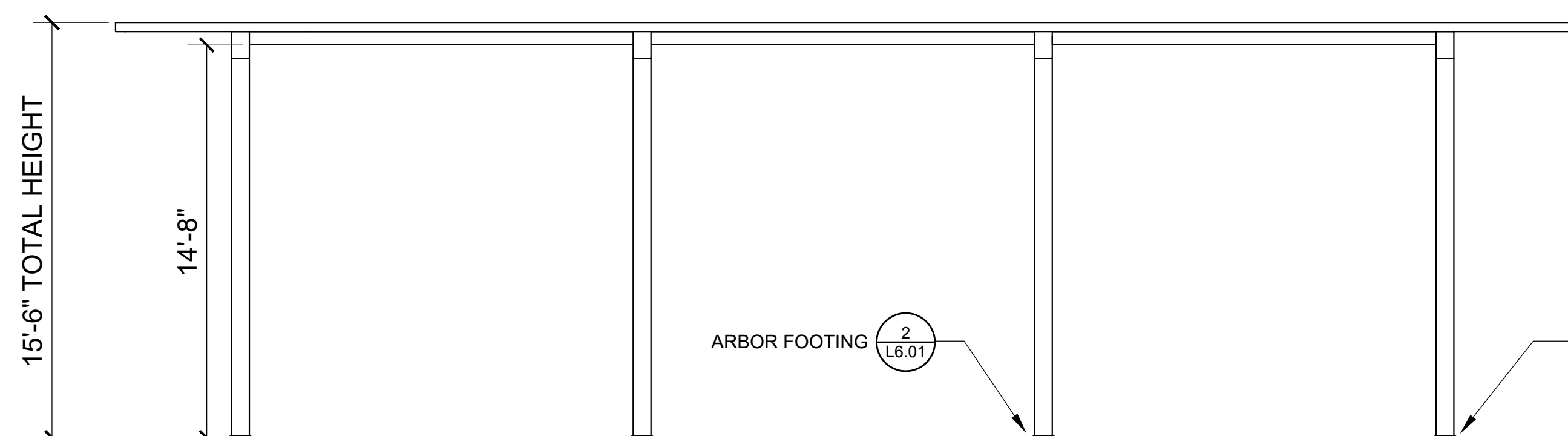
4/27/2023 11:06:53 AM - T:\2036 BOYNTON YARDS PUBLIC COMMON W\DLJ - LMP\CONSTRUCTION DRAWINGS\CURRENT CWDG DRAWINGS\BY CIVIC DETAILS.DWG - MICHAEL MACNUILITY



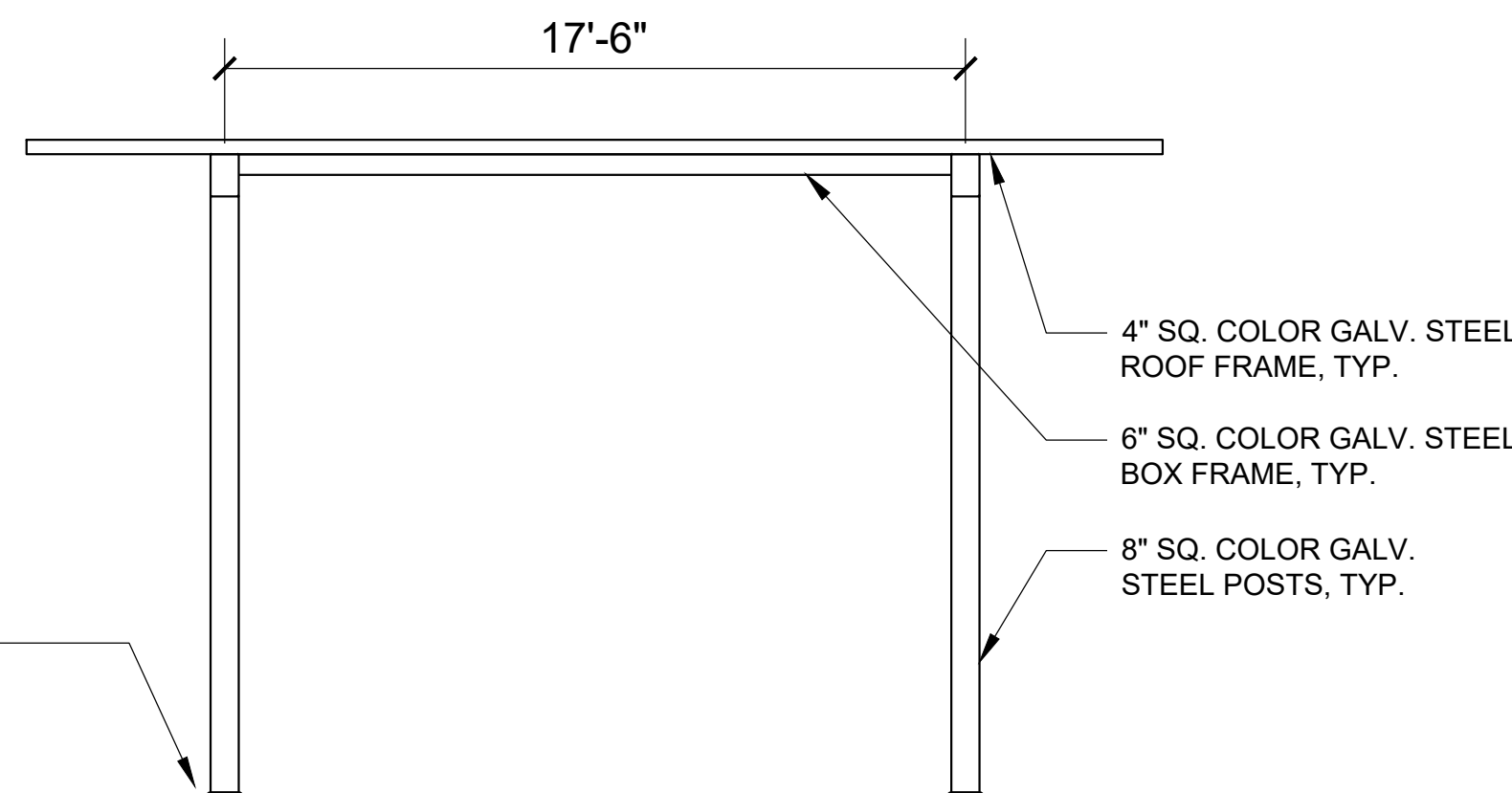
PLAN



POST LAYOUT PLAN



LONGITUDINAL ELEVATION



TRANSVERSE ELEVATION



NOTES:

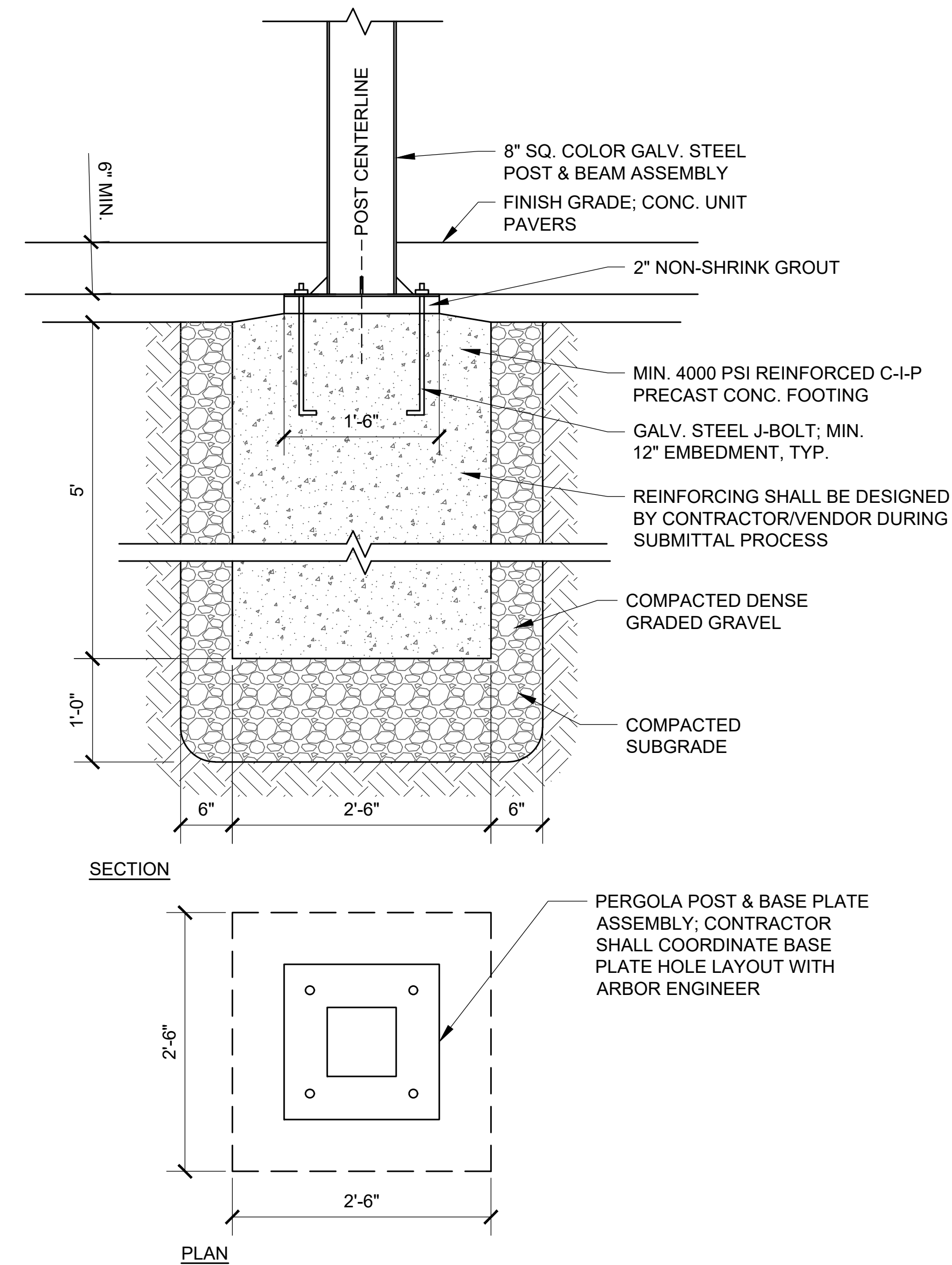
1. DIMENSIONS ARE TO MEMBER CENTERLINES UNLESS OTHERWISE NOTED.
2. SIZING OF STRUCTURAL MEMBERS SHOWS INTENT ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL SIZING AND REINFORCING OF STRUCTURAL COMPONENTS, CONNECTIONS, AND FOOTINGS.
3. STRUCTURE & CONC. FOOTINGS SHALL BE ENGINEERED TO WITHSTAND A MIN. SNOW LOAD OF 35 PSF AND A MIN. WIND SPEED OF 120 MPH.
4. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS & STRUCTURAL CALCULATIONS STAMPED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MASSACHUSETTS FOR APPROVAL LANDSCAPE ARCHITECT PRIOR TO FABRICATION & INSTALLATION.
5. COLOR GALV. STEEL COLORS SHALL BE ANY RAL COLOR SELECTED BY LANDSCAPE ARCHITECT DURING SUBMITTALS.

1 CIVIC ARBOR STRUCTURE

SCALE: 1/4" = 1'-0"

2 ARBOR FOOTING DETAIL

SCALE: 1" = 1'-0"



SECTION

PLAN

PERGOLA NOTES:

1. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ARBOR & MATERIAL FINISH OPTIONS FOR APPROVAL PRIOR TO FABRICATION
2. ALL PERGOLA FASTENERS AND HARDWARE SHALL BE STAINLESS STEEL

PERGOLA FOOTING NOTES:

1. CONCRETE FOOTING SIZING AND REINFORCING SHOWN IN THE DETAIL ARE FOR REFERENCE ONLY. CONTRACTOR SHALL SUBMIT ENGINEERED SHOP DRAWINGS & ENGINEERING CALCULATIONS BY STRUCTURAL ENGINEER REGISTERED IN THE STATE OF MASSACHUSETTS FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
2. ENGINEERED FOOTING SHALL BE DESIGNED TO MEET THE FOLLOWING LOADING REQUIREMENTS:
  - 2.1. MIN. WIND LOAD: 120 MPH
  - 2.2. MIN. SNOW LOAD: 35 PSF

PREPARED BY:

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PROJECT NAME / CLIENT:

BOYNTON YARDS - CIVIC SPACE 1

111 SOUTH STREET, SOMERVILLE, MA

CWDG PROJECT NUMBER: 2036

ISSUANCES:

REV # DATE DESCRIPTION

01 04.26.23 ADDENDUM #1

STAMP:

100% CD SET

DRAWING TITLE:  
LANDSCAPE  
DETAILS

DRAWN BY: AML

CHECKED BY: IR

SCALE: SEE DETAIL

DATE: 04/26/2023

SHEET 9 OF 11

DRAWING NUMBER:

L6.01







CWDG PROJECT NUMBER: 2036

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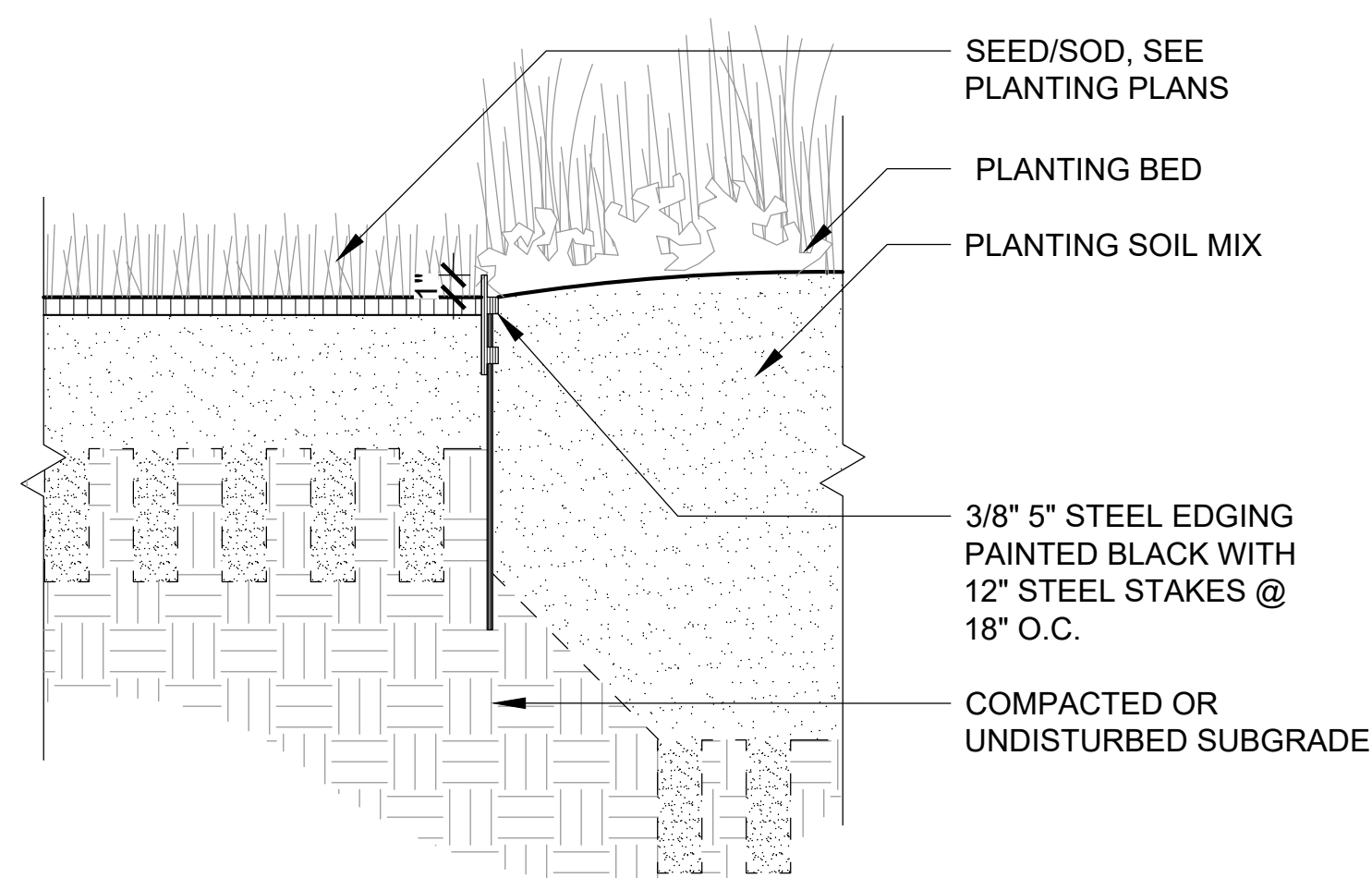
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DRAWING TITLE:

SHEET 11 OF 11

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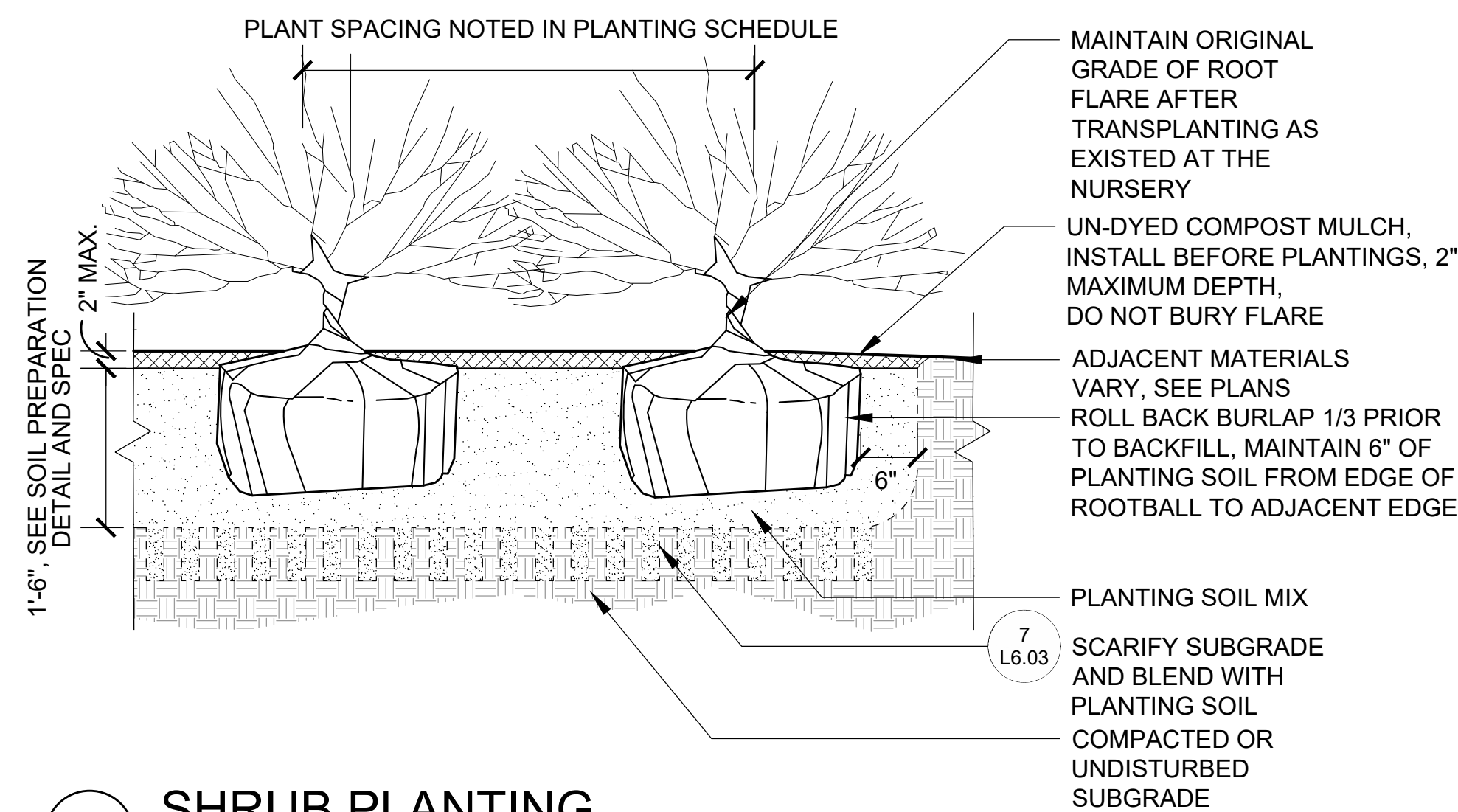
- NOTE:  
1. SHOP DRAWINGS REQUIRED PRIOR TO INSTALLATION.



#### 4 PLANTING EDGING AT PLANT BED

SCALE: 1-1/2" = 1'-0"

NOTE:  
1. SEE PLANTING LAYOUT DETAIL FOR SPACING AND LAYOUT.



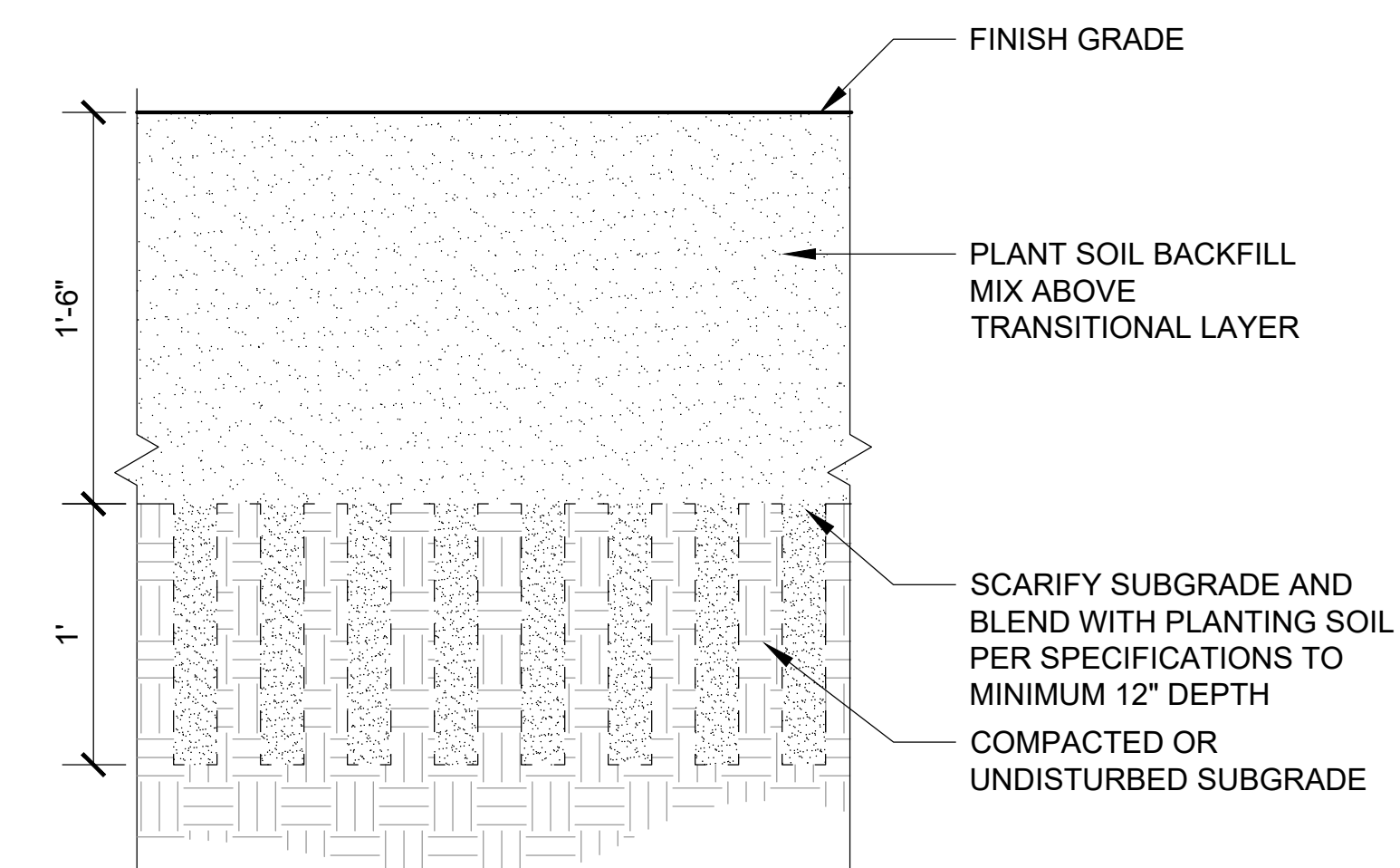
## 5 SHRUB PLANTING

SCALE: 3/4" = 1'-0"

- 
- 6", SEE SOIL PREPARATION DETAIL AND SPEC
- SEED MIX, REFERENCE TO SPECIFICATIONS
- PLANTING SOIL MIX
- 7  
L6.03
- SCARIFY SUBGRADE AND BLEND WITH PLANTING SOIL
- COMPACTED OR UNDISTURBED SUBGRADE



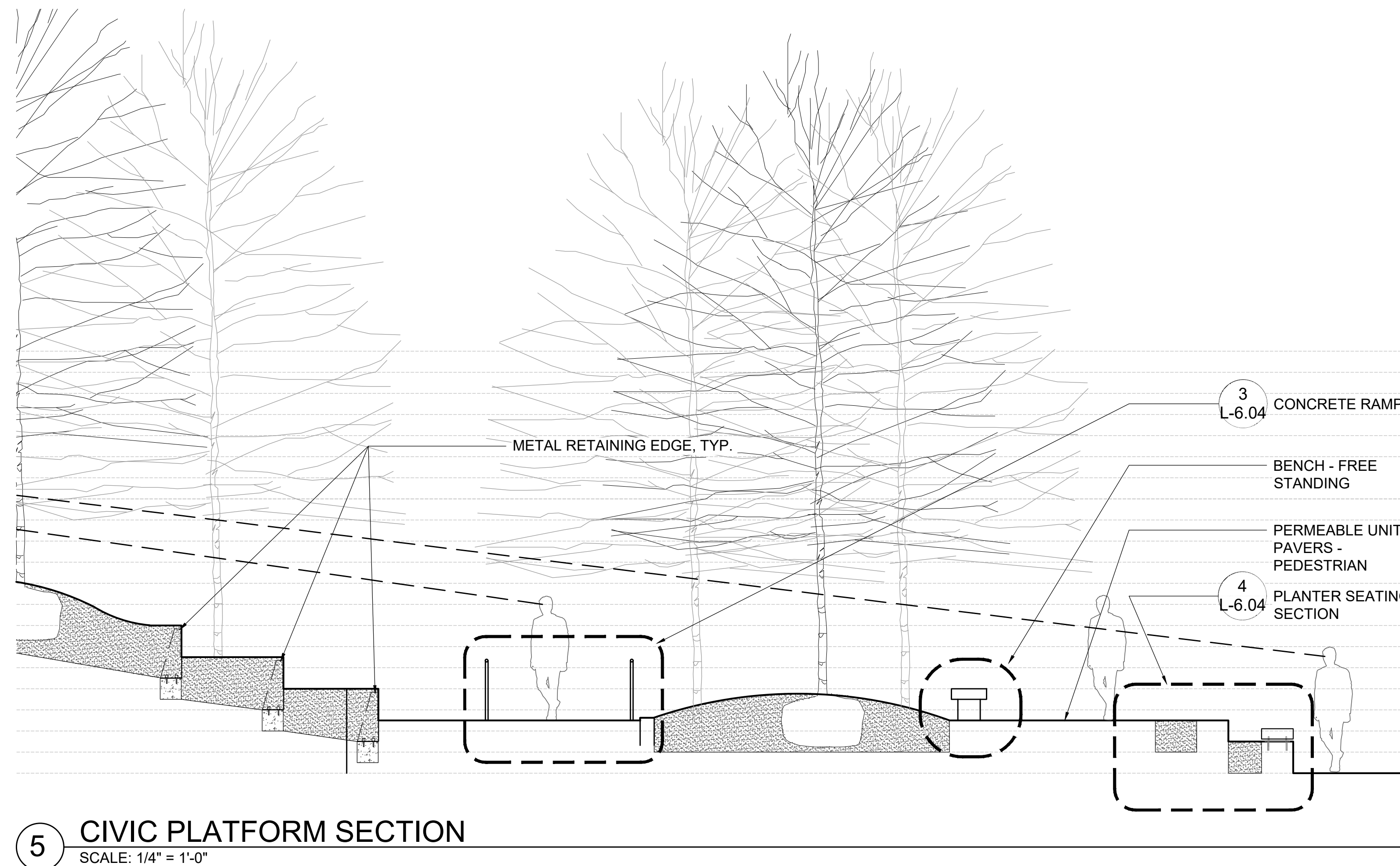
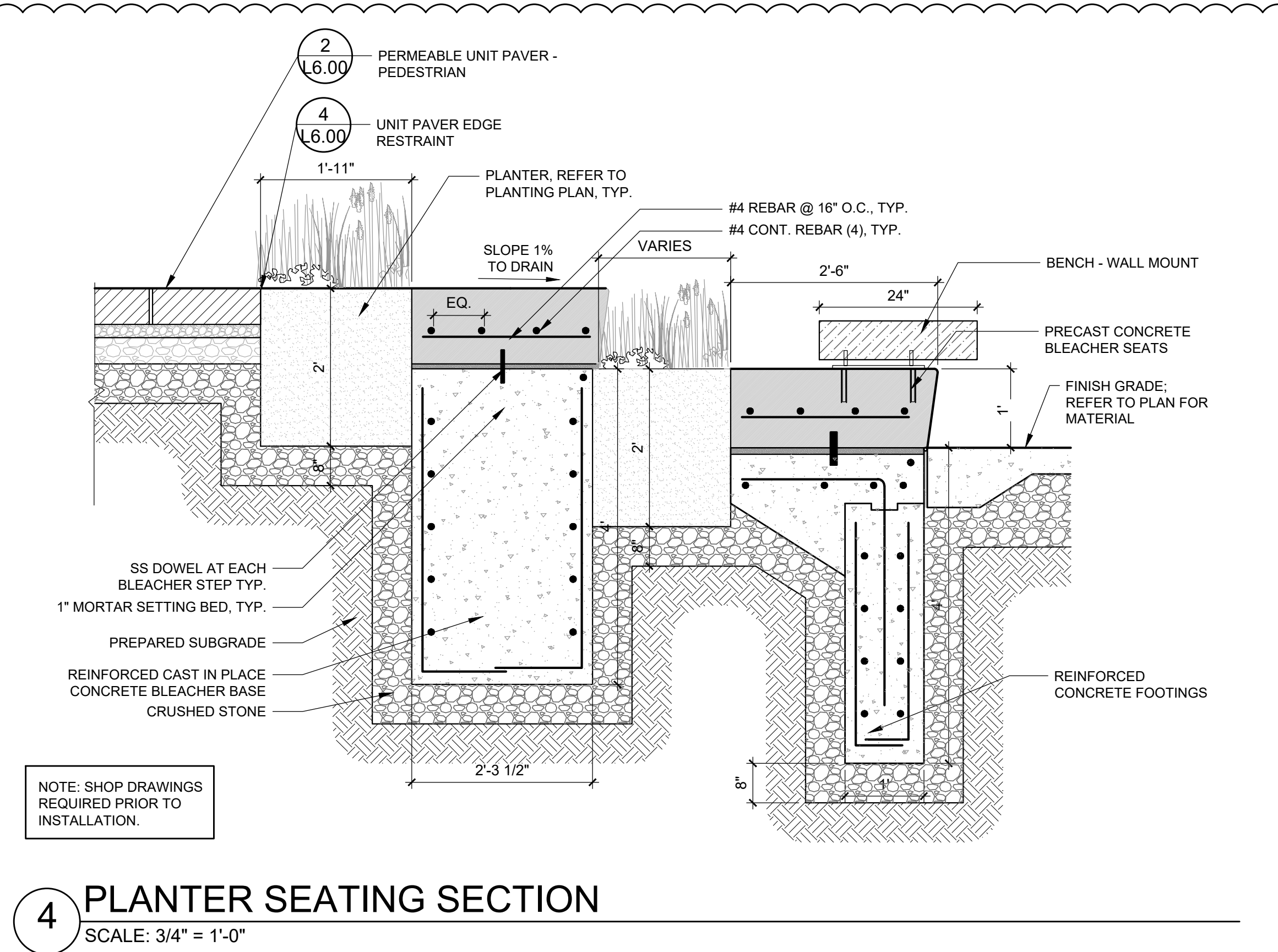
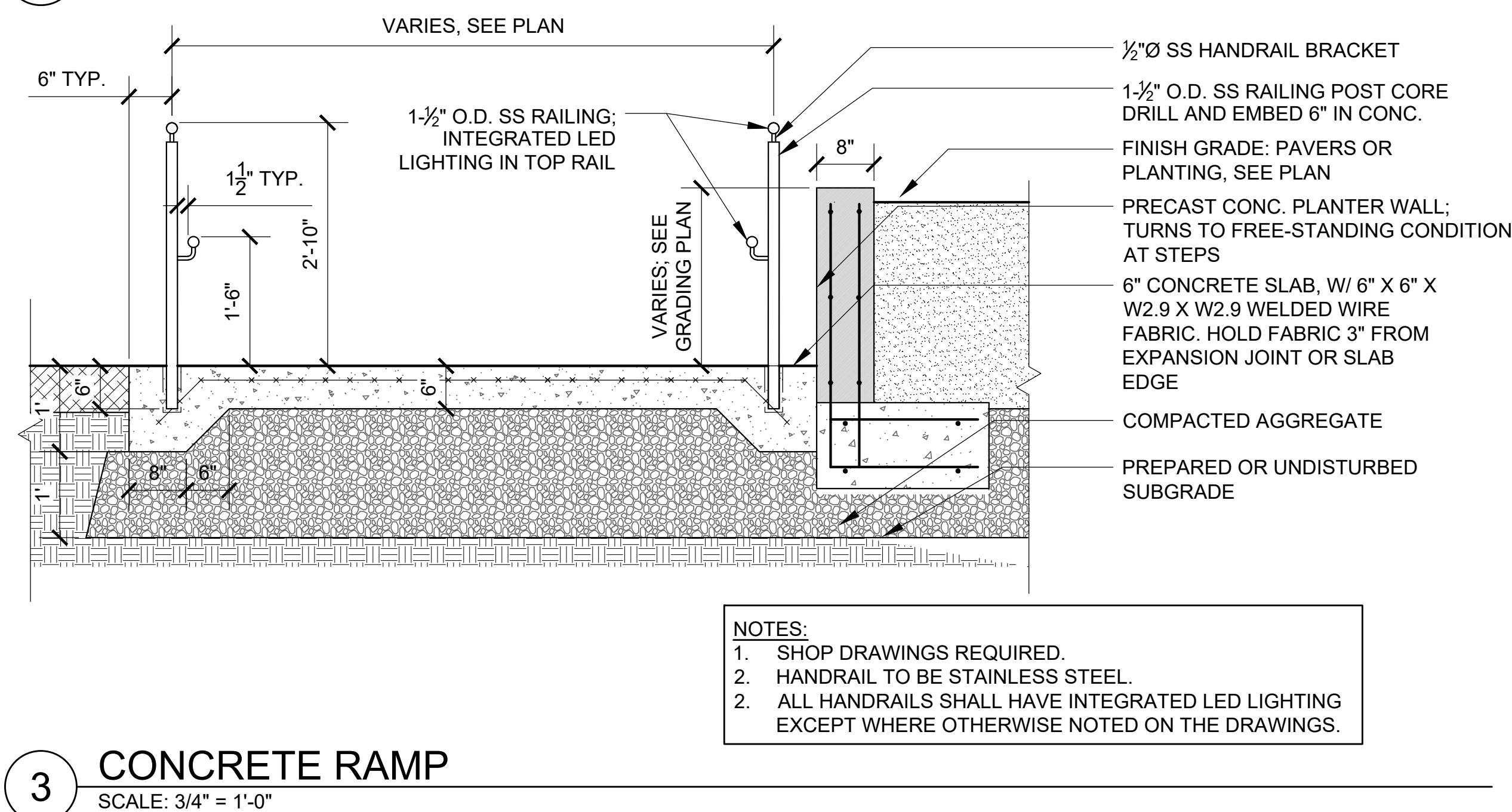
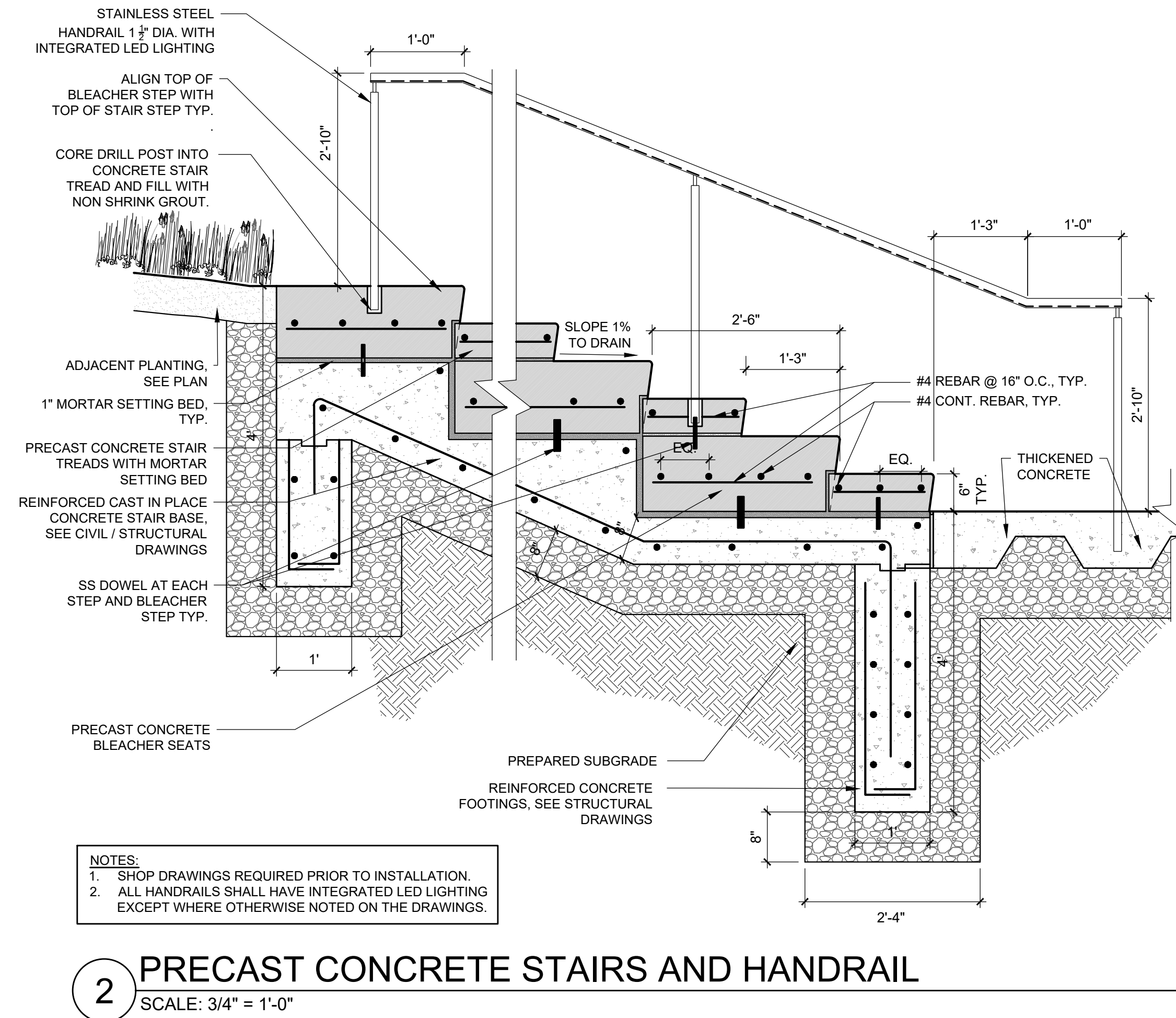
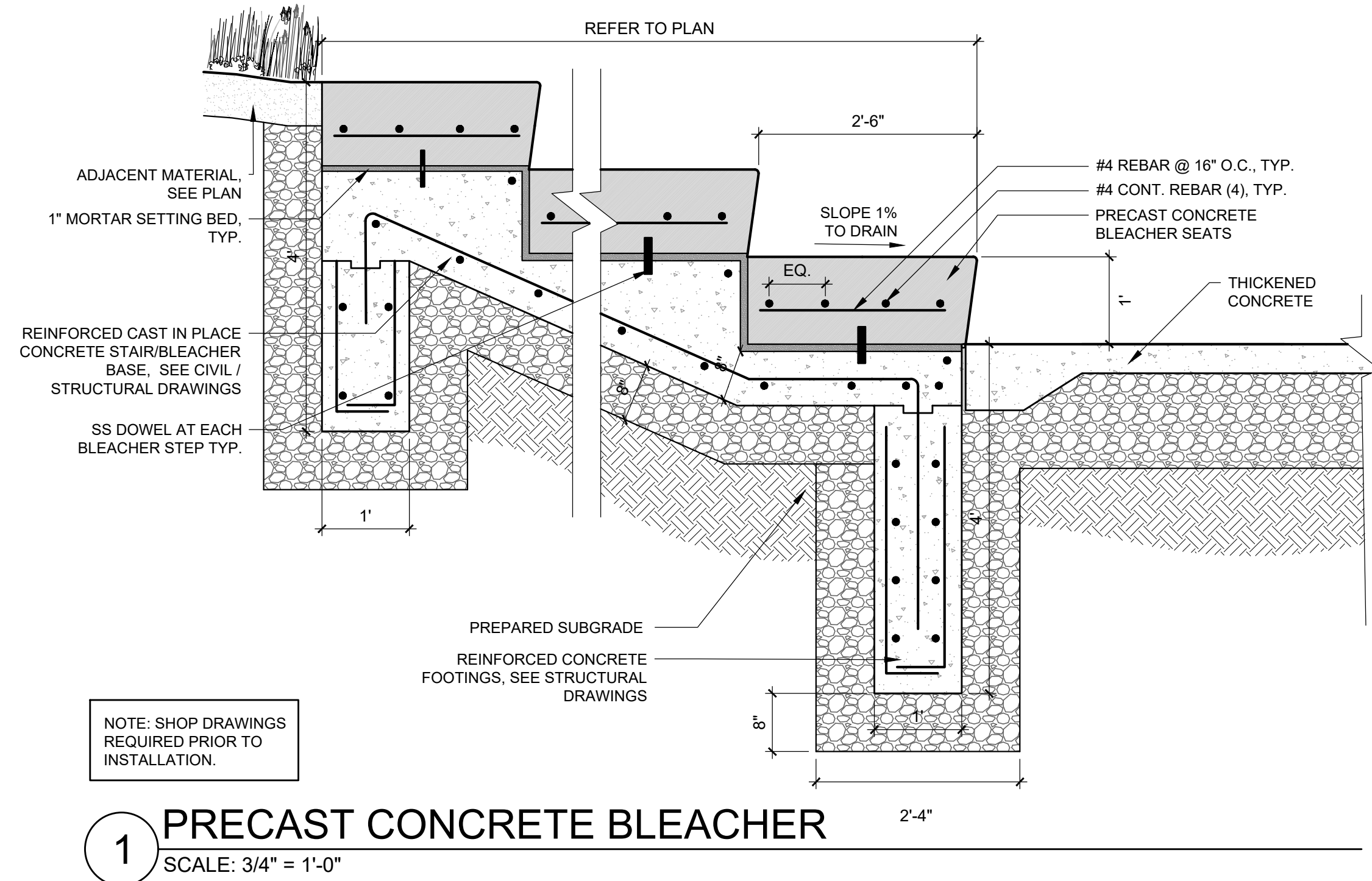
6 SCALE: 1-1/2" = 1'-0"



SCALE: 1-1/2" = 1'-0"



4/27/2023 11:07:22 AM - T:\2036 BOYNTON YARDS PUBLIC COMMON W\DLJ - LMP\CONSTRUCTION DRAWINGS\CURRENT CWDG DRAWINGS\BY CIVIC DETAILS.DWG - MICHAEL MACNUILITY



CIVIC PLATFORM DETAIL NOTES:  
1. CIVIC PLATFORM DETAILS INCLUDED FOR REFERENCE ONLY.  
2. CIVIC PLATFORM BEING CONSTRUCTED AS PART OF 808 WINDSOR PROJECT.

PREPARED BY:

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PROJECT NAME / CLIENT:

# BOYNTON YARDS - CIVIC SPACE 1

111 SOUTH STREET, SOMERVILLE, MA

CWDG PROJECT NUMBER: 2036

ISSUANCES:

REV # DATE DESCRIPTION

01 04.26.23 ADDENDUM #1

STAMP:

100% CD SET

CIVIC  
PLATFORM  
DETAILS

DRAWN BY: AML

CHECKED BY: IR

SCALE: SEE DETAIL

DATE: 04/26/2023

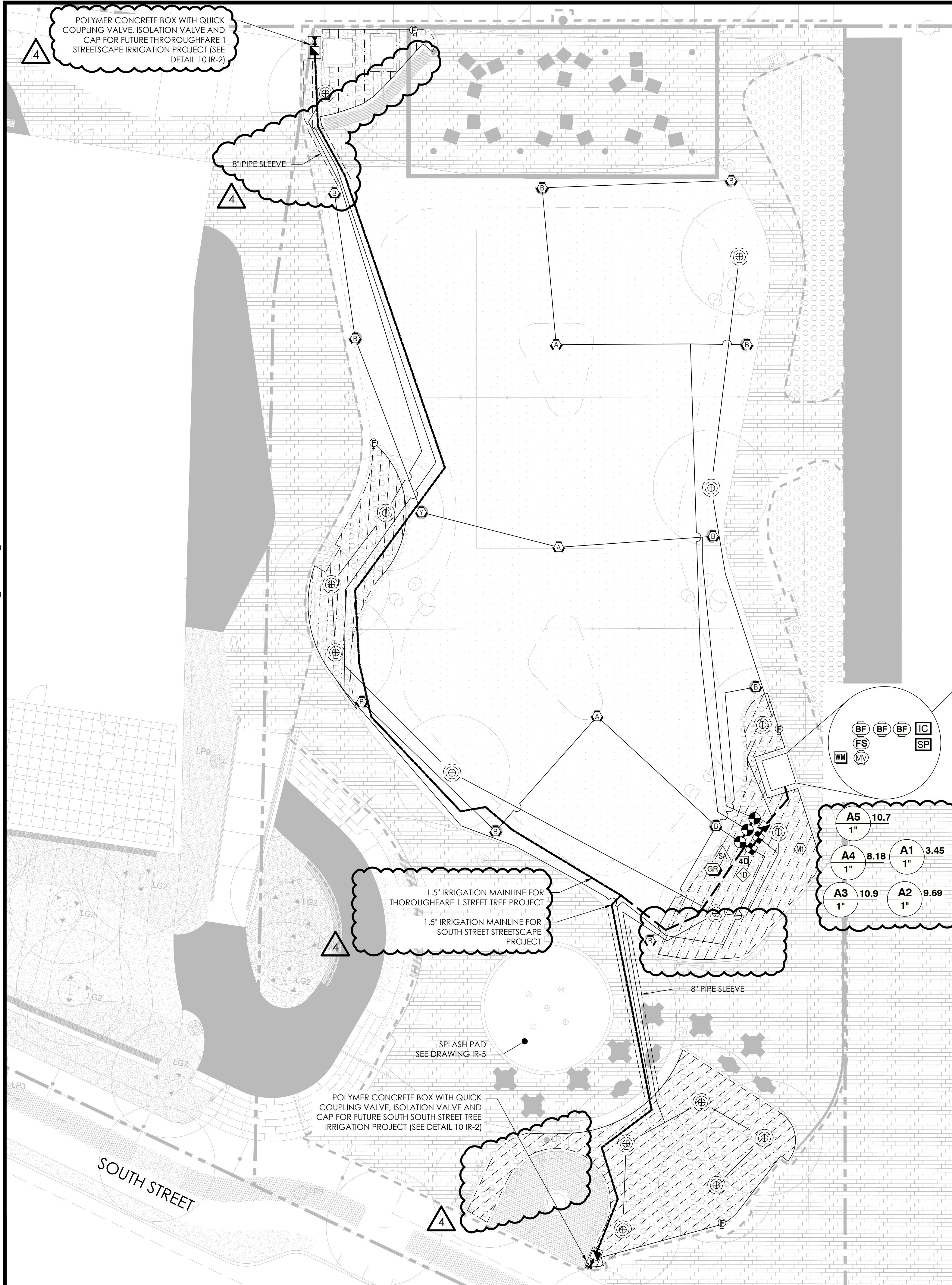
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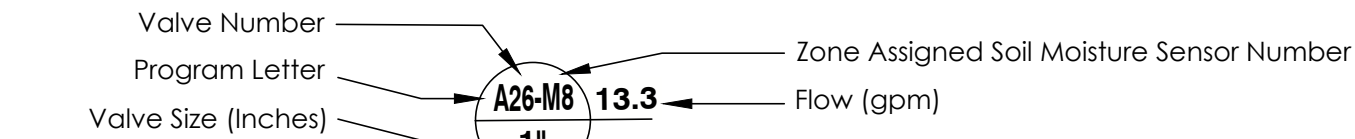
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## GENERAL IRRIGATION STRATEGY



### Lawn

6-Inch Pop-Up Sprinklers with Head-to-Head Coverage. Use spray nozzles for short distances, rotary nozzles for medium to long distances.

### Planting Beds

Drip irrigation grids with flow rates matched to planting soil specification. Typically 0.6 gallon/hour emitters 12 inches on center within drip tubing and drip tubing rows 18 inches apart.

### Soil Moisture Sensors

Calibrate soil moisture sensors in field as per manufacturer instructions. Program irrigation controller to irrigate on high limit (wetter) settings during the first year of establishment/guarantee period. Switch to lower limit (minimum allowable) settings after guarantee period at turnkey. Provide soil moisture sensors for each combination of plant species, sun exposure, and soil type.

### Cycle-Soak

Program irrigation controller to apply daily water use in soak cycles as to split up application and allow for proper horizontal and vertical movement of water through soils.

IRRIGATION DESIGN BY:



**AQUEOUS CONSULTANTS, LLC**  
1 Dundee Park Drive, Suite 10  
Andover, MA 01810  
(978) 470-1695  
www.aqueous.net

## IRRIGATION NOTES

- SEE IRRIGATION DETAILS AND SPECIFICATIONS SECTION 328400 FOR ADDITIONAL REQUIRED INFORMATION. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- COORDINATE FINAL LOCATION OF IRRIGATION AND VALVE BOXES WITH FINAL APPROVED LANDSCAPE. IN GENERAL, PLACE ALL VALVE BOXES WITHIN PLANTER BEDS TO MAXIMUM EXTENT PRACTICABLE FOR AT-GRADE LANDSCAPE.
- ALL PIPE AND VALVE LOCATIONS ARE DIAGRAMMATIC FOR CLARITY; CONTRACTOR SHALL FIELD VERIFY.
- SPECIFIED VALVE BOX LOCATIONS AND COLORS SHALL BE APPROVED BY LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE.
- ALL CONTROL WIRE SHALL BE 14/2 AWG TWO-WIRE INSTALLED PARALLEL TO MAINLINE DIRECT BURIAL WITH DBY/R-6 WIRE SPLICE KITS.
- IRRIGATION SYSTEM IS DESIGNED FOR DOMESTIC WATER SUPPLY AT 12 GPM MAXIMUM. SYSTEM TO PRODUCE 60-PSI DYNAMIC PRESSURE MINIMUM AT EACH AT-GRADE IRRIGATION POINT OF CONNECTION. CONTRACTOR SHALL TEST DYNAMIC PRESSURE BEFORE STARTING WORK AND REPORT ANY DEVIATION TO THE OWNER'S REPRESENTATIVE BEFORE CONTINUING.
- INSTALL NEW CONTROLLER IN IRRIGATION ENCLOSURE AS LOCATED APPROXIMATELY ON PLANS, AS DIRECTED BY OWNER'S REPRESENTATIVE. HARD WIRE TO 120 VOLT, DEDICATED 20-AMP CIRCUIT, POWER SUPPLY USING LICENSED ELECTRICIAN TO IRRIGATION CONTROLLER. PROVIDE CELLULAR COMMUNICATIONS FOR IRRIGATION CONTROLLER.
- GROUND IRRIGATION CONTROLLER TO APPROVED GROUNDING ROD LOCATION. COORDINATE WITH SITE ELECTRICAL CONTRACTOR.
- GROUND ALL DECODERS IN THE FIELD BY CONNECTING SURGE ARRESTORS TO BARE COPPER 6AWG WIRE BACK TO GROUNDING RODS AS REQUIRED BY MANUFACTURER.
- COORDINATE LOCATION OF ALL EXISTING AND FUTURE UTILITIES ON SITE, CONTACT PROPER AUTHORITIES AND UTILITY COMPANIES BEFORE THE START OF WORK.
- FLUSH ALL LATERAL LINES BEFORE INSTALLING SPRINKLER AND DRIP IRRIGATION WITH DOMESTIC WATER.
- CONTRACTOR MUST SUBMIT PRODUCT CUT SHEETS AS PER THE WRITTEN SPECIFICATIONS TO THE ENGINEER FOR APPROVAL PRIOR TO ORDERING MATERIAL AND BEGINNING WORK.
- MATERIAL SUBSTITUTIONS WHICH VARY FROM THE SPECIFIED PRODUCTS MUST BE SUBMITTED TO THE ENGINEER FOR APPROVAL AS PART OF THE SUBMITTAL PROCESS.
- ONCE APPROVED SUBMITTALS HAVE BEEN RETURNED TO THE CONTRACTOR, WORK MAY BEGIN. OWNER'S REPRESENTATIVE MUST BE NOTIFIED 7 DAYS IN ADVANCE OF THE START OF WORK TO COORDINATE ON-SITE SUPERVISION AND ADMINISTRATION.

## IRRIGATION MATERIAL LIST

SYMBOL	MANUFACTURER/MODEL	DETAIL # (IR-2)
	Landscape Irrigation Controller Baseline BaseStation3200 with BaseManager 2.0	1, 2
	Splash Pad Controllers	19 (IR-9)
	Soil Moisture Sensor with Number	4
	1-Station Decoder	2, 5
	4-Station Decoder	
	Surge Arrestor	3
	Decoder Grounding Rod	5
	Commercial Electric Zone Valve w/Sentry/Scrubber	7
	1-Inch Drip Control Zone Kit (Filter, PR)	8
	Quick Coupler Valve	9
	1-Inch Isolation Gate Valve with Cross Handle	10
SYMBOL	MANUFACTURER/MODEL	DETAIL # (IR-3)
	Automatic Flush Valve	11
	Planted Area and Trees to Receive Dripline 0.6 gph Emitters 12" O.C. at 18" Row Spacing	12
	Tree/Shrub Rings with 0.9 gph Emitter 12" O.C. at 2' and 3' Diameter Centered on Trunk/Root Ball	13
	Irrigation Lateral Line: PVC Schedule 40 Size as Noted, Unlabeled Pipe = 1-Inch	14
	Irrigation Mainline: 2-Inch PVC Schedule 40	
	Irrigation Mainline: 1.5-Inch PVC Sch. 40 (Future Work)	
	Pipe Sleeve: PVC SDR 35 Solvent Weld (with Size)	15
	6" Pop-Up Rotary Sprinkler w/CV PR40 (Large)	16
	2 Inch Brass Flow Sensor	
	1, 1.5, 2 RPZ Backflow Preventer	18 (IR-9)
	2 Inch Brass Master Valve	
	Water Meter	

PREPARED BY:



Copley Wolff Design Group  
Landscape Architects & Planners

PROJECT NAME / CLIENT:

**BOYNTON YARDS - CIVIC SPACE 1**  
101 SOUTH STREET, SOMERVILLE, MA  
101 SOUTH STREET OWNER LLC

DWG/D PROJECT NUMBER: 2036-000

ISSUANCES:

REV #	DATE	DESCRIPTION
1	12.15.2020	BULLETIN 47 - INTERIM PARK
2	10.07.2022	90% CONSTRUCTION DOCUMENTS
3	3.10.2023	100% CONSTRUCTION DOCUMENTS
4	4.26.2023	ADDENDUM NO. 1

STAMP:



DRAWING TITLE:

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LAYOUT PLAN**

DRAWN BY: TSL

CHECKED BY: MI

SCALE: 1" = 10'

DATE: 3.10.23

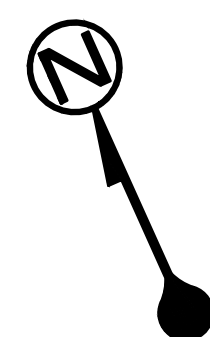
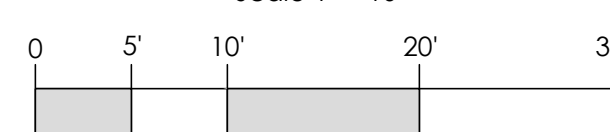
SHEET 1 OF 10

DRAWING NUMBER:

**IR-1**

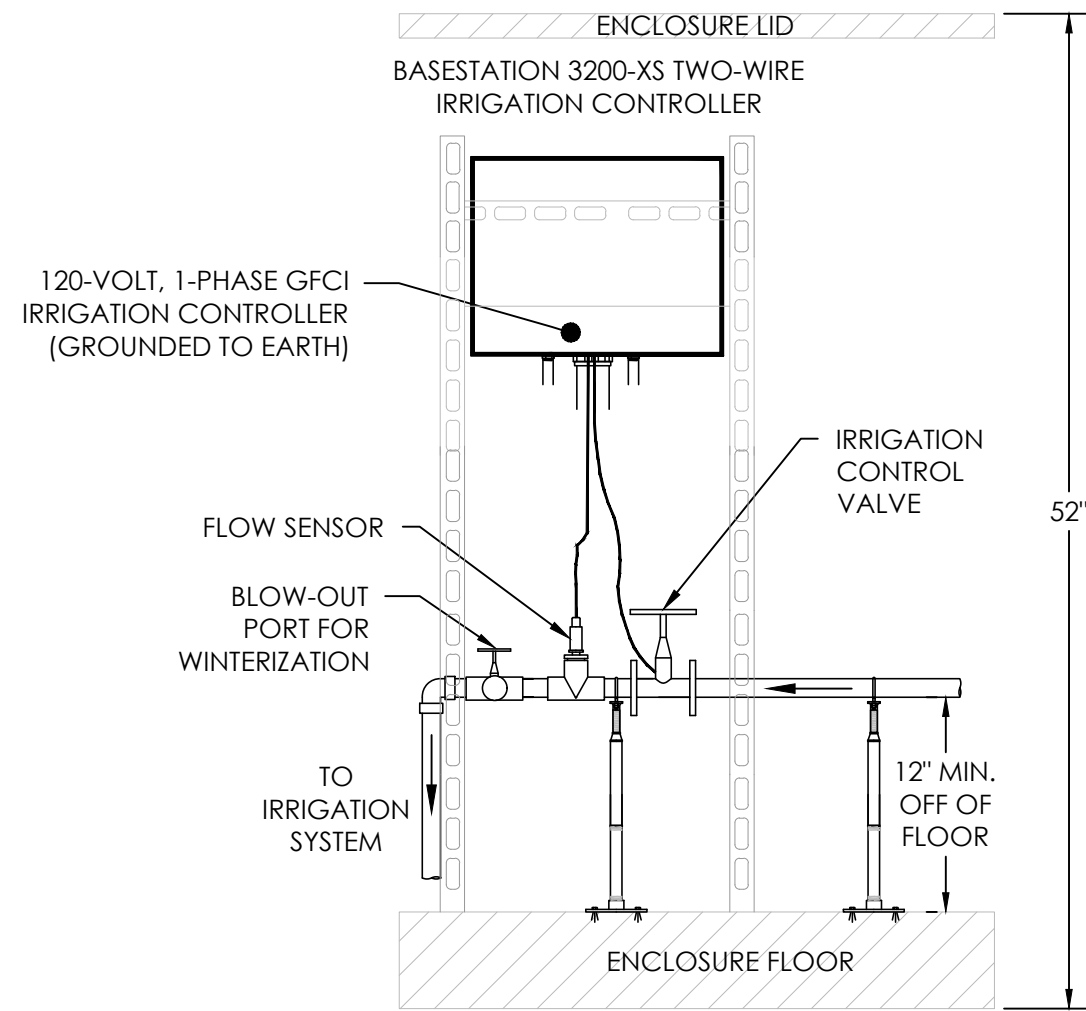
IRRIGATION LAYOUT PLAN

Scale 1" = 10'



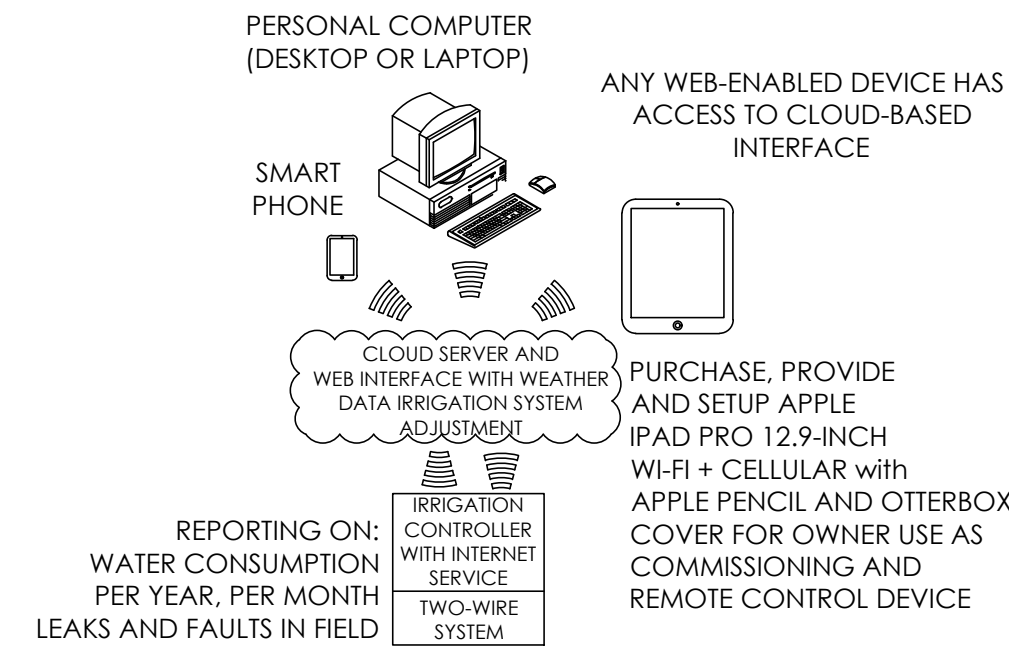


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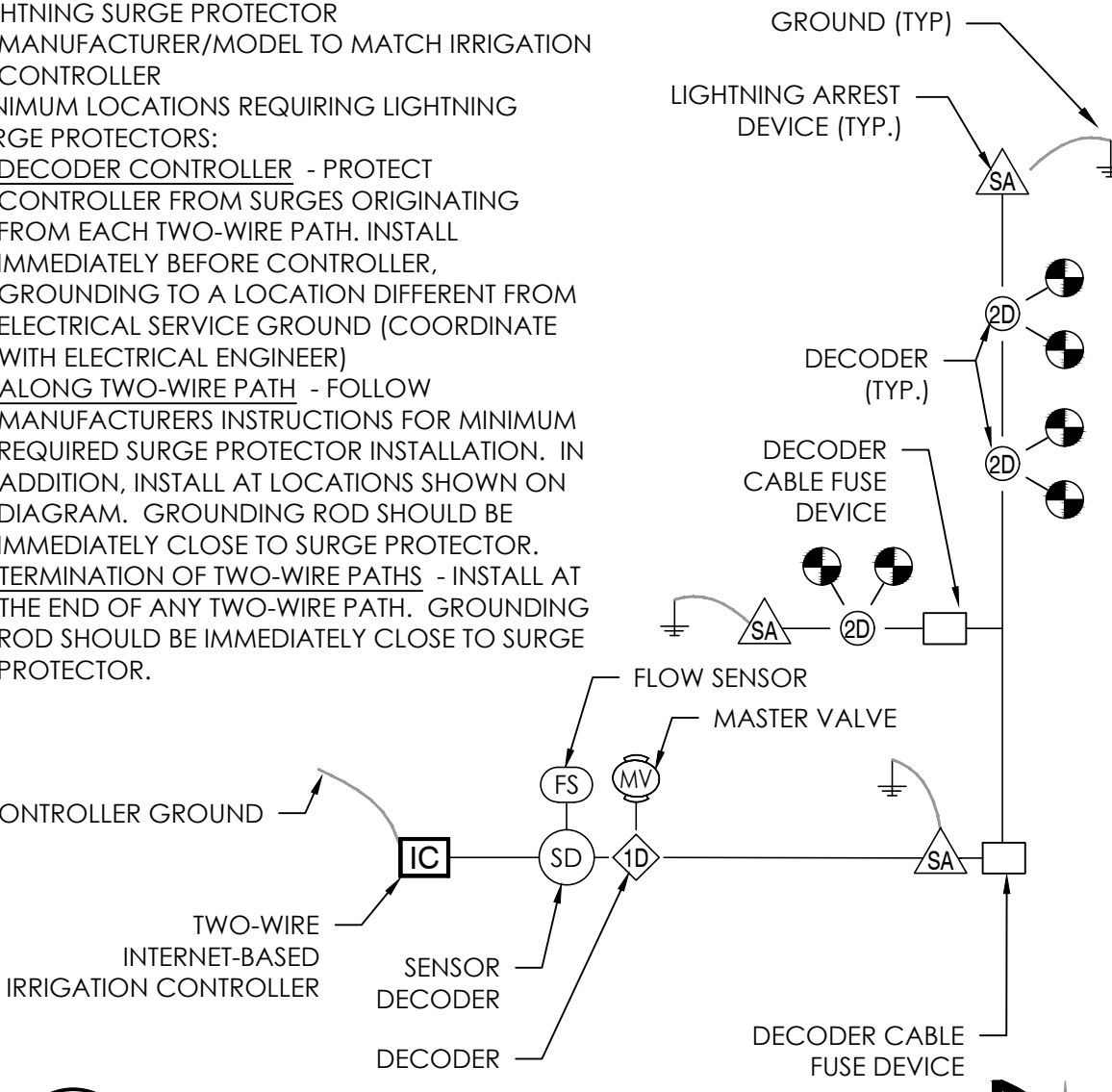
1 IRRIGATION CONTROLLER SECTION  
IR-2 NOT TO SCALE

- NOTES:
- AS SHOWN IS BASE STATION 3200 CONTROLLER IN "XS" SERIES STAINLESS STEEL WALL MOUNT ENCLOSURE FOR TWO-WIRE SYSTEM.
  - PROVIDE CELLULAR CARD AND EXTERIOR ENCLOSURE MOUNTED ANTENNA.
  - BASE STATION 32000 CONTROLLER IN "XS" CABINET CAN HOUSE UP TO 200 TWO-WIRE ZONES.
  - PROPER GROUNDING IS REQUIRED TO ACHIEVE RESISTANCE OF 10 OHMS OR LESS. TIE INTO BUILDING GROUNDING.
  - USE CONDUIT PER CONDITIONS OR PER LOCAL CODE.

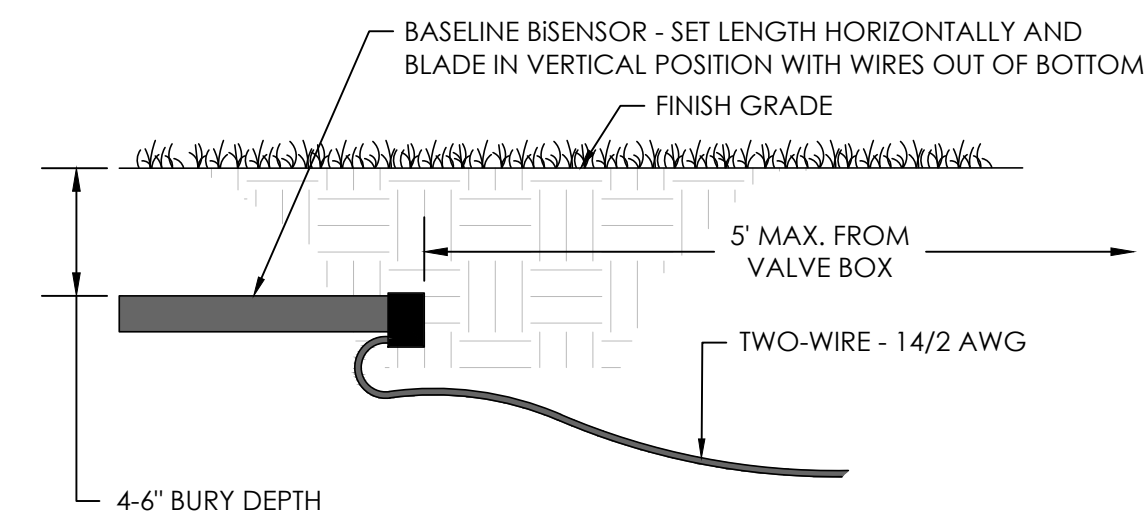


2 TWO-WIRE SCHEMATIC DIAGRAM  
IR-2 NOT TO SCALE

- NOTES:
- LIGHTNING SURGE PROTECTOR
    - MANUFACTURER/MODEL TO MATCH IRRIGATION CONTROLLER
  - MINIMUM LOCATIONS REQUIRING LIGHTNING SURGE PROTECTORS:
    - DECODER CONTROLLER - PROTECT CONTROLLER FROM SURGES ORIGINATING FROM EACH TWO-WIRE PATH. INSTALL IMMEDIATELY BEFORE CONTROLLER. GROUNDING TO A LOCATION DIFFERENT FROM ELECTRICAL SERVICE GROUND (COORDINATE WITH ELECTRICAL ENGINEER)
    - ALONG TWO-WIRE PATH - FOLLOW MANUFACTURERS INSTRUCTIONS FOR MINIMUM REQUIRED SURGE PROTECTOR INSTALLATION. IN ADDITION, INSTALL AT LOCATIONS SHOWN ON DIAGRAM. GROUNDING ROD SHOULD BE IMMEDIATELY CLOSE TO SURGE PROTECTOR.
    - TERMINATION OF TWO-WIRE PATHS - INSTALL AT THE END OF ANY TWO-WIRE PATH. GROUNDING ROD SHOULD BE IMMEDIATELY CLOSE TO SURGE PROTECTOR.

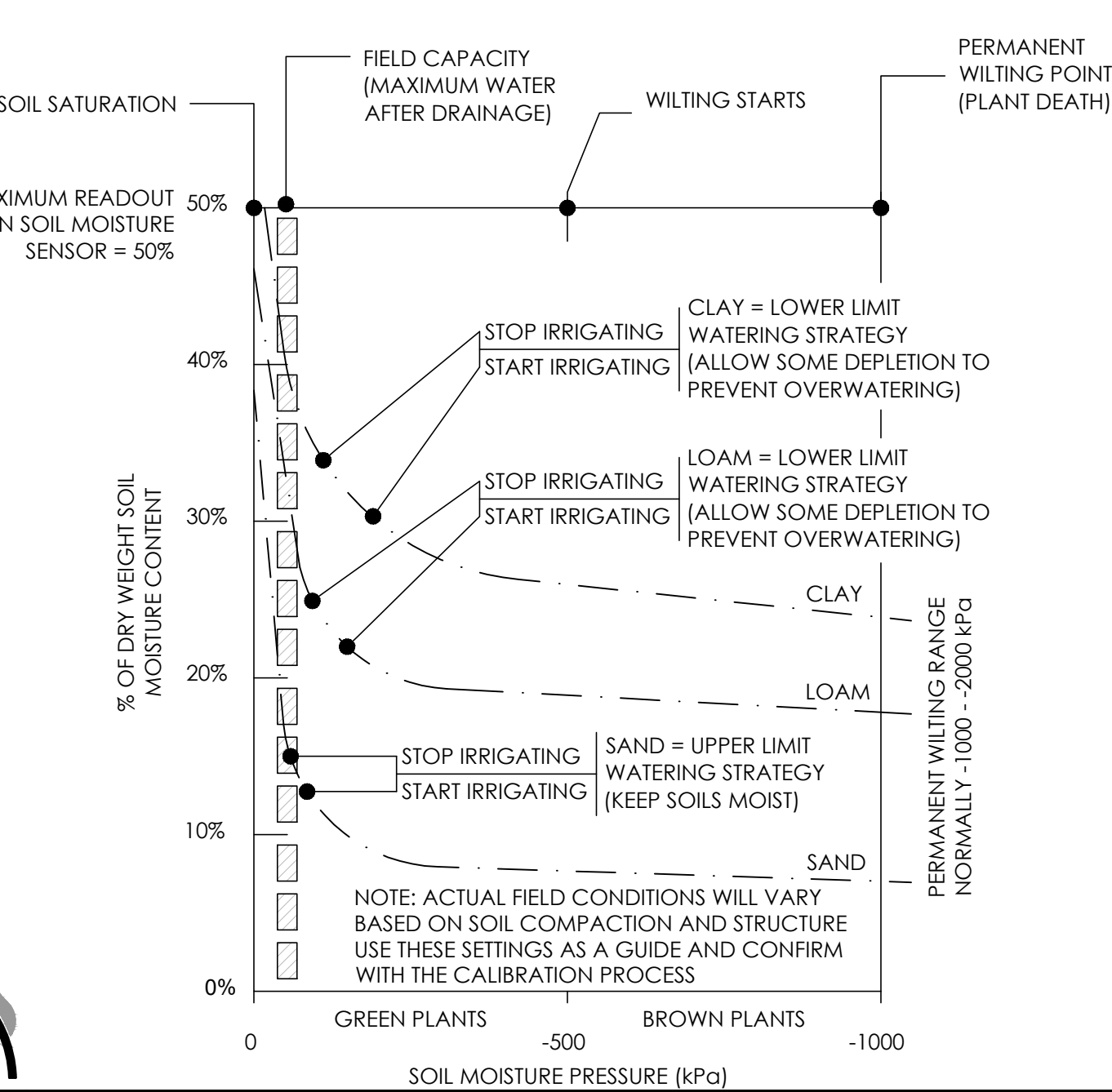


3 LIGHTNING ARREST AND DECODER FUSE DEVICE  
IR-2 NOT TO SCALE

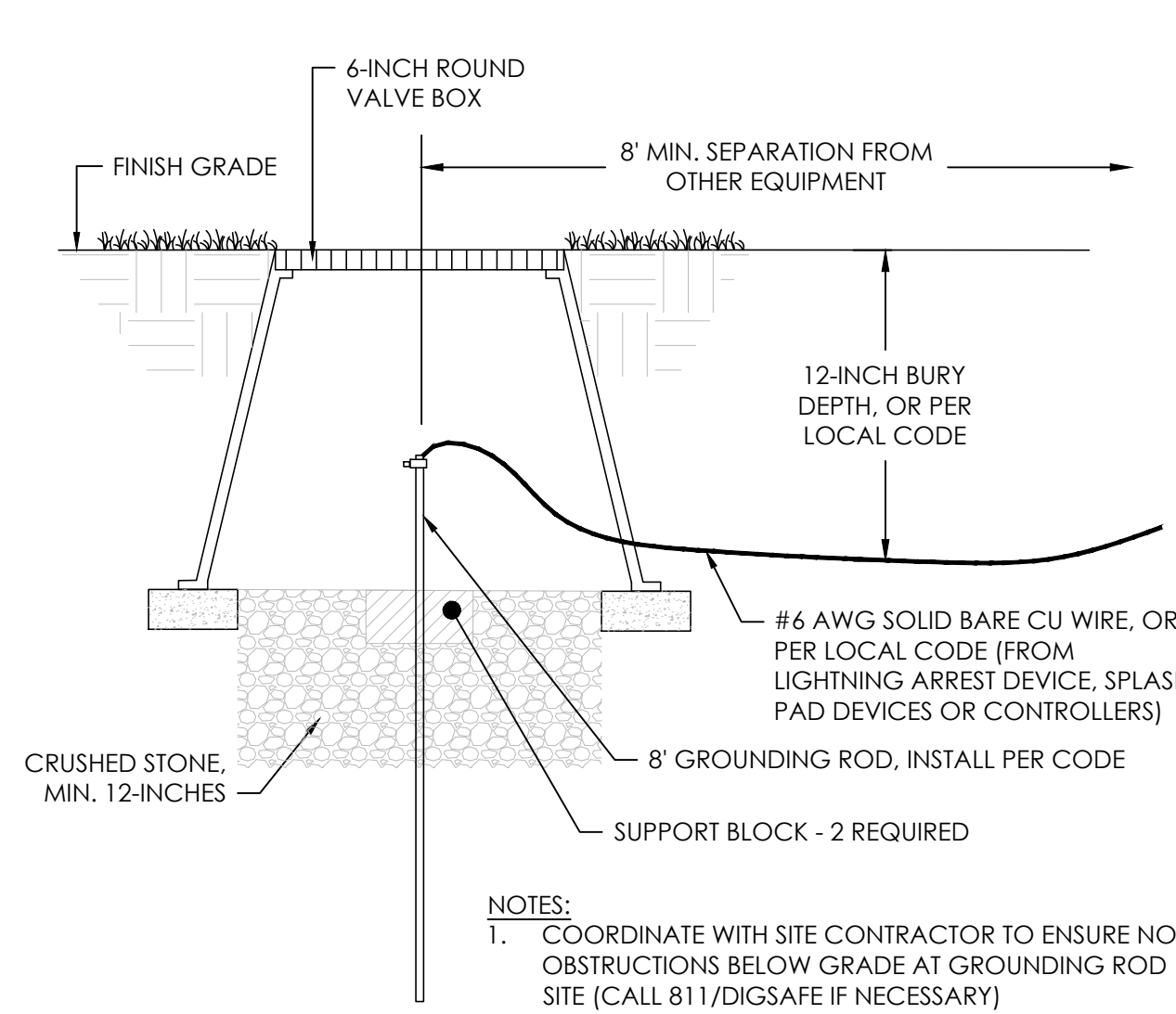


PLANTING SOIL MEDIUM	SOIL TEXTURE	INFILTRATION RATE (IN/H)	SATURATION (PERCENT)	FIELD CAPACITY (PERCENT)	TOTAL AVAILABLE (PERCENT)
EXISTING AND ENGINEERED SOILS	SAND	2.0 (1.0 - 10.0)	38 (32-42)	15 (10-20)	7 (3-10)
	SANDY LOAM	1.0 (0.5 - 3.0)	43 (40-47)	21 (15-27)	9 (6-12)
HORTICULTURAL PLANTING SOIL	LOAM	0.5 (0.3 - 0.8)	47 (43-49)	31 (25-36)	14 (11-17)
	CLAY LOAM	0.3 (0.1 - 0.6)	49 (47-51)	36 (31-42)	18 (15-20)
TRANSPLANTED TREE ROOT BALLS	SILTY CLAY	0.1 (0.01 - 0.2)	51 (49-53)	40 (35-45)	20 (17-22)
	CLAY	0.02 (0.004 - 0.04)	53 (51-55)	44 (39-49)	21 (19-24)

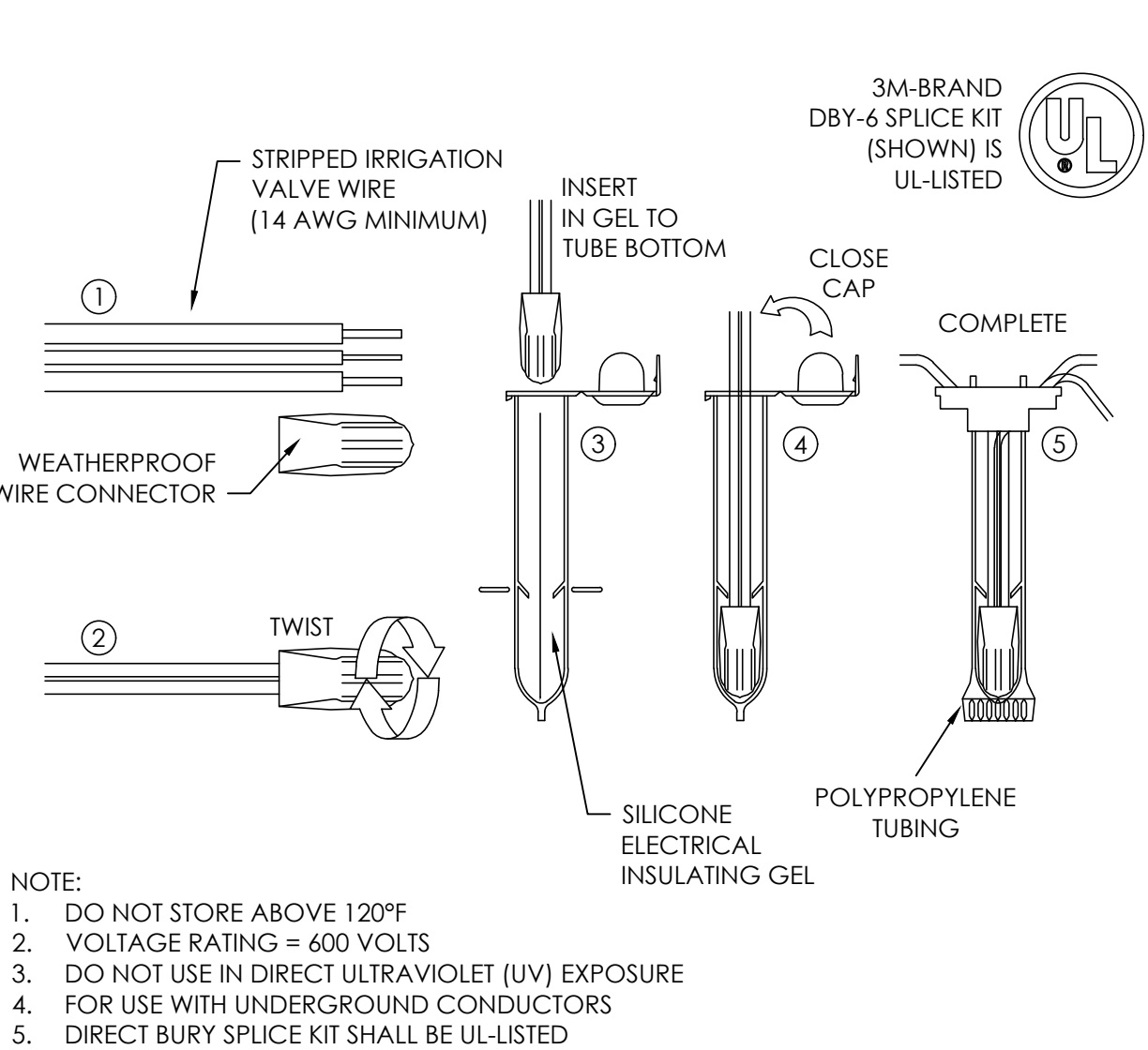
4 SOIL MOISTURE SENSORS  
IR-2 NOT TO SCALE



5 GROUNDING ROD  
IR-2 NOT TO SCALE

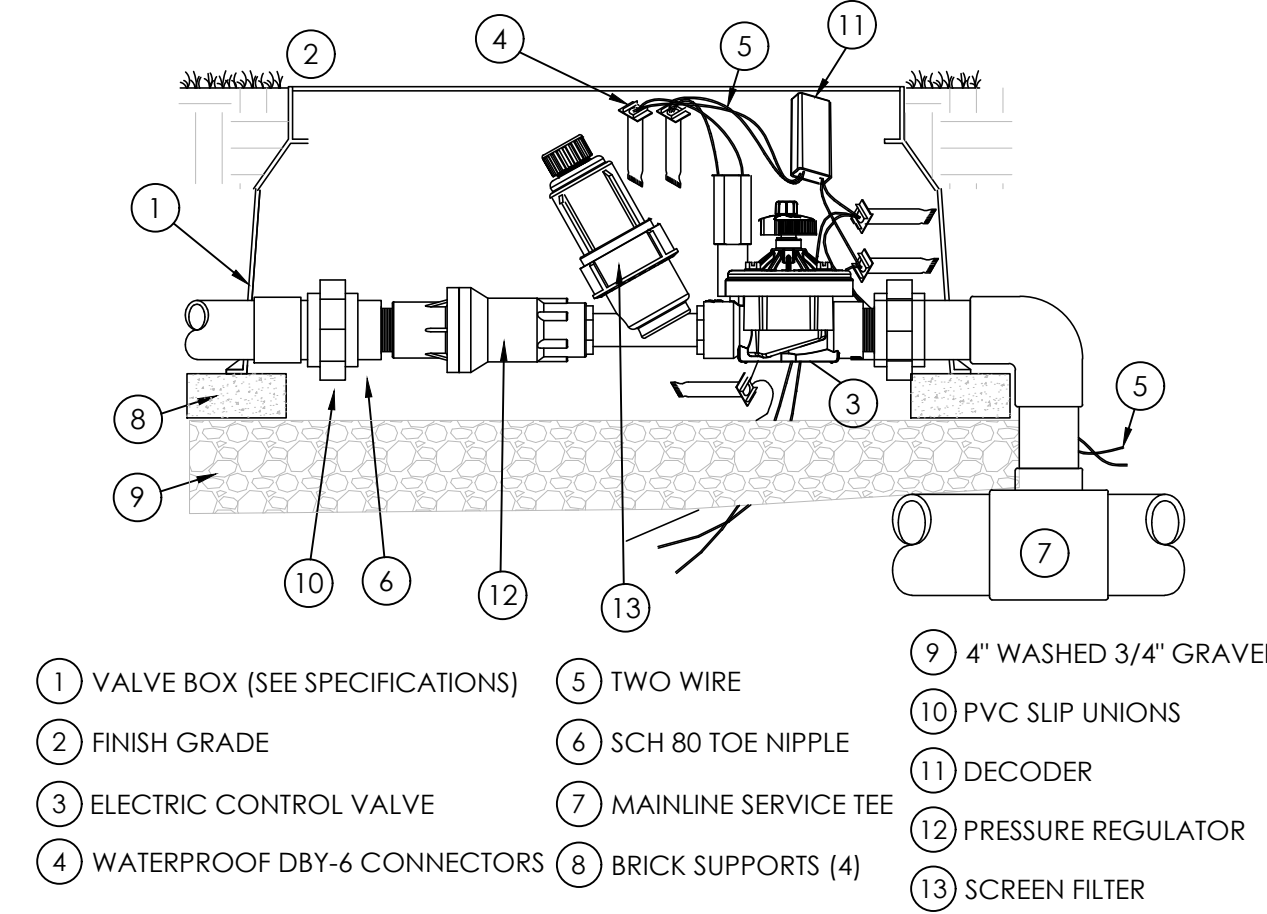


6 WIRE SPLICE KIT  
IR-2 NOT TO SCALE

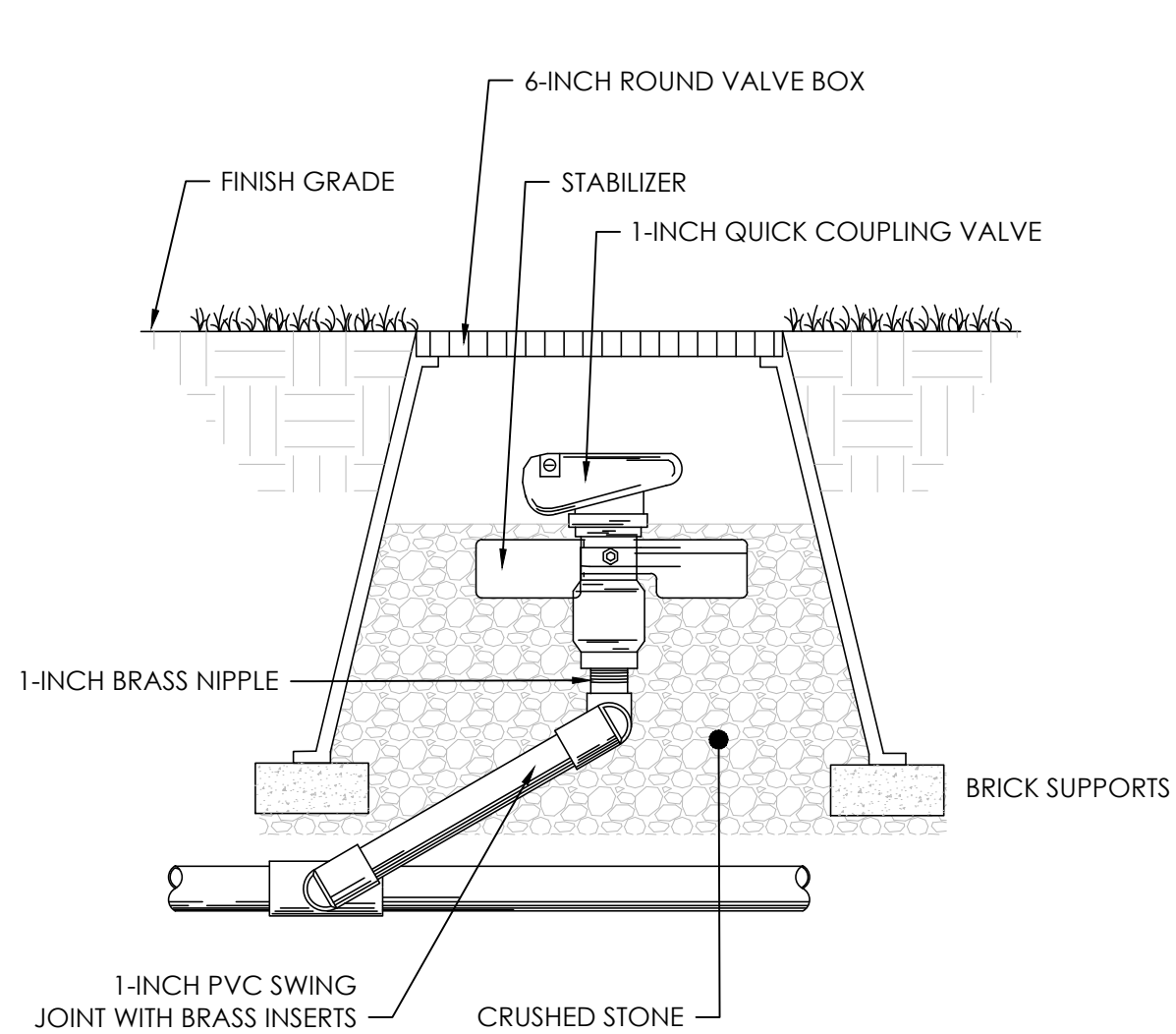


7 SPRINKLER ZONE VALVE WITH DECODER  
IR-2 NOT TO SCALE

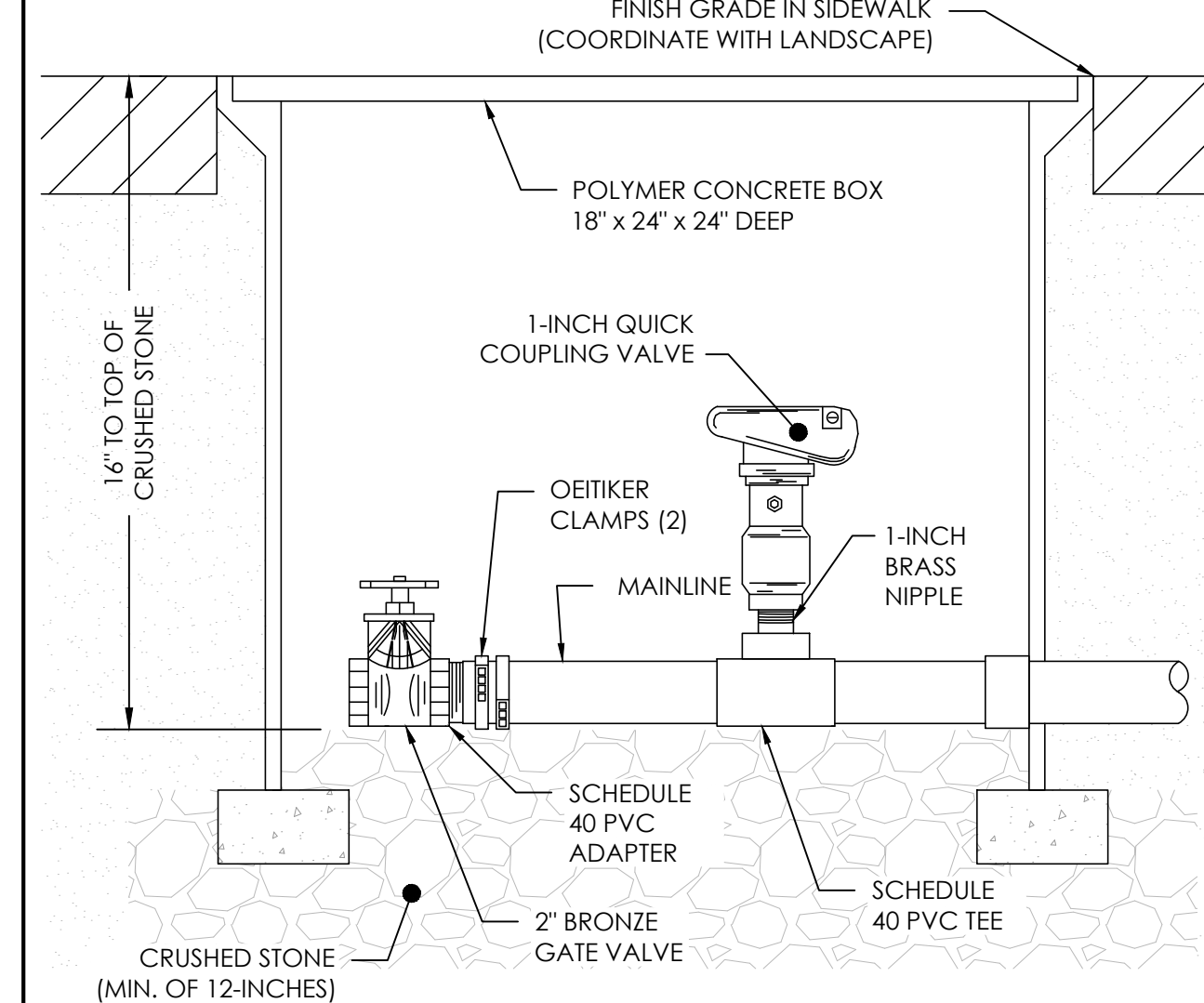
- NOTES:
- WIRE SHALL BE TAPED AT 12" INTERVALS
  - TIE LOOSE LOOP OF WIRE AT CHANGES OF DIRECTION



8 DRIP ZONE VALVE WITH DECODER  
IR-2 NOT TO SCALE



9 QUICK COUPLING VALVE  
IR-2 NOT TO SCALE



10 ISOLATION VALVE AND QUICK COUPLING VALVE IN POLYMER CONCRETE VALVE BOX  
IR-2 NOT TO SCALE

PREPARED BY:



Copley Wolff Design Group  
Landscape Architects & Planners

PROJECT NAME / CLIENT:

BOYNTON YARDS - CIVIC SPACE 1  
101 SOUTH STREET, SOMERVILLE, MA  
101 SOUTH STREET OWNER LLC

CWDO PROJECT NUMBER: 2036-000  
ISSUANCES:

REV #	DATE	DESCRIPTION
1	12.15.2020	BULLETIN 47 - INTERM PARK
2	10.07.2022	90% CONSTRUCTION DOCUMENTS
3	3.10.2023	100% CONSTRUCTION DOCUMENTS
4	4.26.2023	ADDENDUM NO. 1

STAMP:



3/10/2023

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IRRIGATION  
DETAILS - 1

DRAWN BY: TSL

CHECKED BY: MI

SCALE:

DATE: 3.10.23

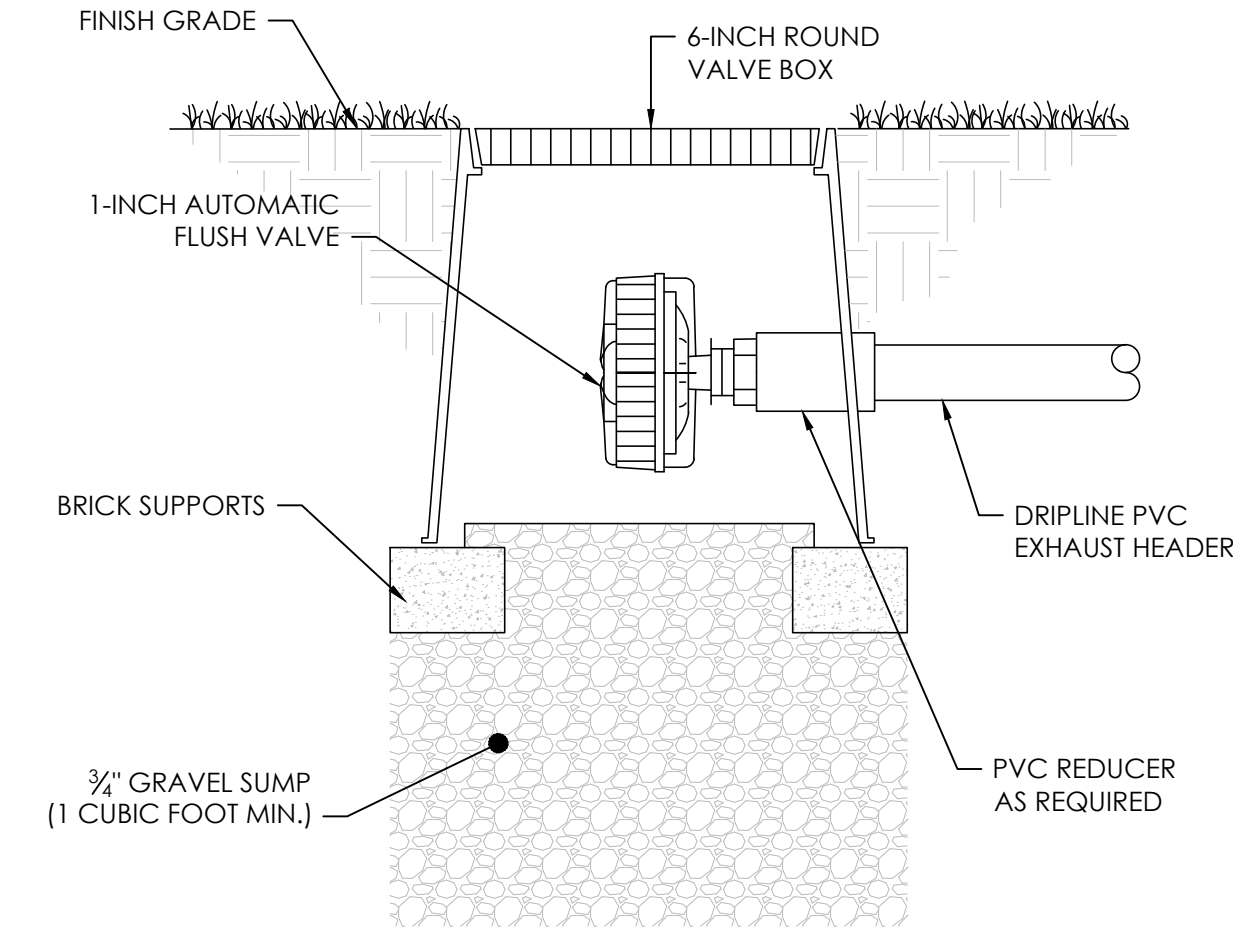
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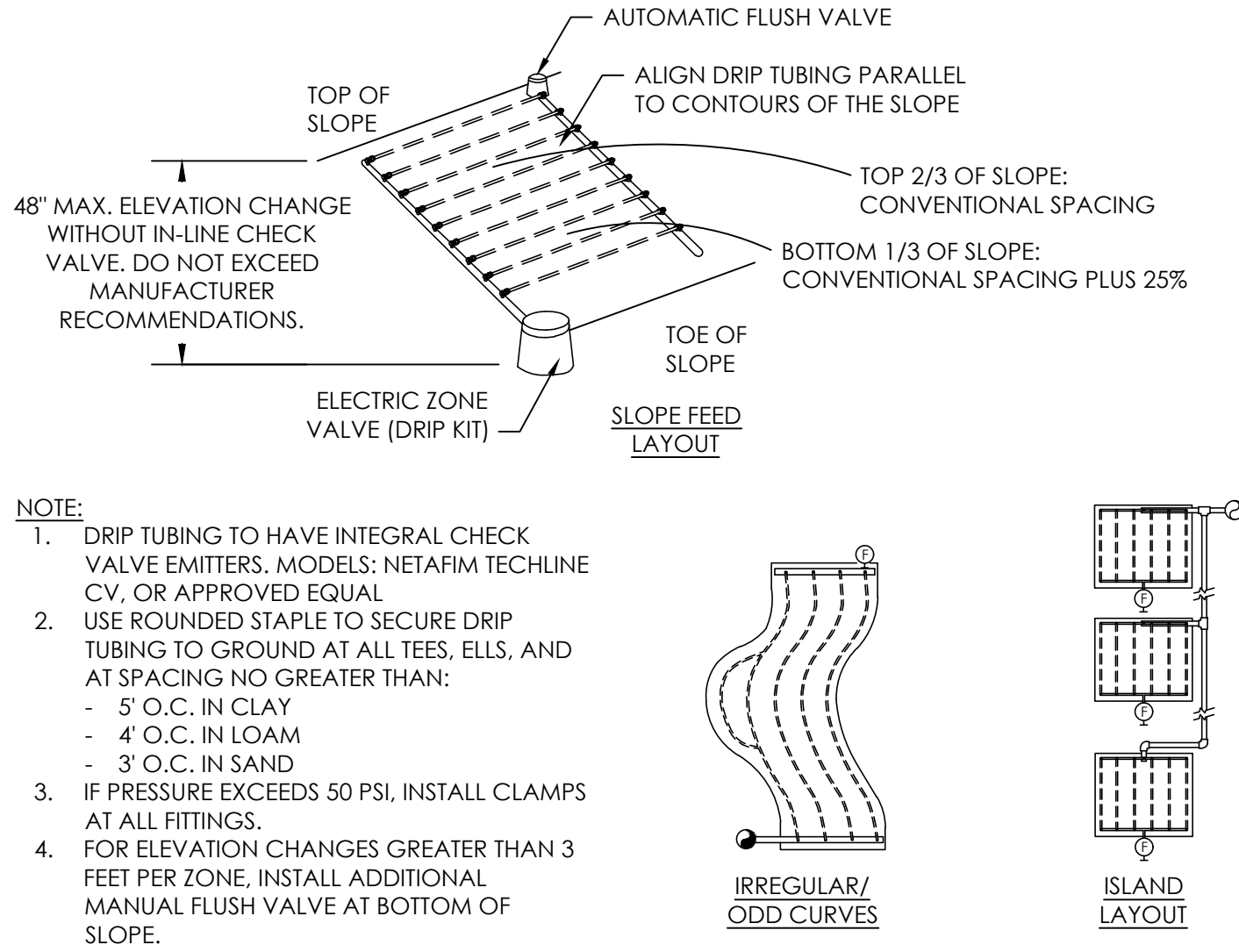
IR-2



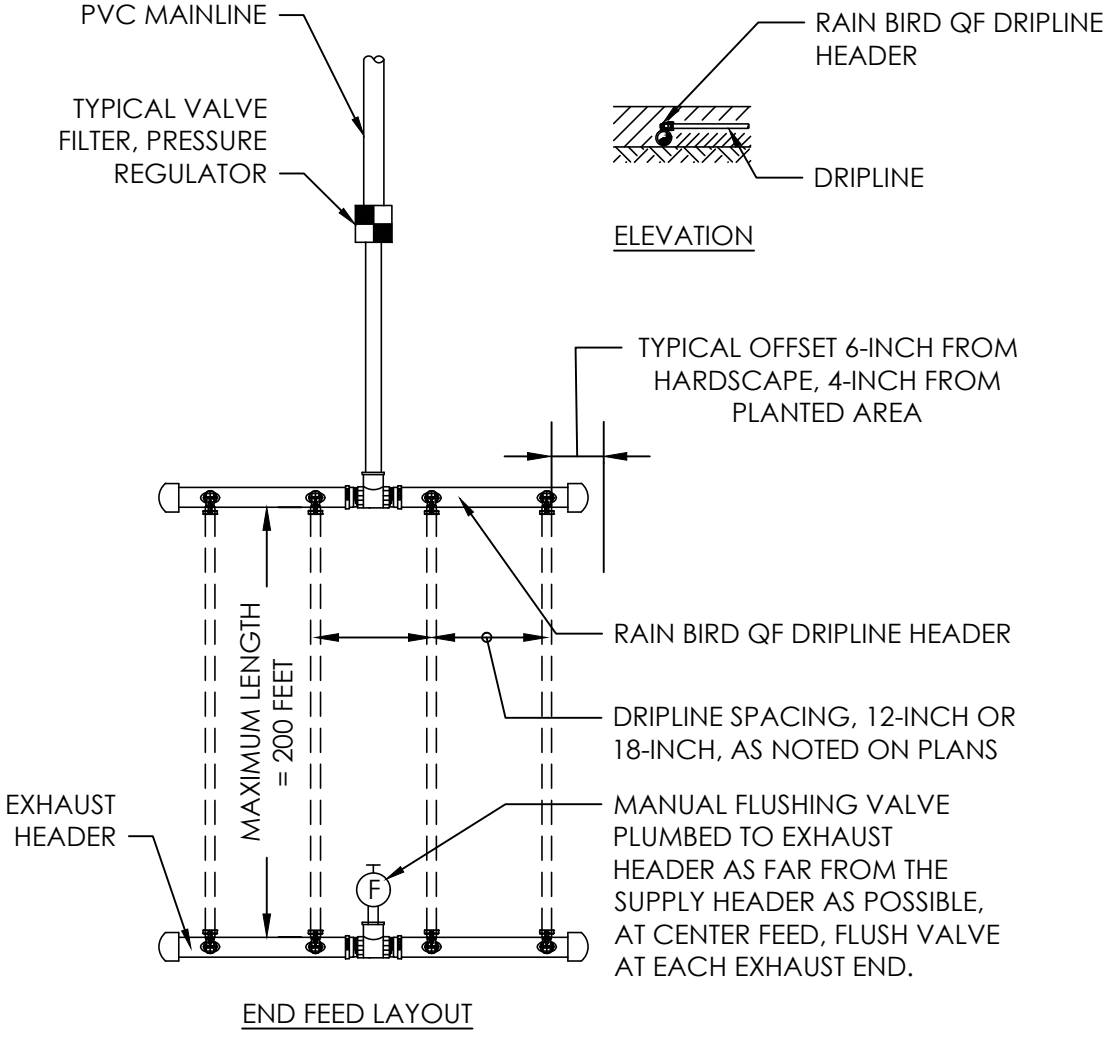
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11 AUTOMATIC FLUSH VALVE  
IR-3 NOT TO SCALE



12 PLANTER BED IRRIGATION  
IR-3 NOT TO SCALE

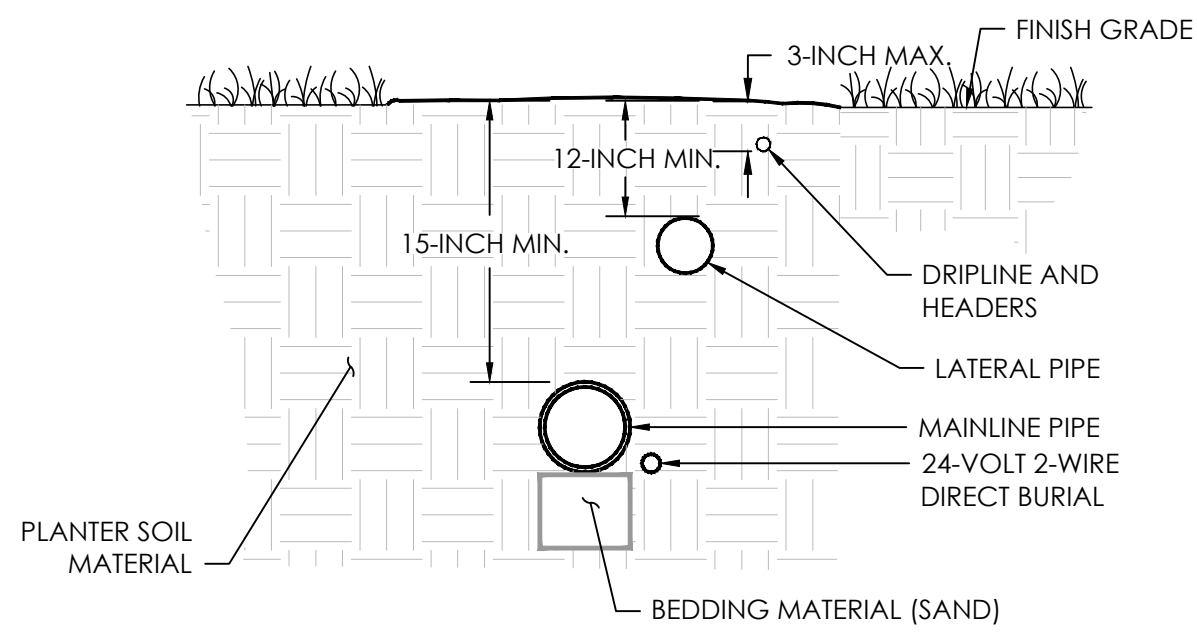


13 TREE DRIP IRRIGATION  
IN LANDSCAPE  
IR-3 NOT TO SCALE

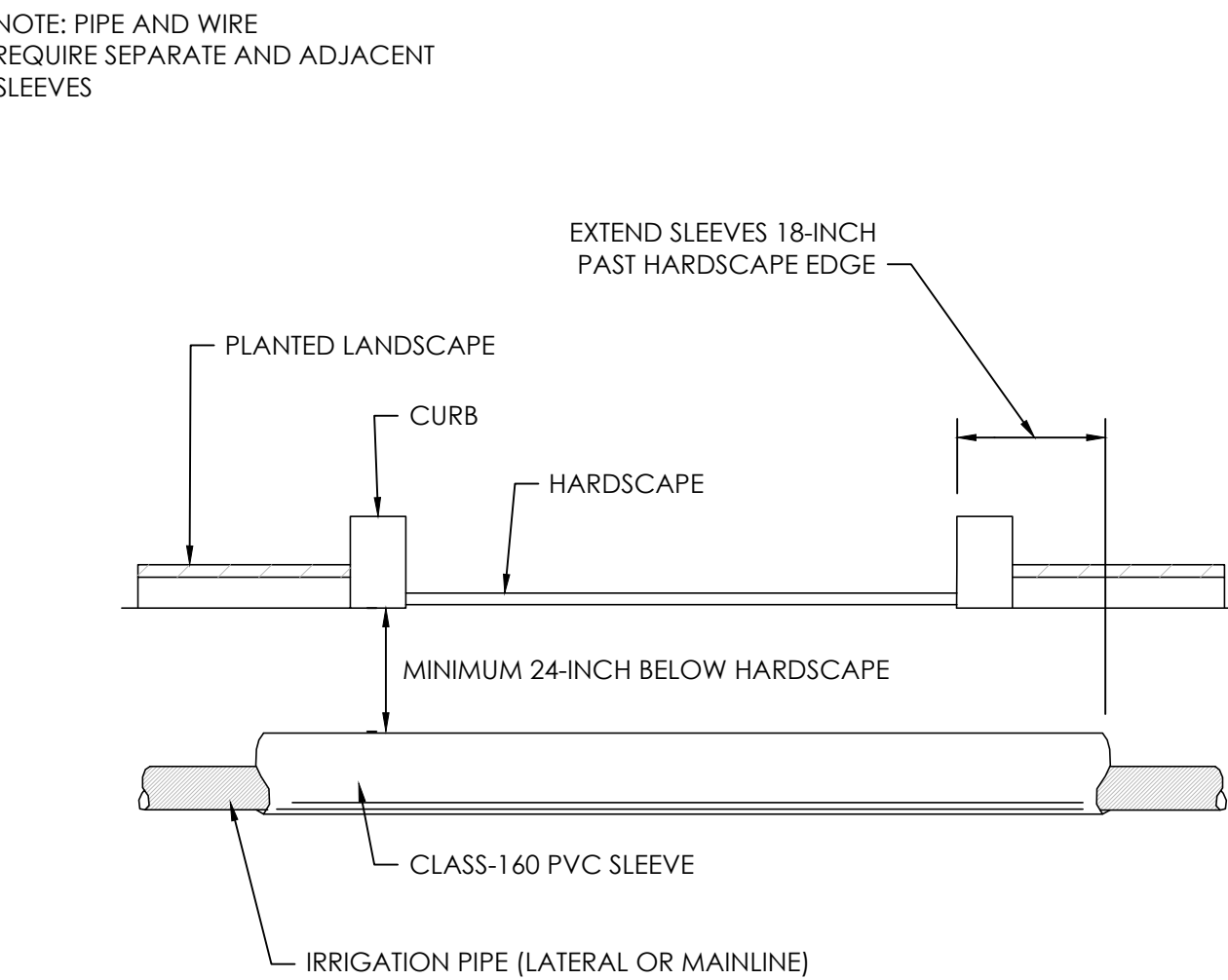
**TREE DRIP RINGS:**

- DRIP TUBING: NETAFIM TECHLINE TLCV 12-INCH EMITTER SPACING AT 0.9 GPH FLOW (ANGLE EMITTERS INWARD)
- DRIP RINGS: AT 2-FOOT AND 3-FOOT DIAMETER RINGS SET ON ROOT BALL AND JUST OUTSIDE OF ROOTBALL.

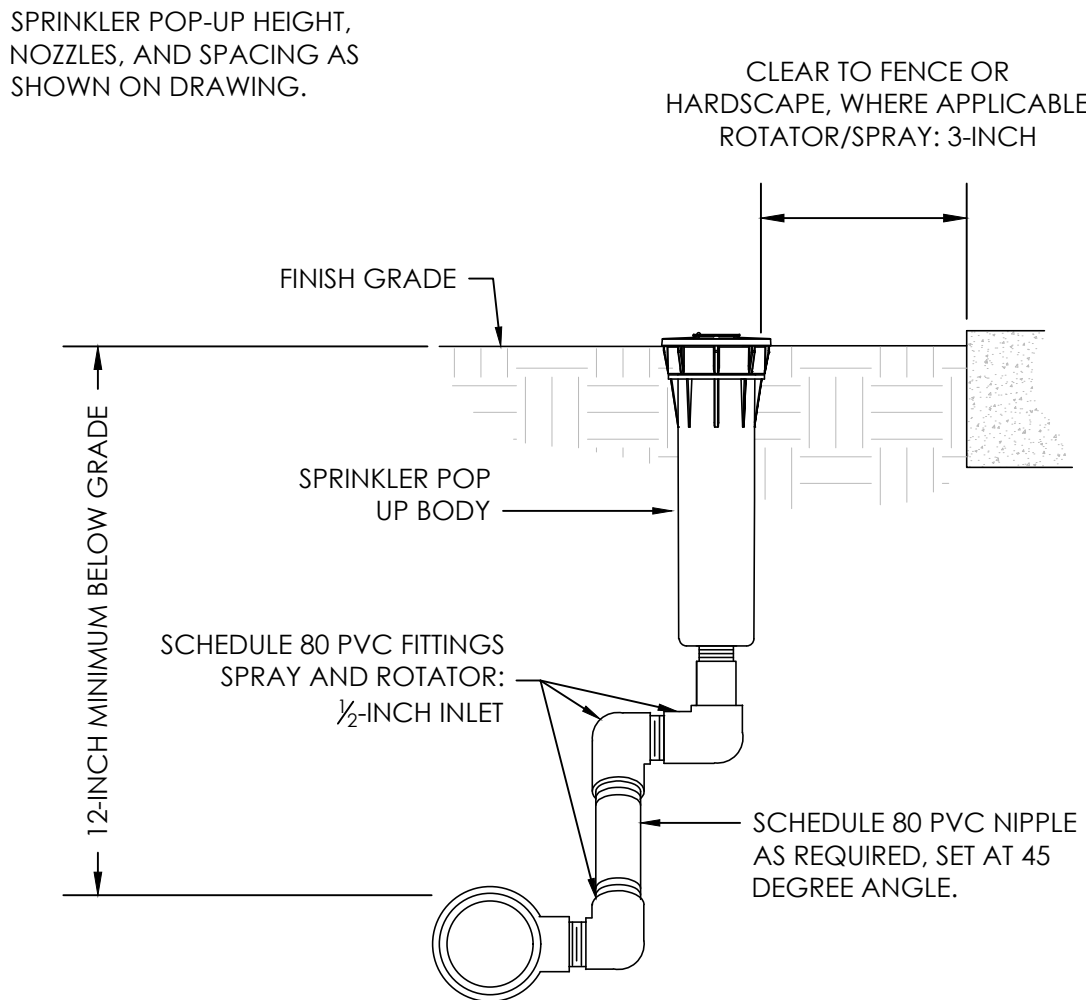
TOTAL FLOW = 0.23 GPM PER TREE (SET ZONES ON CYCLE SOAK)



14 AT-GRADE IRRIGATION TRENCH  
IR-3 NOT TO SCALE



15 SLEEVE UNDER HARDSCAPE  
IR-3 NOT TO SCALE



16 6-INCH POP-UP SPRINKLER  
IR-3 NOT TO SCALE

PREPARED BY:



Copley Wolff Design Group  
Landscape Architects & Planners

PROJECT NAME / CLIENT:

# BOYNTON YARDS - CIVIC SPACE 1

101 SOUTH STREET, SOMERVILLE, MA  
101 SOUTH STREET OWNER LLC

CWDO PROJECT NUMBER: 2036-000

ISSUANCES:

REV #	DATE	DESCRIPTION
1	12.15.2020	BULLETIN 47 -INTERIM PARK
2	10.07.2022	90% CONSTRUCTION DOCUMENTS
3	3.10.2023	100% CONSTRUCTION DOCUMENTS
4	4.26.2023	ADDENDUM NO. 1

STAMP:



3/10/2023

DRAWING TITLE:

## IRRIGATION DETAILS - 2

DRAWN BY: TSL

CHECKED BY: MI

SCALE:

DATE: 3.10.23

SHEET 3 OF 10

DRAWING NUMBER:

# IR-3



1. 5 FEET AND DEEPER REQUIRES PROTECTIVE SYSTEMS (SHORING, SLOPING, OR TRENCH BOX).
2. OSHA-CERTIFIED PERSON REQUIRED TO PROVIDE INSPECTIONS TO TRENCH AND PROTECTIVE SYSTEM.
3. SAFE MEANS OF ACCESS/EGRESS EVERY 25 FEET WHEN TRENCH IS 4 FEET OR GREATER.
4. KEEP EXCAVATED MATERIALS (SPOILS) MORE THAN 2 FEET FROM EDGE OF EXCAVATION.
5. IDENTIFY LOCATION OF UTILITIES BY CALLING DigSafe 1-888-344-7233.
6. A TRENCH PERMIT MUST BE POSTED IN PLAIN VIEW ON THE SITE OF THE TRENCH.
7. ALL REGULATED TRENCHES MUST BE EITHER ATTENDED, COVERED, BARRICADED, OR BACKFILLED.
8. EXCAVATORS WHO USE HOISTING EQUIPMENT MUST BE LICENSED BY MA DEPT OF PUBLIC SAFETY.



PROJECT NAME / CLIENT:

## BOYNTON YARDS - CIVIC SPACE 1

101 SOUTH STREET, SOMERVILLE, MA  
101 SOUTH STREET OWNER LLC

CWDG PROJECT NUMBER: 2036.000
ISSUANCES:

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3	3.10.2023	100% CONSTRUCTION DOCUMENTS
4	4.26.2023	ADDENDUM NO. 1
5	5.22.2023	ADDENDUM NO. 2

STAMP



5/22/2023

DESIGN BY:



**AQUEOUS CONSULTANTS, LLC**  
1 Dundee Park Drive, Suite 10  
Andover, MA 01810  
(978) 470-1695  
[www.aqueous.net](http://www.aqueous.net)

DRAWING TITLE:

DRAWING TITLE:  
WATER  
FEATURE  
LAYOUT PLAN  
1 OF 2

DRAWN BY: AEH

CHECKED BY:

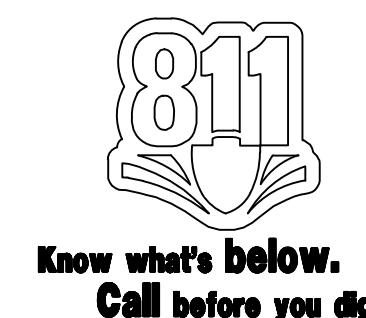
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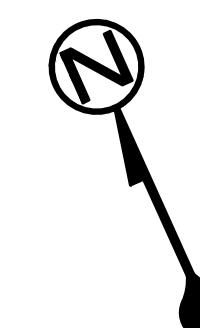
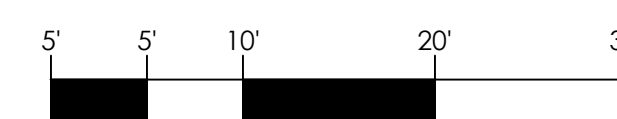
	3.10.23

SHEET	4	O
DRAWING NUMBER:		

IR-4



PLAN  
Scale 1" = 10'





MATCHLINE A - SEE DRAWING IR-4

TRENCH SAFETY NOTES

- 5 FEET AND DEEPER REQUIRES PROTECTIVE SYSTEMS (SHORING, SLOPING, OR TRENCH BOX).
- OSHA-CERTIFIED PERSON REQUIRED TO PROVIDE INSPECTIONS TO TRENCH AND PROTECTIVE SYSTEM.
- SAFE MEANS OF ACCESS/EGRESS EVERY 25 FEET WHEN TRENCH IS 4 FEET OR GREATER.
- KEEP EXCAVATED MATERIALS (SPOILS) MORE THAN 2 FEET FROM EDGE OF EXCAVATION.
- IDENTIFY LOCATION OF UTILITIES BY CALLING DigSafe 1-888-344-7233.
- A TRENCH PERMIT MUST BE POSTED IN PLAIN VIEW ON THE SITE OF THE TRENCH.
- ALL REGULATED TRENCHES MUST BE EITHER ATTENDED, COVERED, BARRICADED, OR BACKFILLED.
- EXCAVATORS WHO USE HOISTING EQUIPMENT MUST BE LICENSED BY MA DEPT OF PUBLIC SAFETY.



Copley Wolff Design Group  
Landscape Architects & Planners

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BOYNTON YARDS - CIVIC SPACE 1  
101 SOUTH STREET, SOMERVILLE, MA  
101 SOUTH STREET OWNER LLC

CWDO PROJECT NUMBER: 2036-000

ISSUANCES:

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4	4.26.2023	ADDENDUM NO. 1

STAMP:



3/10/2023

DESIGN BY:



**AQUEOUS CONSULTANTS, LLC**  
1 Dundee Park Drive, Suite 10  
Andover, MA 01810  
(978) 470-1695  
www.aqueous.net



PLAN  
Scale 1" = 10'



DRAWING TITLE:

**WATER  
FEATURE  
LAYOUT PLAN  
2 OF 2**

DRAWN BY: AEH

CHECKED BY: MI

SCALE: 1" = 5'

DATE: 3.10.23

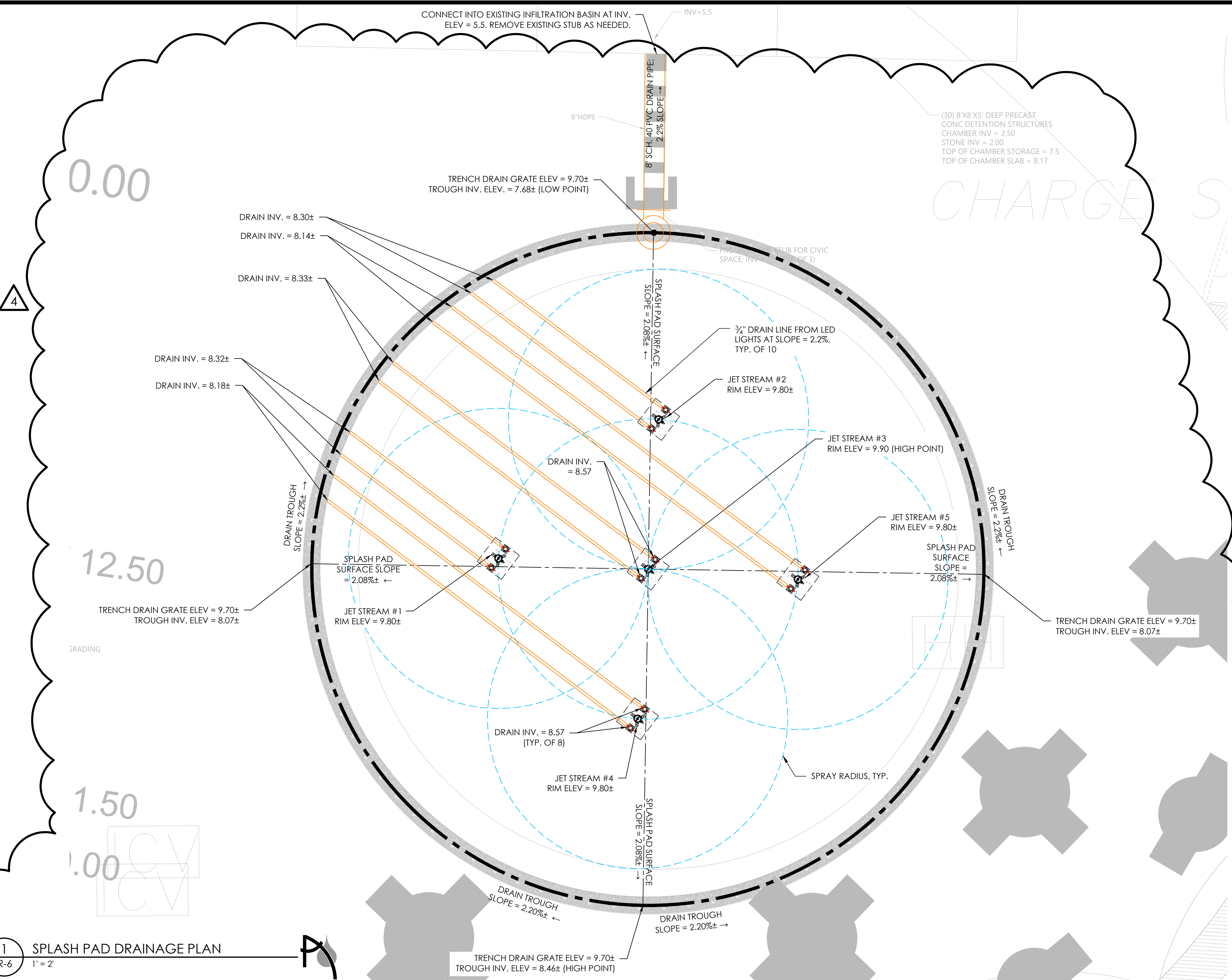
SHEET 6 OF 10

DRAWING NUMBER:

IR-5



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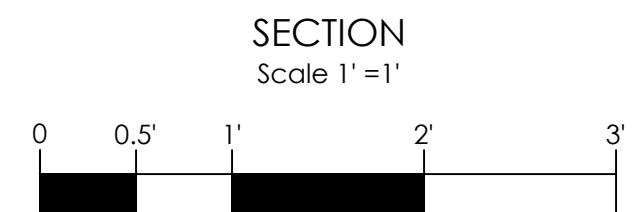
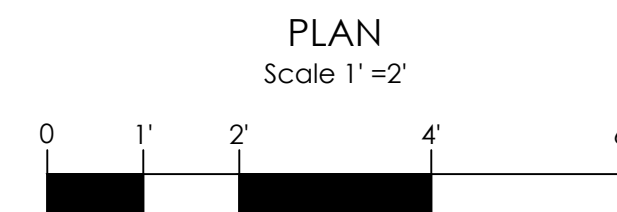


## TRENCH SAFETY NOTES

- 5 FEET AND DEEPER REQUIRES PROTECTIVE SYSTEMS (SHORING, SLOPING, OR TRENCH BOX).
- OSHA-CERTIFIED PERSON REQUIRED TO PROVIDE INSPECTIONS TO TRENCH AND PROTECTIVE SYSTEM.
- SAFE MEANS OF ACCESS/EGRESS EVERY 25 FEET WHEN TRENCH IS 4 FEET OR GREATER.
- KEEP EXCAVATED MATERIALS (SPOILS) MORE THAN 2 FEET FROM EDGE OF EXCAVATION.
- IDENTIFY LOCATION OF UTILITIES BY CALLING DigSafe 1-888-344-7233.
- A TRENCH PERMIT MUST BE POSTED IN PLAIN VIEW ON THE SITE OF THE TRENCH.
- ALL REGULATED TRENCHES MUST BE EITHER ATTENDED, COVERED, BARRICADED, OR BACKFILLED.
- EXCAVATORS WHO USE HOISTING EQUIPMENT MUST BE LICENSED BY MA DEPT OF PUBLIC SAFETY.

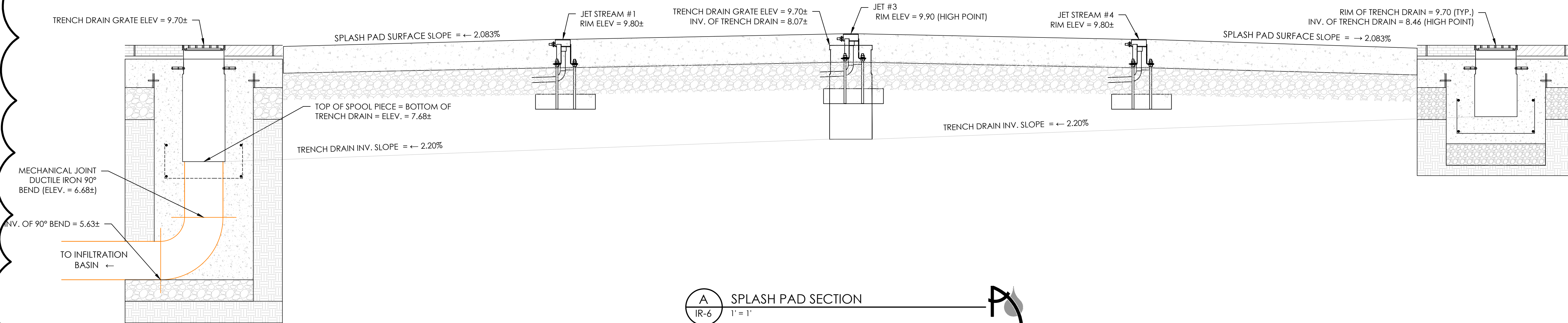
## NOTES

- REFER TO LANDSCAPE DRAWINGS FOR SPLASH PAD CONCRETE FINISH/DESIGN.
- SEE WATER FEATURE DETAILS AND SPECIFICATIONS SECTION 13 13 13 FOR ADDITIONAL REQUIRED INFORMATION.
- CONTRACTOR SHALL SUBMIT QUALIFICATIONS OF SIMILAR WORK PERFORMED RECENTLY (SEE SPECIFICATIONS). OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO DISQUALIFY CONTRACTORS THAT DO NOT MEET EXPERIENCE OR STAFFING REQUIREMENTS.
- COORDINATE FINAL LOCATION OF ALL UTILITIES (EXISTING AND PROPOSED) WITH APPROPRIATE SITE TRADESPERSONS.
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- ALL ELECTRICAL COMPONENTS SHALL BE GROUNDED TO EARTH AND BONDED TOGETHER TO PREVENT IN THE DEVELOPMENT OF VOLTAGE POTENTIAL ACROSS ANY METALLIC OBJECTS WITHIN THE SYSTEM (PER NEC 680.6).
- FLUSH ALL LINES WITH DOMESTIC WATER PRIOR TO STARTING THE SYSTEM (AT INSTALL AND EVERY SPRING).
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- CONTRACTOR TO MAINTAIN AN ADA COMPLIANT SLOPE WITHIN THE SPLASH PAD SURFACE LIMITS.



Know what's below.  
Call before you dig.

1 SPLASH PAD DRAINAGE PLAN  
1" = 2'



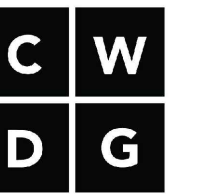
A SPLASH PAD SECTION  
1" = 1'

DESIGN BY:



AQUEOUS CONSULTANTS, LLC  
1 Dundee Park Drive, Suite 10  
Andover, MA 01810  
(978) 470-1695  
www.aqueous.net

PREPARED BY:



Copley Wolff Design Group  
Landscape Architects & Planners

PROJECT NAME / CLIENT:

BOYNTON YARDS - CIVIC SPACE 1  
101 SOUTH STREET, SOMERVILLE, MA  
101 SOUTH STREET OWNER LLC

CWDO PROJECT NUMBER: 2036-000

ISSUANCES:

REV #	DATE	DESCRIPTION
1	12.15.2020	BULLETIN 47 INTERIM PARK
2	10.07.2022	90% CONSTRUCTION DOCUMENTS
3	3.10.2023	100% CONSTRUCTION DOCUMENTS
4	4.26.2023	ADDENDUM NO. 1

STAMP:



3/10/2023

DRAWING TITLE:

SPLASH PAD  
DRAINAGE  
PLAN

DRAWN BY: AEH

CHECKED BY: MI

SCALE: 1" = 2'

DATE: 3.10.23

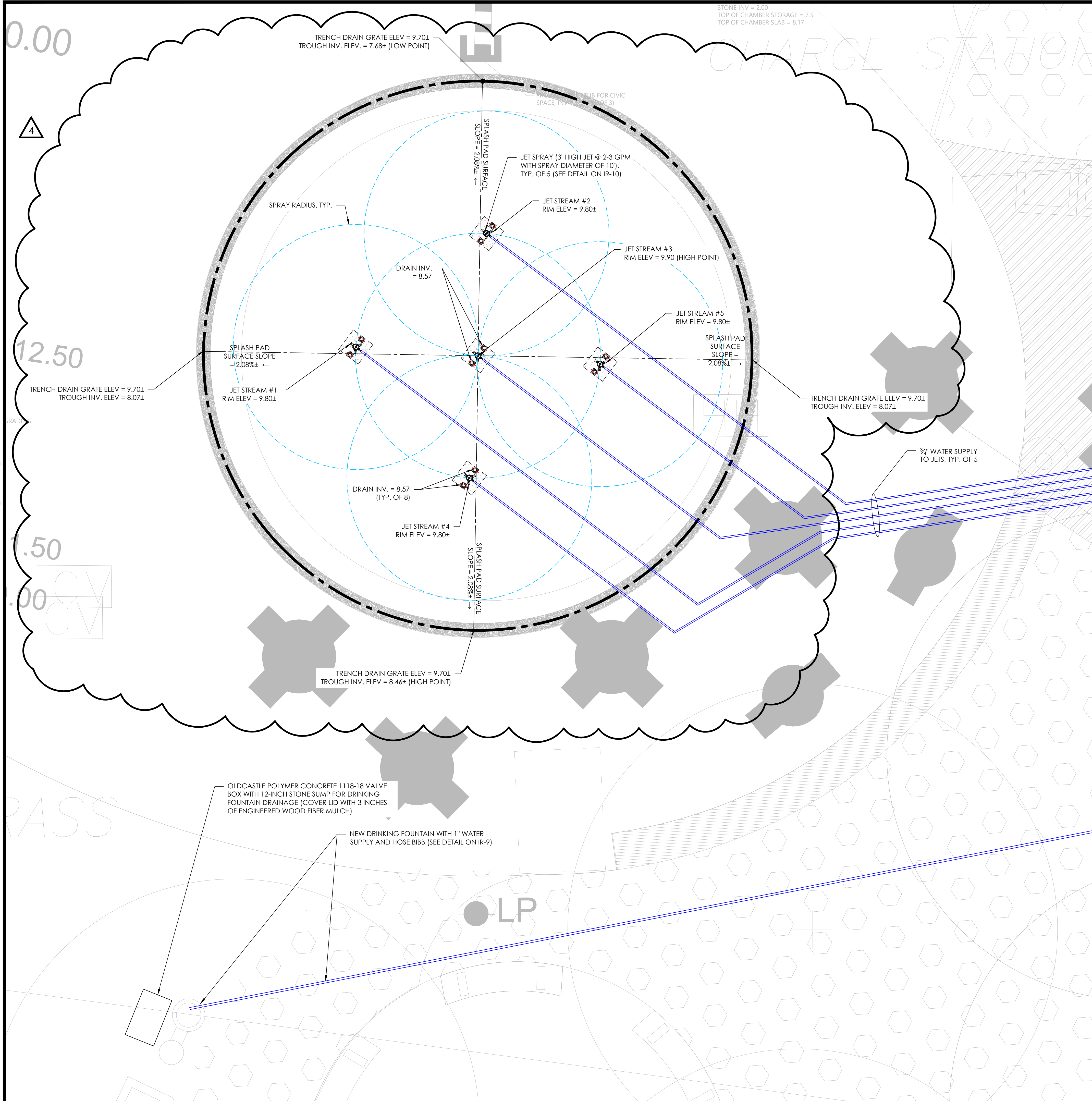
SHEET 6 OF 10

DRAWING NUMBER:

IR-6



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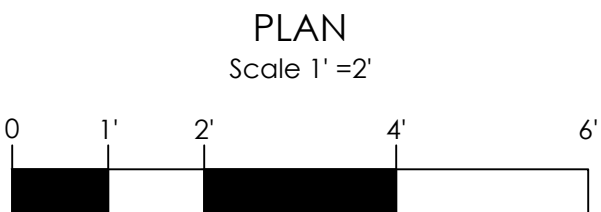


## TRENCH SAFETY NOTES

- 5 FEET AND DEEPER REQUIRES PROTECTIVE SYSTEMS (SHORING, SLOPING, OR TRENCH BOX).
- OSHA-CERTIFIED PERSON REQUIRED TO PROVIDE INSPECTIONS TO TRENCH AND PROTECTIVE SYSTEM.
- SAFE MEANS OF ACCESS/EGRESS EVERY 25 FEET WHEN TRENCH IS 4 FEET OR GREATER.
- KEEP EXCAVATED MATERIALS (SPOILS) MORE THAN 2 FEET FROM EDGE OF EXCAVATION.
- IDENTIFY LOCATION OF UTILITIES BY CALLING DigSafe 1-888-344-7233.
- A TRENCH PERMIT MUST BE POSTED IN PLAIN VIEW ON THE SITE OF THE TRENCH.
- ALL REGULATED TRENCHES MUST BE EITHER ATTENDED, COVERED, BARRICADED, OR BACKFILLED.
- EXCAVATORS WHO USE HOISTING EQUIPMENT MUST BE LICENSED BY MA DEPT OF PUBLIC SAFETY.

## NOTES

- REFER TO LANDSCAPE DRAWINGS FOR SPLASH PAD CONCRETE FINISH/DESIGN.
- SEE WATER FEATURE DETAILS AND SPECIFICATIONS SECTION 13 13 13 FOR ADDITIONAL REQUIRED INFORMATION.
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Know what's below.  
Call before you dig.

DESIGN BY:



**AQUEOUS CONSULTANTS, LLC**  
1 Dundee Park Drive, Suite 10  
Andover, MA 01810  
(978) 470-1695  
www.aqueous.net

PREPARED BY:



**Copley Wolff Design Group**  
Landscape Architects & Planners

PROJECT NAME / CLIENT:

**BOYNTON YARDS - CIVIC SPACE 1**  
101 SOUTH STREET, SOMERVILLE, MA  
101 SOUTH STREET OWNER LLC

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3	3.10.2023	100% CONSTRUCTION DOCUMENTS
4	4.26.2023	ADDENDUM NO. 1

STAMP:



3/10/2023

DRAWING TITLE:

**SPLASH PAD  
WATER PLAN**

DRAWN BY: AEH

CHECKED BY: MI

SCALE: 1" = 2'

DATE: 3.10.23

SHEET 7 OF 10

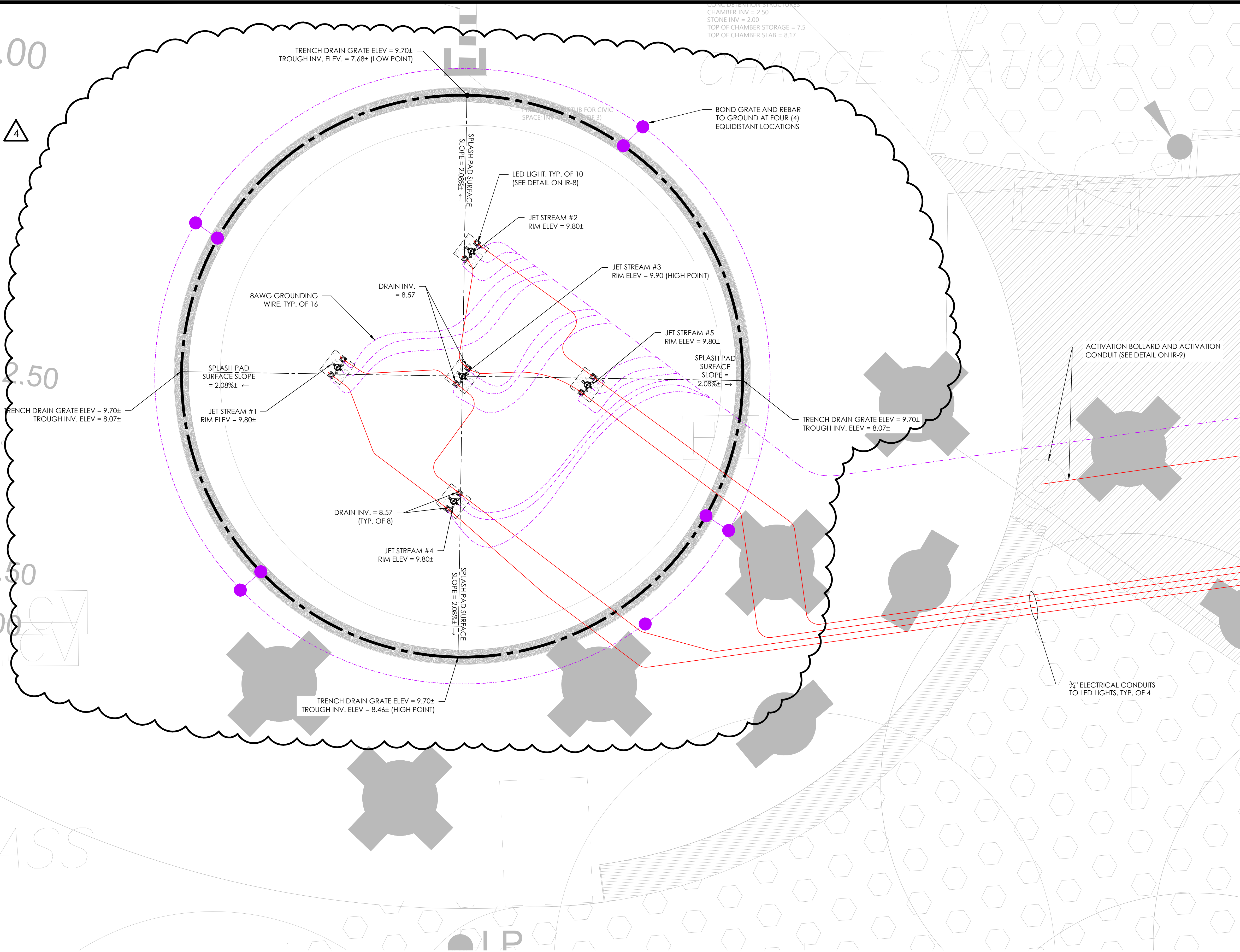
DRAWING NUMBER:

**IR-7**



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CHARGE STATION  
CHARGE DETENTION STRUCTURES  
CHAMBER INV. = 2.50  
STONE INV. = 2.00  
TOP OF CHAMBER STORAGE = 7.5  
TOP OF CHAMBER SLAB = 8.17

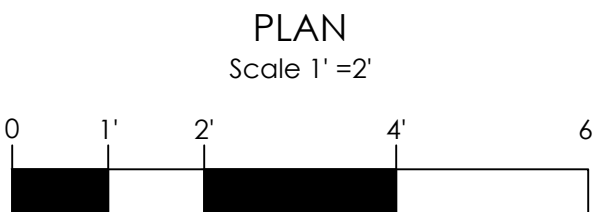


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Landscape Architects & Planners

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101 SOUTH STREET, SOMERVILLE, MA  
101 SOUTH STREET OWNER LLC

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STAMP:



3/10/2023

DRAWING TITLE:

**SPLASH PAD  
ELECTRICAL  
PLAN**

DRAWN BY: AEH

CHECKED BY: MI

SCALE: 1" = 2'

DATE: 3.10.23

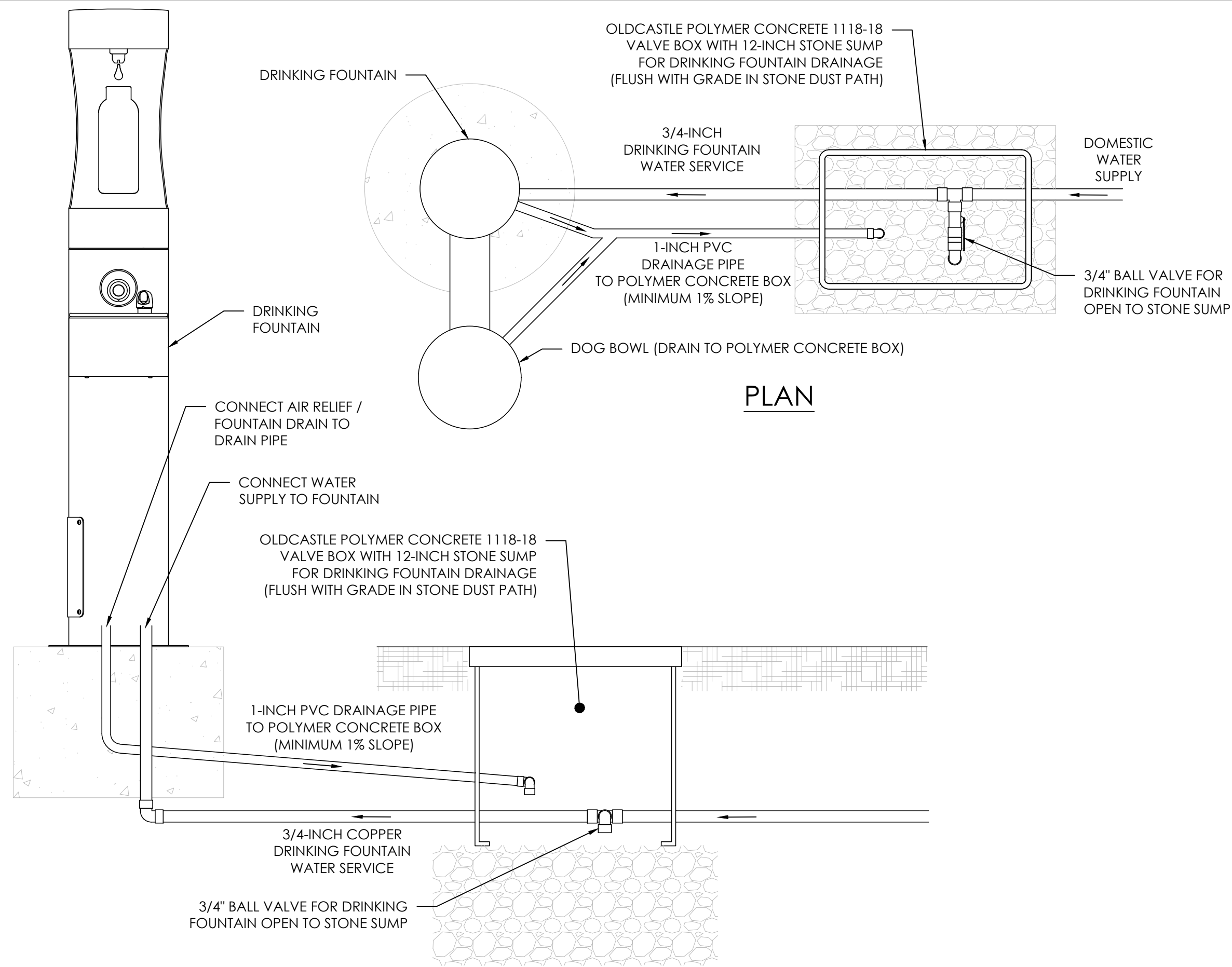
SHEET 8 OF 10

DRAWING NUMBER:

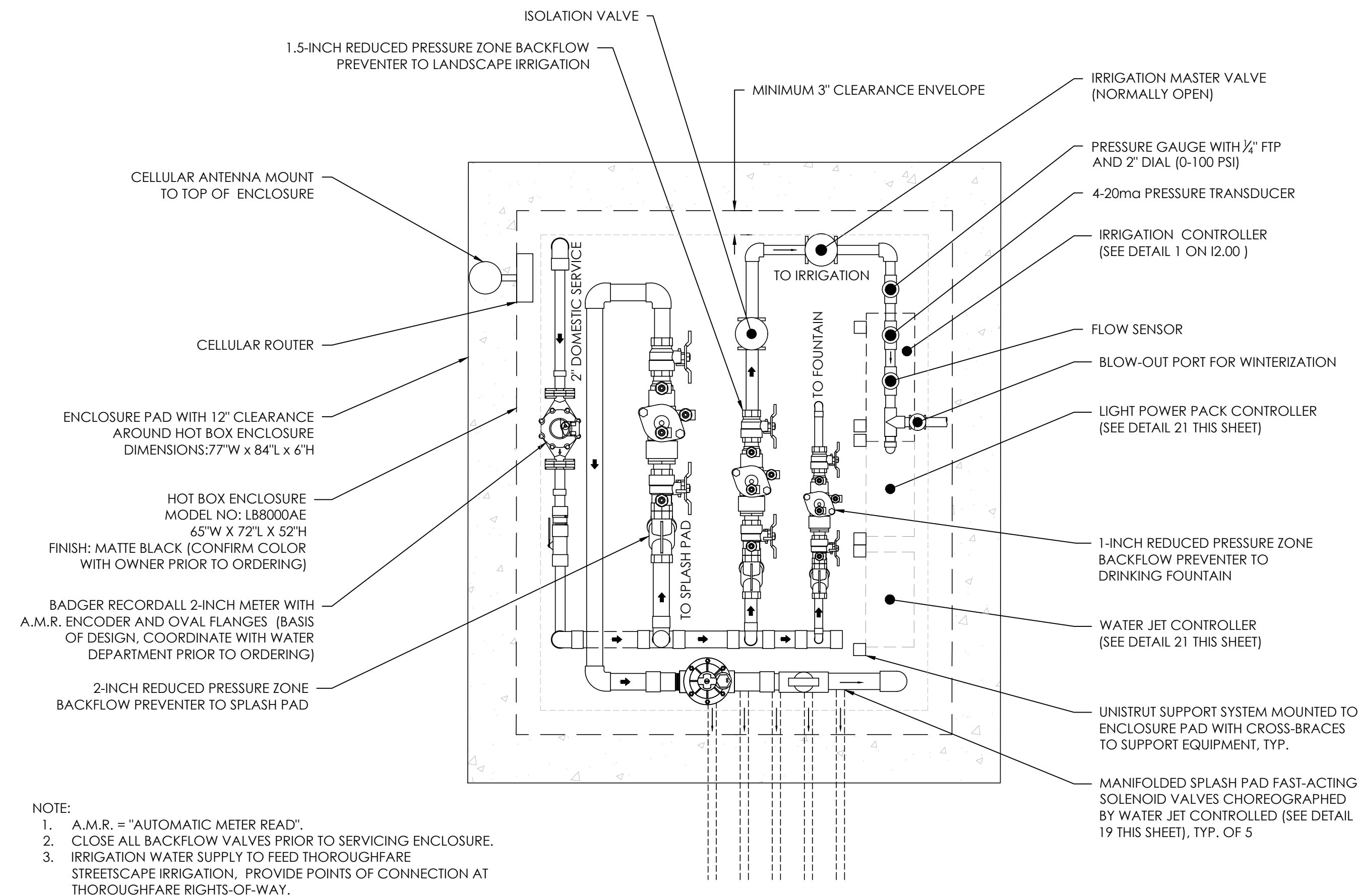
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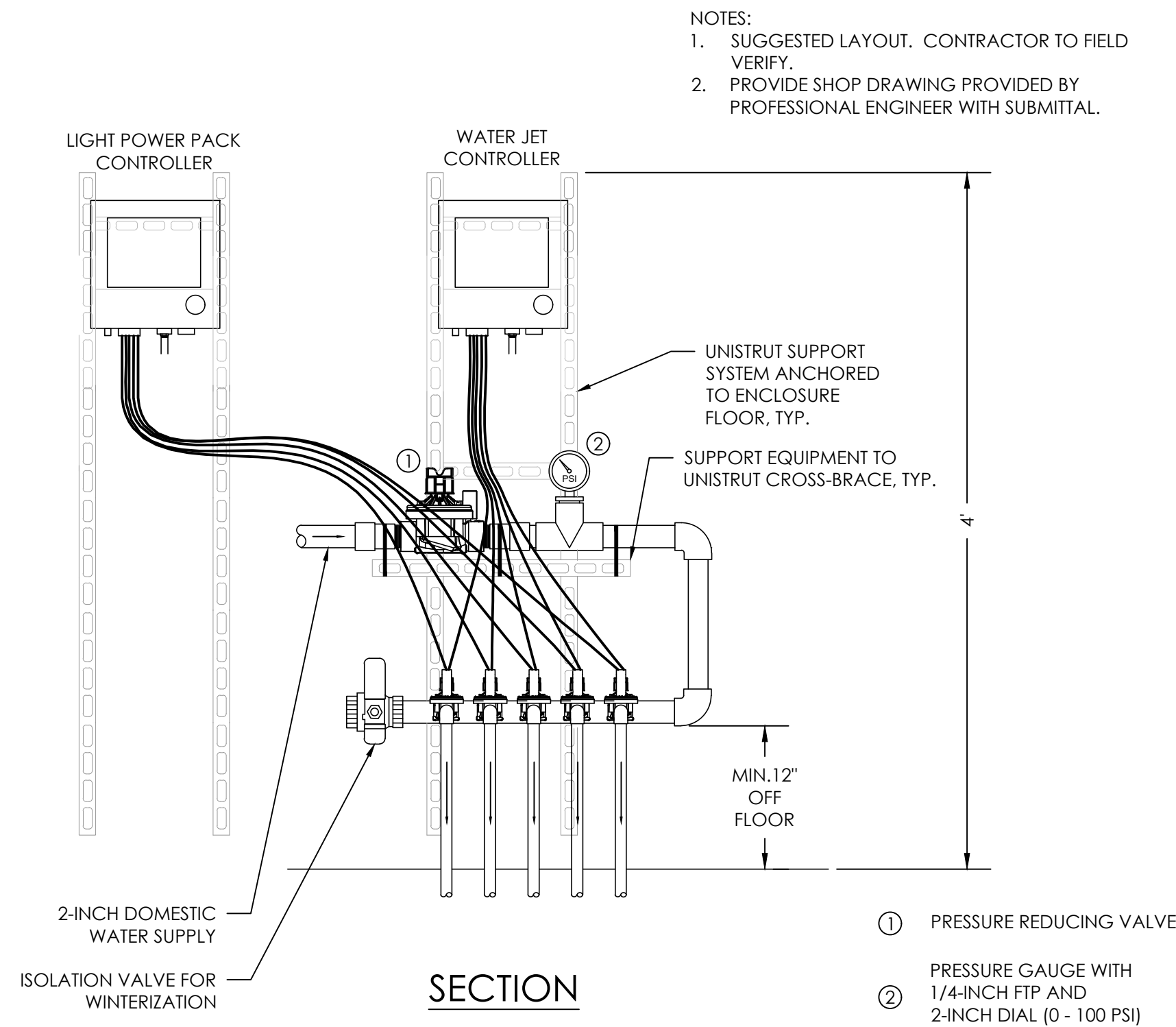
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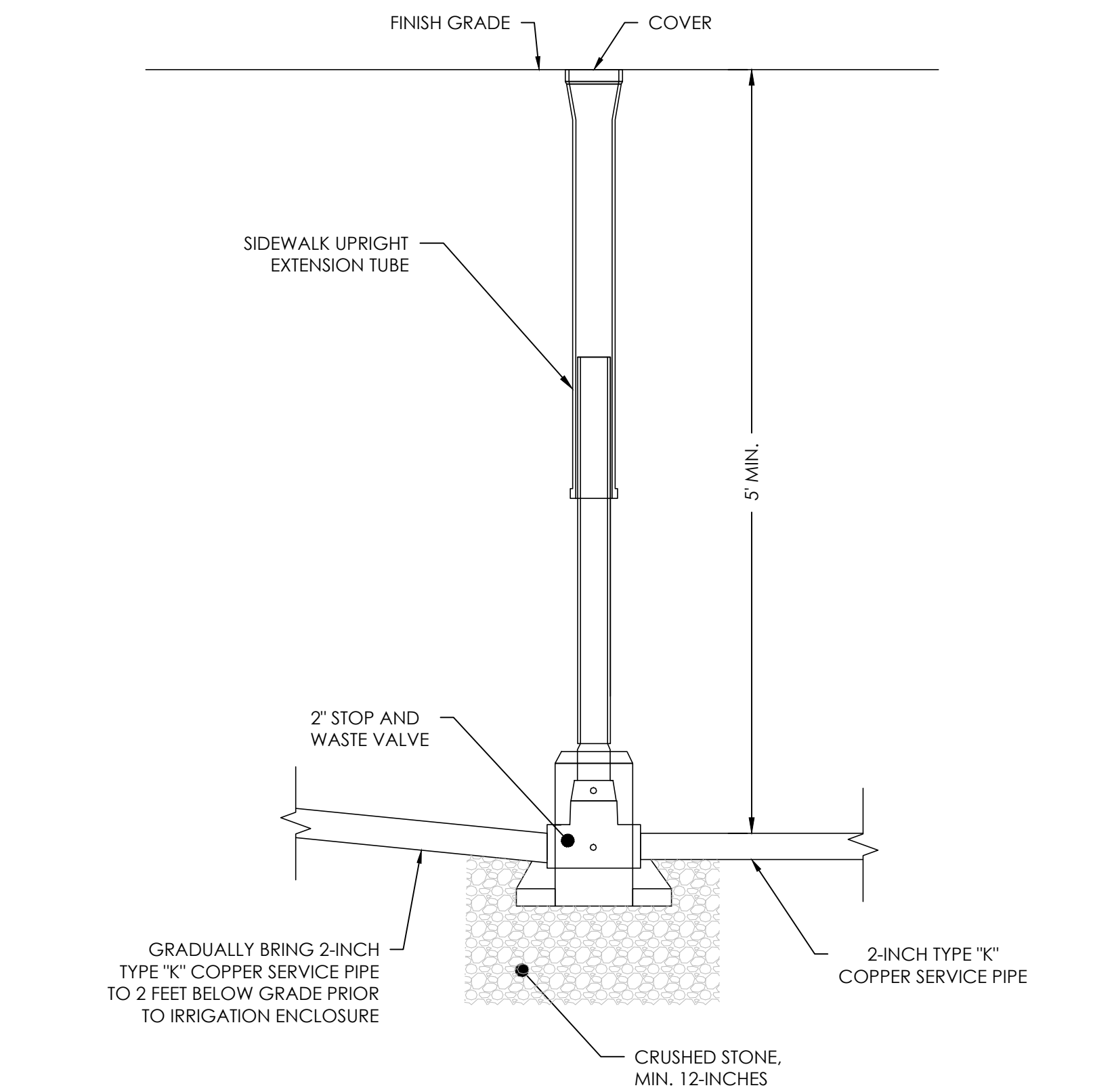
17  
IR-9  
DRINKING FOUNTAIN  
NOT TO SCALE



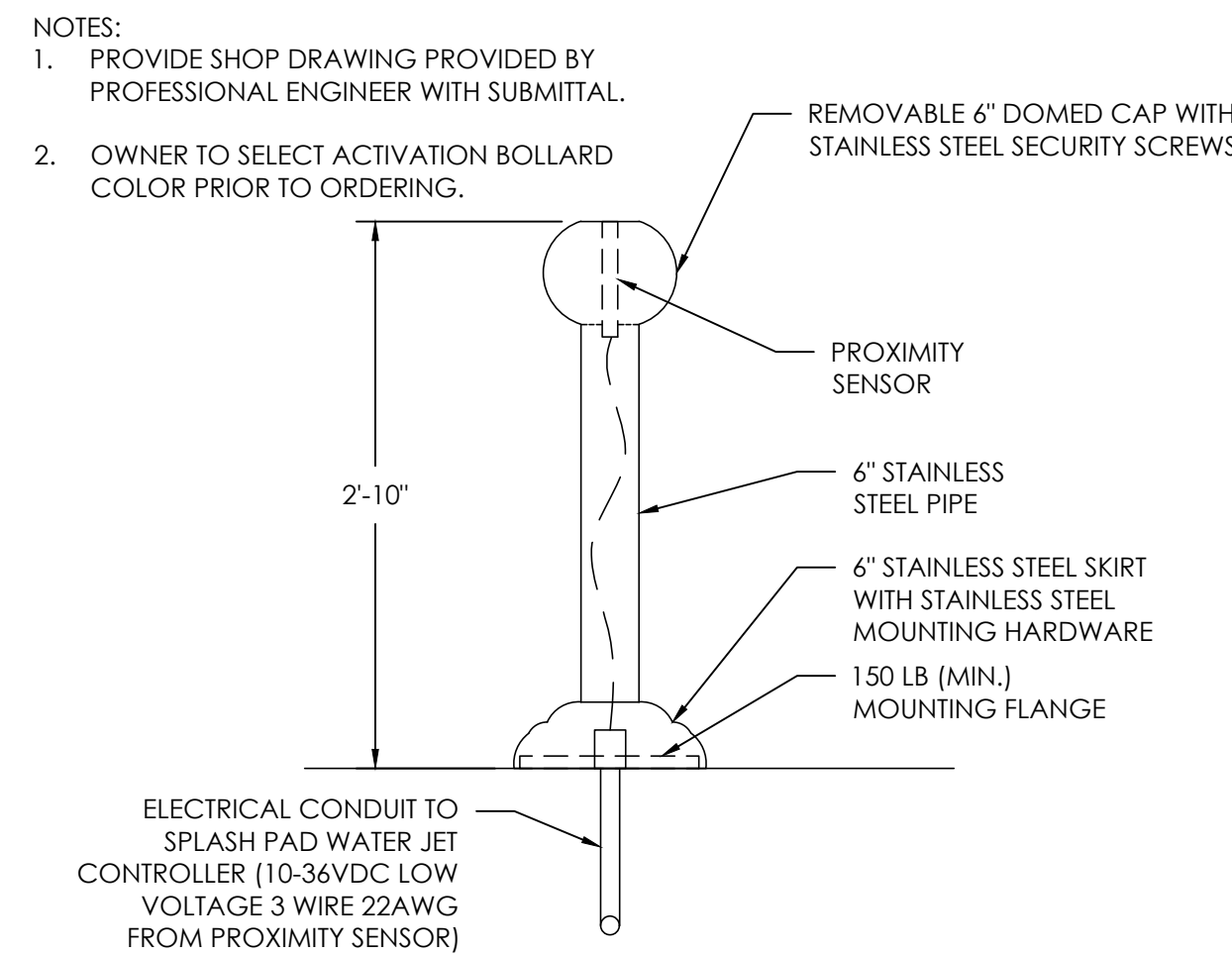
18  
IR-9  
IRRIGATION AND WATER FEATURE ENCLOSURE  
NOT TO SCALE



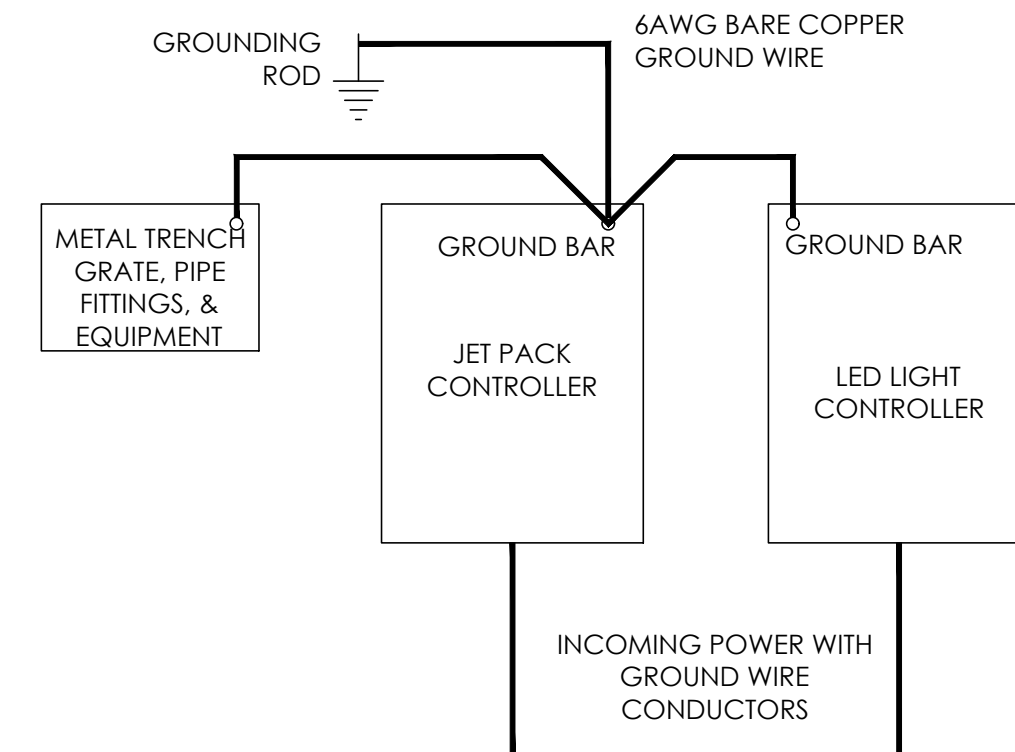
19  
IR-9  
WATER FEATURE CONTROL PANEL SECTION  
NOT TO SCALE



20  
IR-9  
CURB STOP AND WASTE VALVE FOR SYSTEM DRAINAGE  
NOT TO SCALE

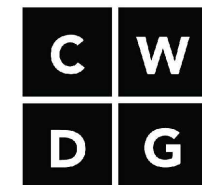


21  
IR-9  
SPASH PAD ACTIVATION BOLLARD  
NOT TO SCALE



22  
IR-9  
TYPICAL BONDING/  
GROUNDING SCHEMATIC  
NOT TO SCALE

PREPARED BY:



Copley Wolff Design Group  
Landscape Architects & Planners

PROJECT NAME / CLIENT:

# BOYNTON YARDS - CIVIC SPACE 1

101 SOUTH STREET, SOMERVILLE, MA  
101 SOUTH STREET OWNER LLC

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STAMP:



3/10/2023

DRAWING TITLE:

## WATER FEATURE DETAILS - 1

DRAWN BY: AEH

CHECKED BY: MI

SCALE: AS SHOWN

DATE: 3.10.23

SHEET 9 OF 10

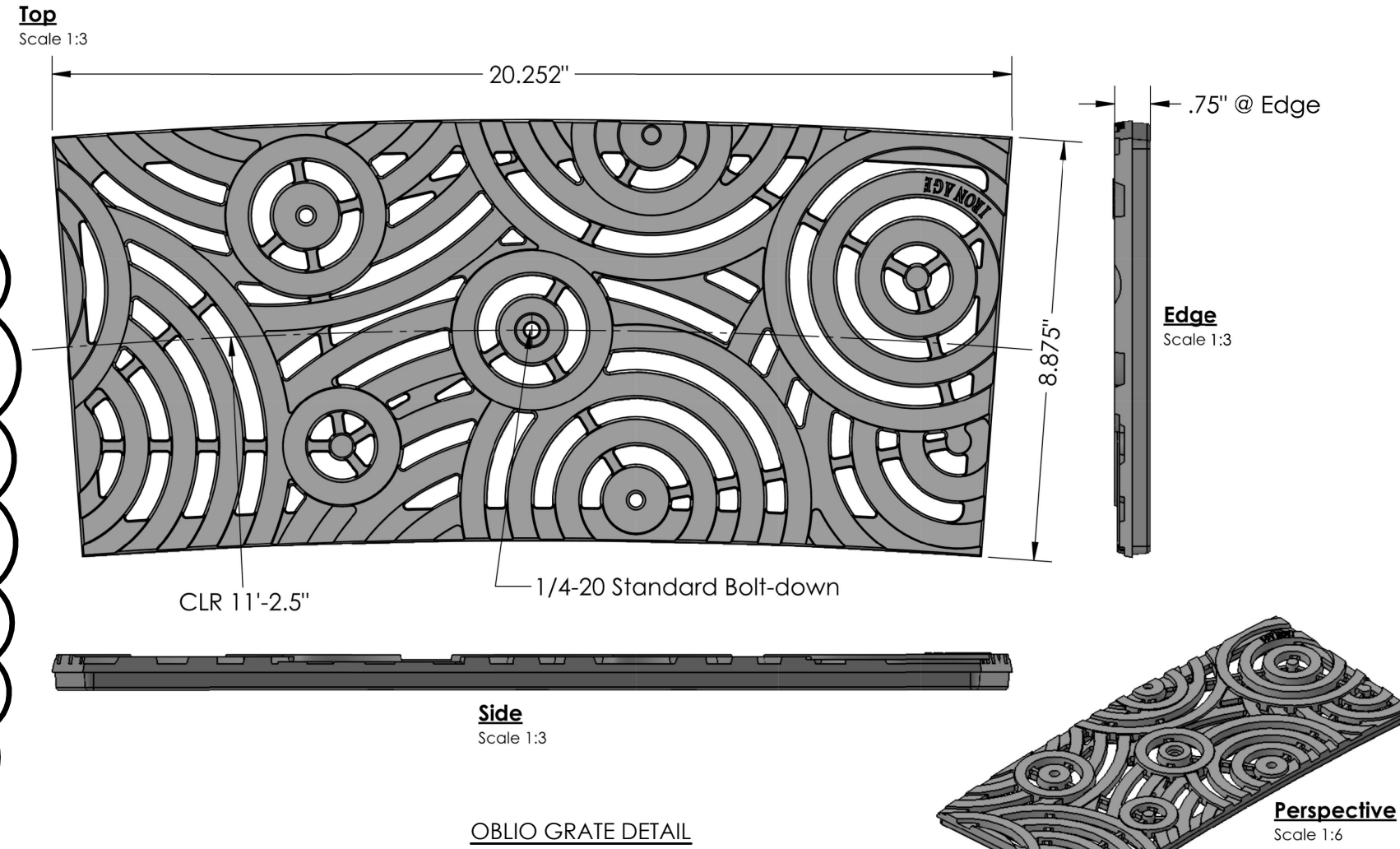
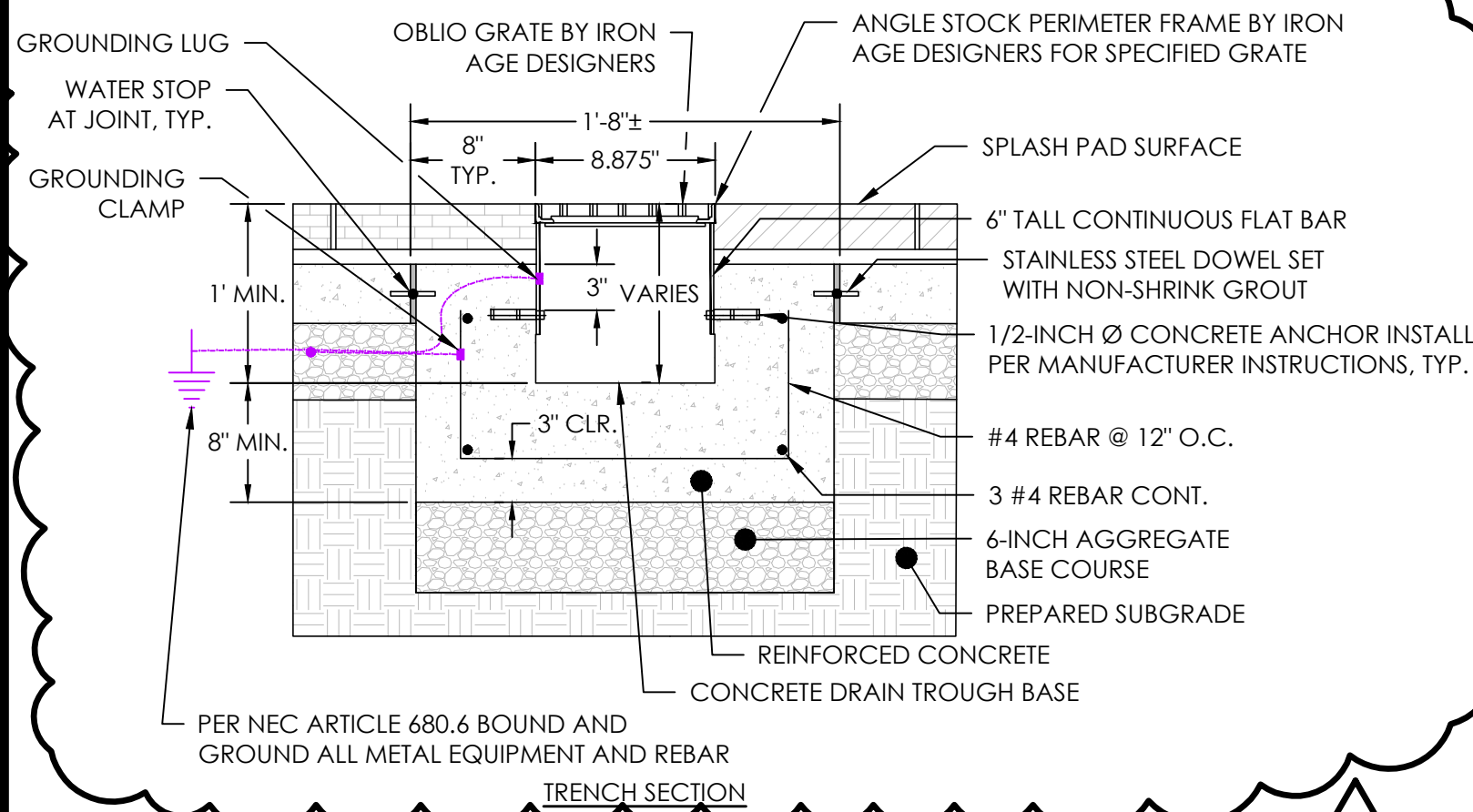
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# IR-9

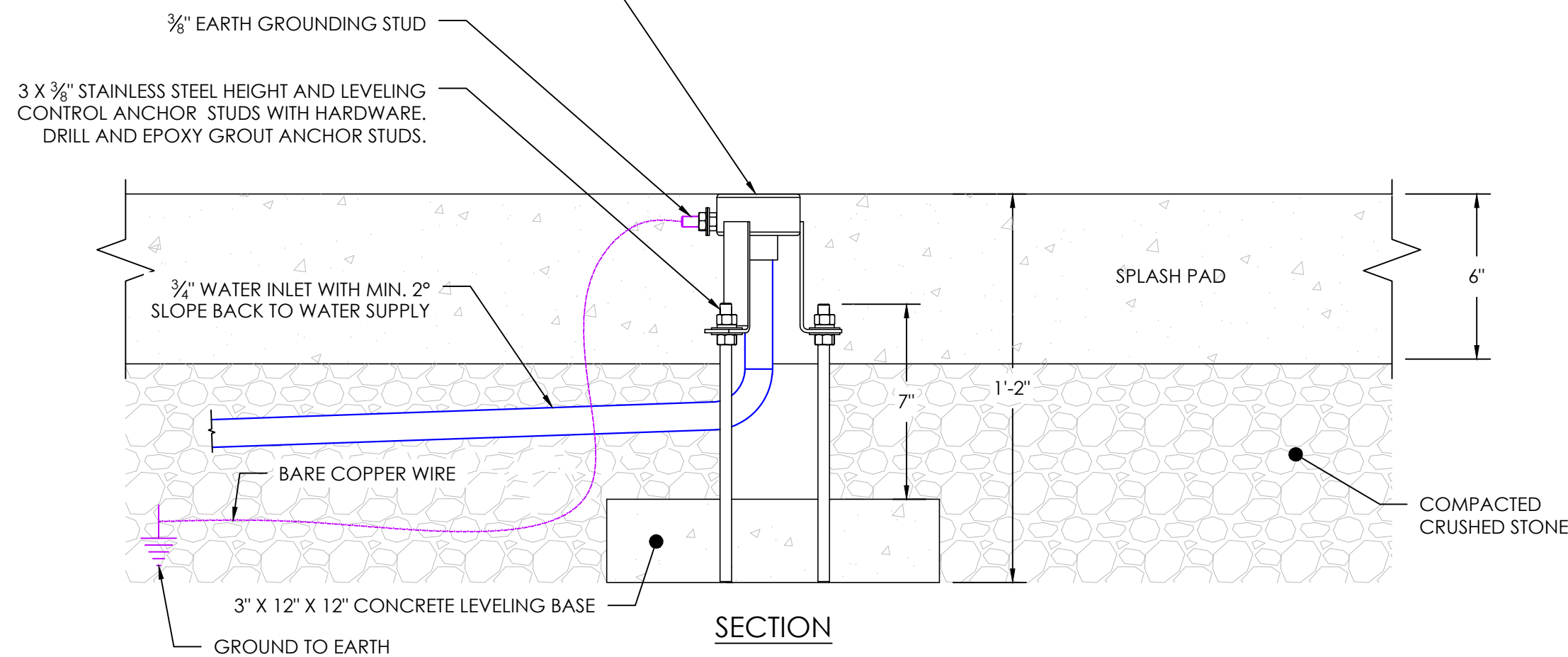
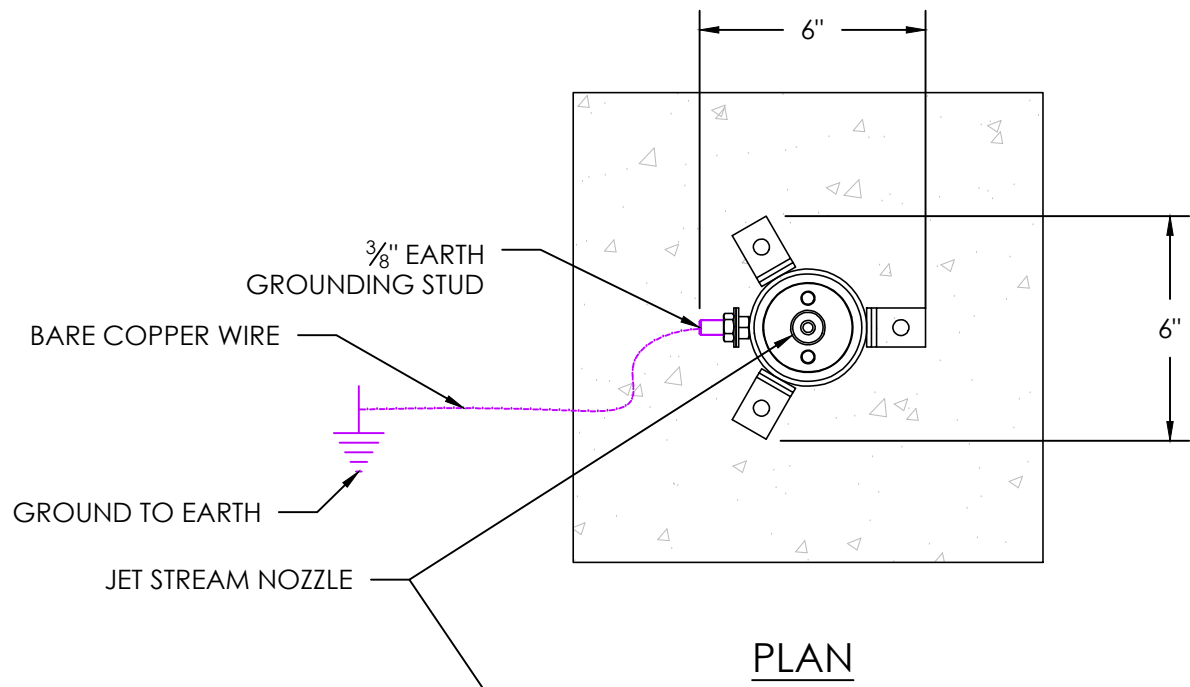


4/26/2023 12:18:56 PM - C:\USERS\ASHLEYHAMMOND\AQUEOUS CONSULTANTS\AQUEOUS - DOCUMENTS\PROJECTS\COPLEY WOLF\20-0091B - BOYNTON YARDS CIVIC SPACE\20 DESIGN\04\_ADDENDUM 1\BOYNTON CIVIC SPLASH PAD.DWG - ASHLEY HAMMOND

- GRATE NOTES:
1. MATERIAL: CAST DUCTILE IRON
  2. NATURAL FINISH
  3. EDGE THICKNESS:  $\frac{3}{4}$ "
  4. FITS DRAIN CHANNELS MANUFACTURED BY: IRON AGE
  5. NO OPENINGS GREATER THAN  $\frac{1}{2}$ "
  6. WEIGHT APPROX. 19 LBS
  7. DUE TO CASTING INCONSISTENCIES ALL DIMENSIONS ARE NOMINAL
  8. PROVIDE SHOP DRAWING PROVIDED BY PROFESSIONAL ENGINEER WITH SUBMITTAL.
- TRENCH NOTES:
1. PROVIDE SHOP DRAWINGS BY MANUFACTURER FOR OWNER'S REPRESENTATIVE'S REVIEW

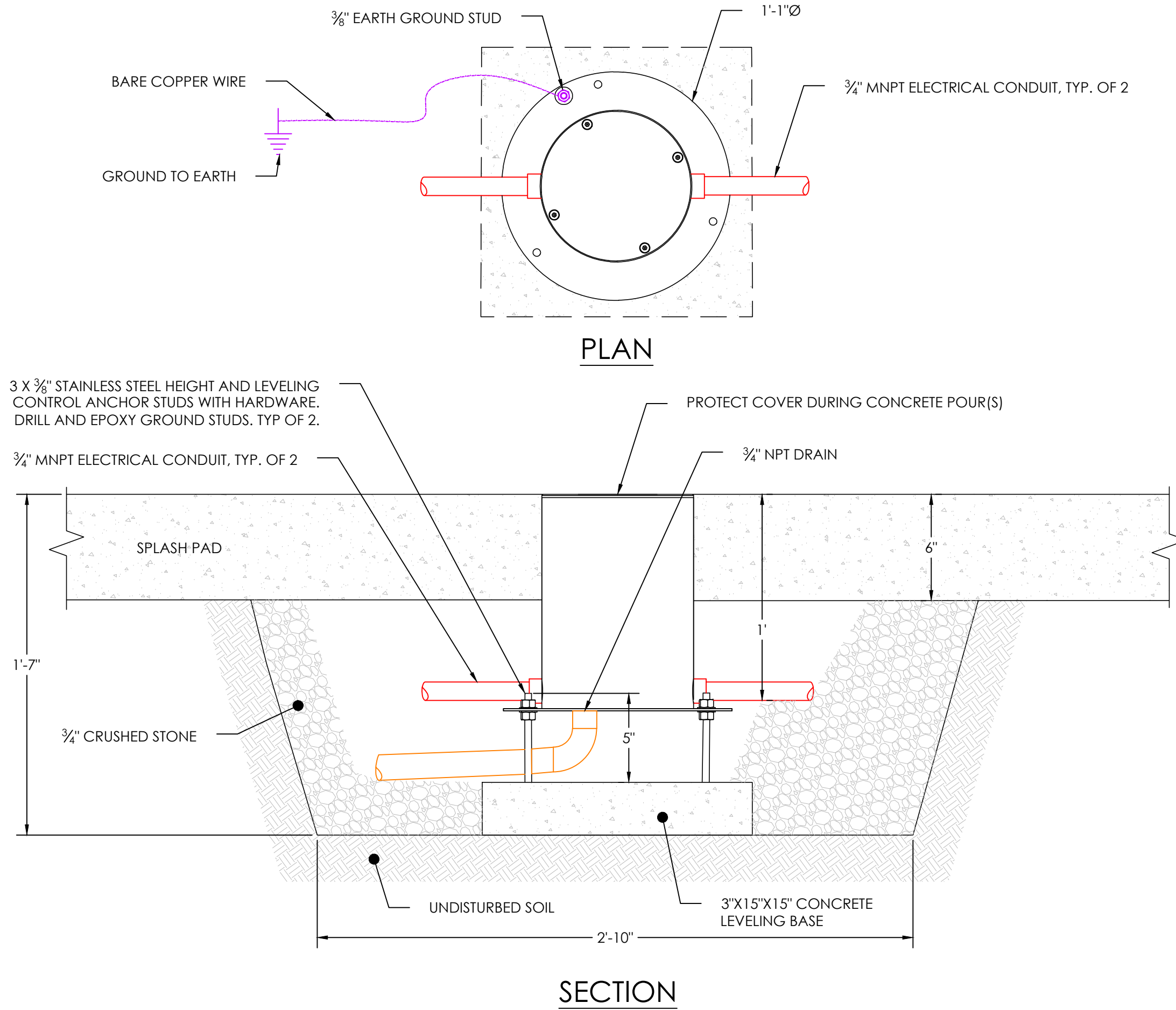


23 TRENCH DRAIN AND GRATE  
IR-10 NOT TO SCALE



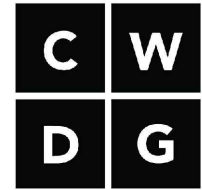
24 JET STREAM  
IR-10 NOT TO SCALE

- NOTE:
1. PROVIDE SHOP DRAWING PROVIDED BY SPLASH PAD MANUFACTURER WITH SUBMITTAL.



25 RGBW LED LIGHT  
IR-10 NOT TO SCALE

PREPARED BY:



Copley Wolff Design Group  
Landscape Architects & Planners

PROJECT NAME / CLIENT:

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101 SOUTH STREET, SOMERVILLE, MA  
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STAMP:



3/10/2023

DRAWING TITLE:

## WATER FEATURE DETAILS - 2

DRAWN BY: AEH

CHECKED BY: MI

SCALE: AS SHOWN

DATE: 3.10.23

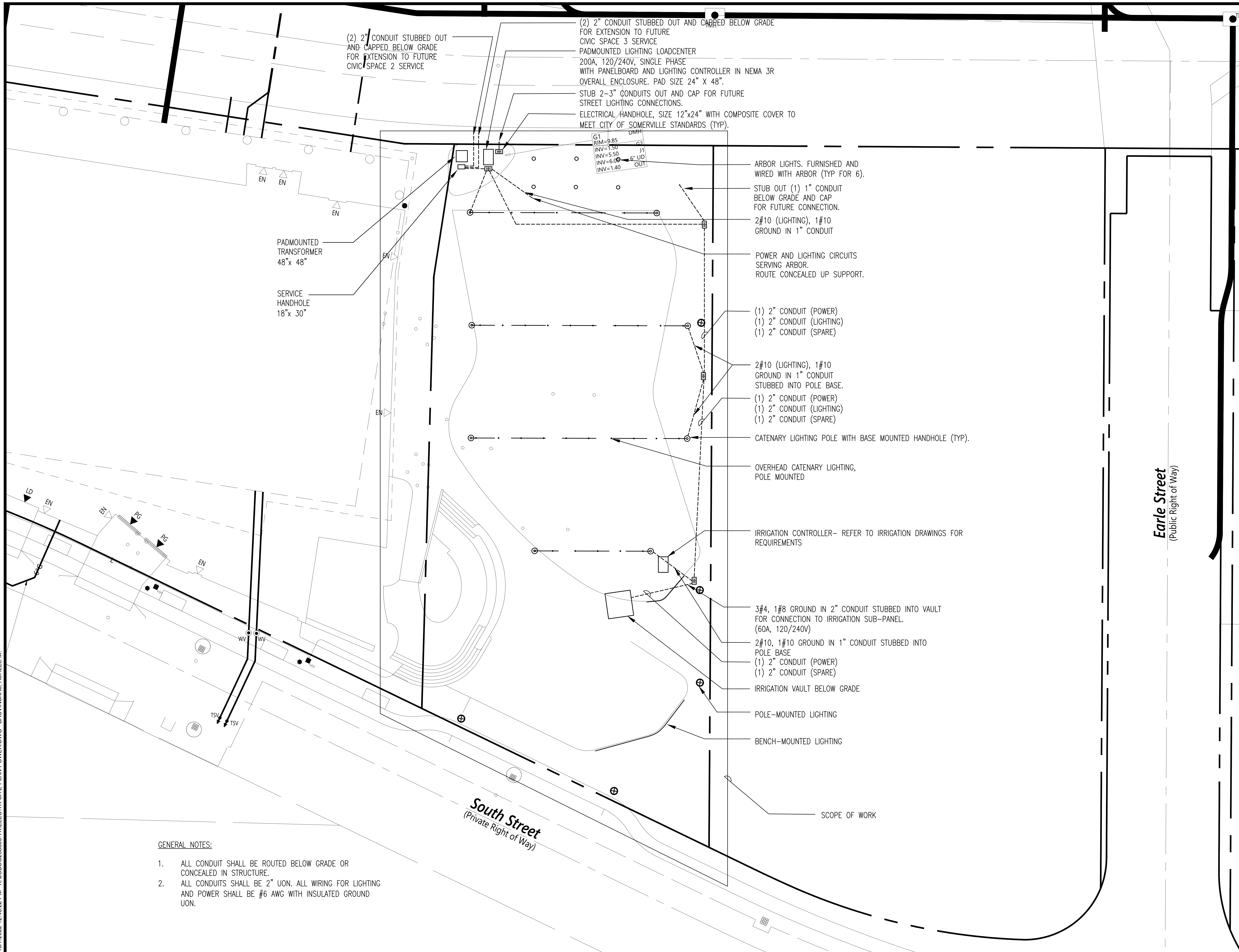
SHEET 10 OF 10

DRAWING NUMBER:

IR-10



10/7/2022 12:43:22 PM - K:\JOBS\3238600\K\ELECTRICAL\POWER.DWG - BACVINSKAS, ASHLEE M.



PREPARED BY:



Copley Wolff Design Group  
Landscape Architects & Planners

PROJECT NAME / CLIENT:

# BOYNTON YARDS - CIVIC SPACE 1

101 SOUTH STREET, SOMERVILLE, MA

CWDG PROJECT NUMBER: 2036

ISSUANCES:

REV #	DATE	DESCRIPTION
-------	------	-------------

1	XX.XX.XX	ADDENDUM 1
---	----------	------------

STAMP:

90% CD  
PROGRESS SET

DRAWING TITLE:

POWER AND  
LIGHTING PLAN

DRAWN BY:

CHECKED BY:

SCALE:

DATE: 10.07.22

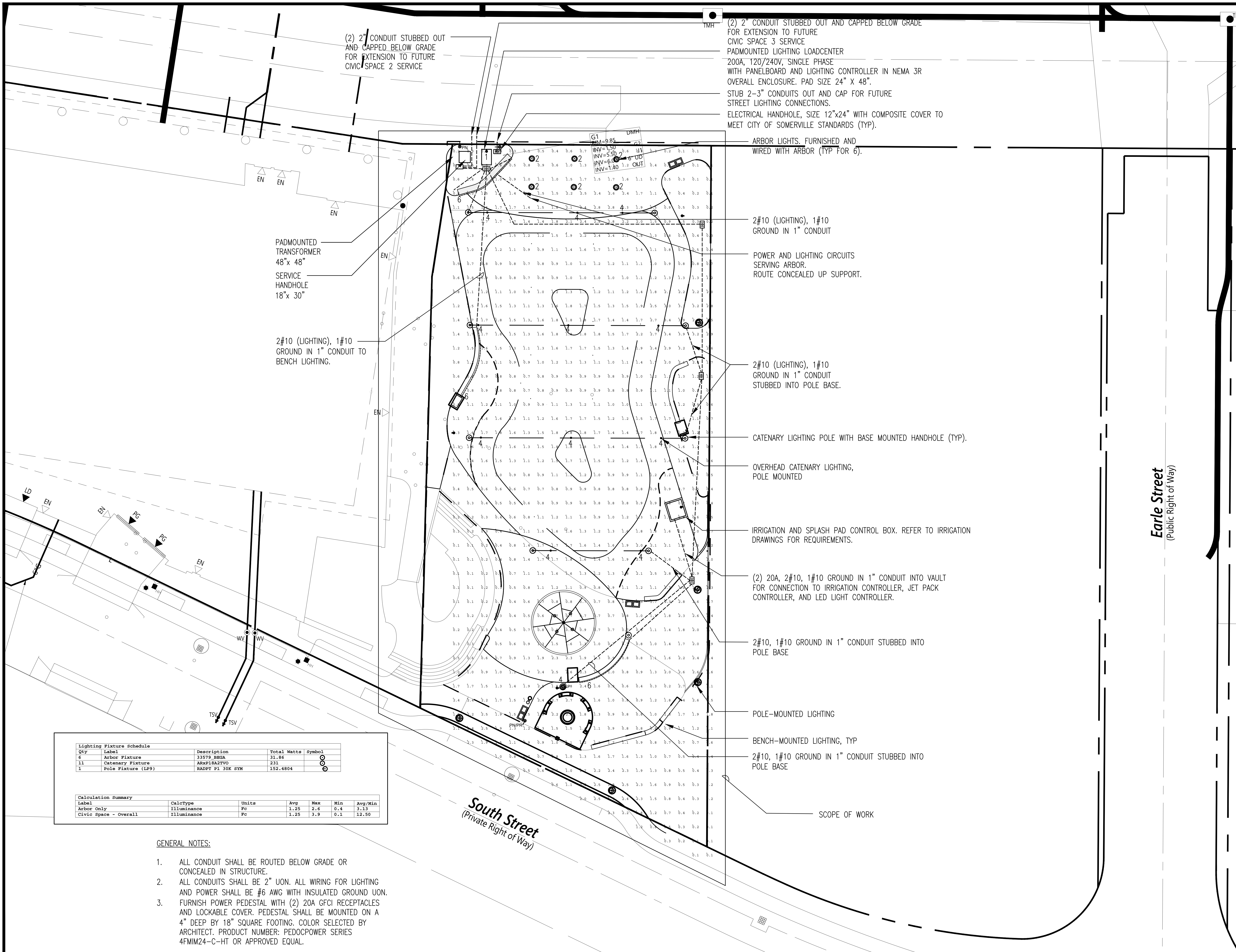
SHEET OF

DRAWING NUMBER:

E-11



3/9/2023 2:56:47 PM - I:\BPL\USA\COM\PROJECTS\JOBS\3238800\YK\ELC\CIVIC SPACE PHOTOMETRIC PLAN 2.DWG - BACVINSKAS, ASHLEE M.



PREPARED BY:



Copley Wolff Design Group  
Landscape Architects & Planners

PROJECT NAME / CLIENT:

# BOYNTON YARDS - CIVIC SPACE 1

101 SOUTH STREET, SOMERVILLE, MA

CWDG PROJECT NUMBER: 2036

ISSUANCES:

REV # DATE DESCRIPTION

1 XX.XX.XX ADDENDUM 1

STAMP:

100% CD SET

DRAWING TITLE:

LIGHTING  
PHOTOMETRIC  
PLAN

DRAWN BY:

AMB

CHECKED BY:

JEG

SCALE:

DATE:

03/10/2023

SHEET

OF

DRAWING NUMBER:

E-12



5/24/2023 2:35:09 PM - K:\JOBS\3238800\YK\ELC\CIVIC SPACE POWER PLAN 2.DWG - BACVINSKAS, ASHLEE M.

ARBOR LIGHTS. FURNISHED AND WIRED WITH ARBOR (TYP FOR 6).

STUB OUT (1) 1" CONDUIT BELOW GRADE AND CAP FOR FUTURE CONNECTION.

6#10 (POWER), 1#10 GROUND

2#10 (LIGHTING), 1#10 GROUND IN 1" CONDUIT TO BENCH LIGHTING.

2#10, 1#10 GROUND IN 1" CONDUIT TO POWER PEDESTAL.

POWER PEDESTAL

CIRCUIT NUMBER (TYPICAL) DEFER TO E-21 FOR PANEL SCHEDULE

2#10, 1#10 GROUND IN 1" CONDUIT TO POWER PEDESTAL.

POWER PEDESTAL

POWER PEDESTAL

(2) 3" CONDUIT STUBBED OUT AND CAPPED BELOW GRADE FOR EXTENSION TO FUTURE CIVIC SPACE 2 SERVICE

(2) 3" CONDUIT STUBBED OUT AND CAPPED BELOW GRADE FOR EXTENSION TO FUTURE CIVIC SPACE 3 SERVICE

STUB 2-3" EMPTY CONDUITS OUT AND CAP FOR FUTURE STREET LIGHTING CONNECTIONS.

ELECTRICAL HANDHOLE, SIZE 12"x24" WITH COMPOSITE COVER TO MEET CITY OF SOMERVILLE STANDARDS (TYP).

2-3" EMPTY CONDUITS FOR FUTURE STREET LIGHTING.

UNDERGROUND TRANSFORMER BY EVERSOURCE

EVERSOURCE STANDARD SERVICE HANDHOLE - 18"x 30"

PADMOUNTED LIGHTING LOADCENTER 200A, 120/240V, SINGLE PHASE WITH PANELBOARD AND LIGHTING CONTROLLER IN NEMA 3R OVERALL ENCLOSURE. PAD SIZE 24" X 48".

POWER AND LIGHTING CIRCUITS SERVING ARBOR. ROUTE CONCEALED UP SUPPORT.

2#10 (LIGHTING), 1#10 GROUND IN 1" CONDUIT

6#10 (POWER), 1#10 GROUND

(1) 2" CONDUIT (POWER)  
(1) 2" CONDUIT (LIGHTING)  
(1) 2" CONDUIT (SPARE)

2#10 (LIGHTING), 1#10 GROUND IN 1" CONDUIT STUBBED INTO POLE BASE.

(1) 2" CONDUIT (POWER)  
(1) 2" CONDUIT (LIGHTING)  
(1) 2" CONDUIT (SPARE)

CATENARY LIGHTING POLE WITH BASE MOUNTED HANDHOLE (TYP).

OVERHEAD CATENARY LIGHTING, POLE MOUNTED

6#10 (POWER), 1#10 GROUND

IRRIGATION AND SPLASH PAD CONTROL BOX. REFER TO IRRIGATION DRAWINGS FOR REQUIREMENTS.

(1) 2" CONDUIT (POWER)  
(1) 2" CONDUIT (SPARE)

(2) 20A, 2#10, 1#10 GROUND IN 1" CONDUIT INTO VAULT FOR CONNECTION TO IRRIGATION CONTROLLER, JET PACK CONTROLLER, AND LED LIGHT CONTROLLER.

2#10, 1#10 GROUND IN 1" CONDUIT STUBBED INTO POLE BASE

POLE-MOUNTED LIGHTING

BENCH-MOUNTED LIGHTING, TYP

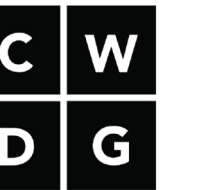
2#10, 1#10 GROUND IN 1" CONDUIT STUBBED INTO POLE BASE

SCOPE OF WORK

#### GENERAL NOTES:

- ALL CONDUIT SHALL BE ROUTED BELOW GRADE OR CONCEALED IN STRUCTURE.
- ALL CONDUITS SHALL BE 2" UON. ALL WIRING FOR LIGHTING AND POWER SHALL BE #6 AWG WITH INSULATED GROUND UON.
- FURNISH POWER PEDESTAL WITH (2) 20A GFCI RECEPTACLES AND LOCKABLE COVER. PEDESTAL SHALL BE MOUNTED ON A 4" DEEP BY 18" SQUARE FOOTING. COLOR SELECTED BY ARCHITECT. PRODUCT NUMBER: PEDOCPOWER SERIES 4FMIM24-C-HT OR APPROVED EQUAL.

PREPARED BY:



Copley Wolff Design Group  
Landscape Architects & Planners

PROJECT NAME / CLIENT:

## BOYNTON YARDS - CIVIC SPACE 1

101 SOUTH STREET, SOMERVILLE, MA

CWDG PROJECT NUMBER: 2036

ISSUANCES:

REV #	DATE	DESCRIPTION
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01	04.26.23	ADDENDUM 1
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02	05.22.23	ADDENDUM 2
----	----------	------------

STAMP:

100% CD SET

DRAWING TITLE:

CIVIC SPACE 1  
POWER PLAN

DRAWN BY: AMB

CHECKED BY: JEG

SCALE: 1"=20'-0"

DATE: 04/26/2023

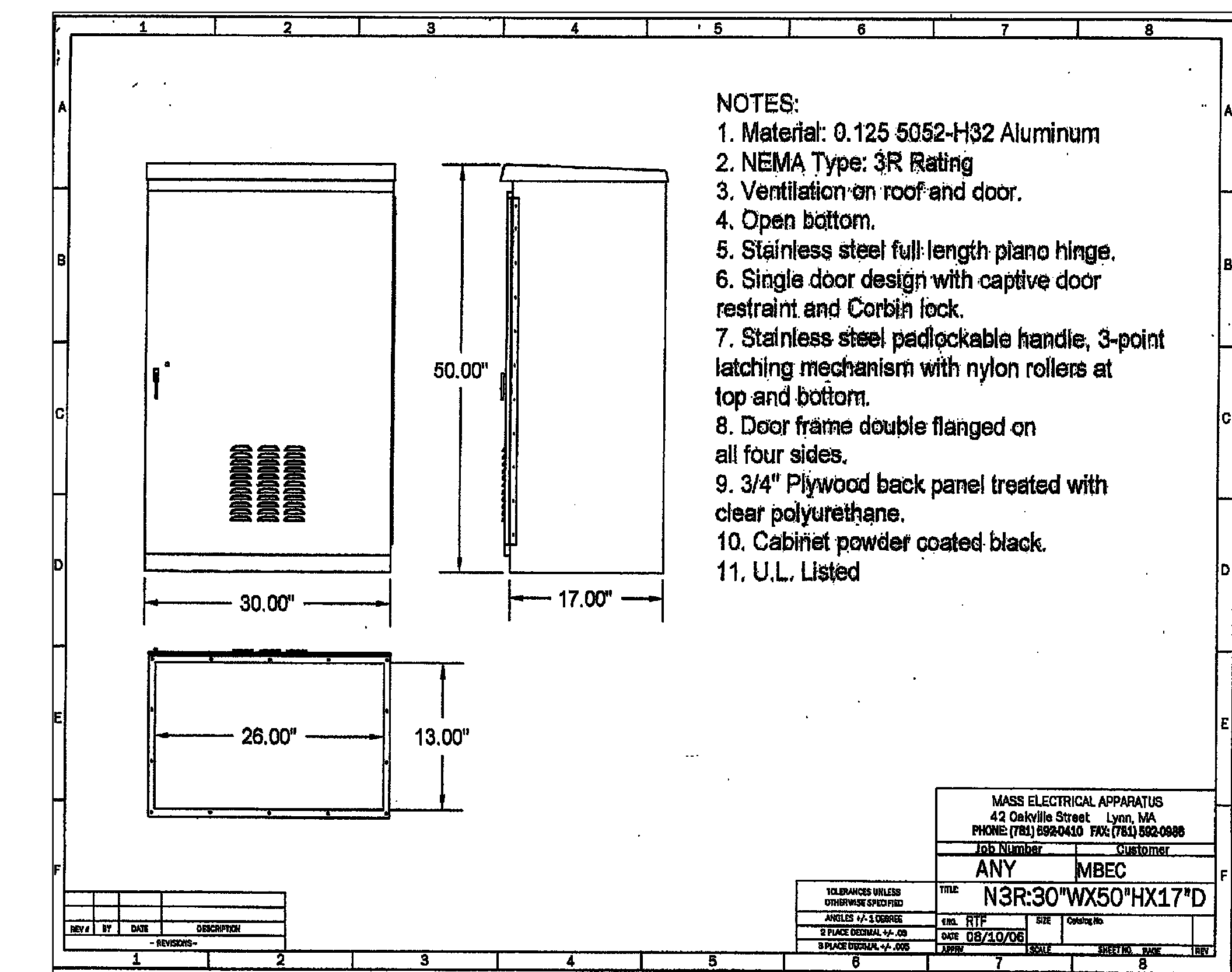
SHEET OF

DRAWING NUMBER:

E-13



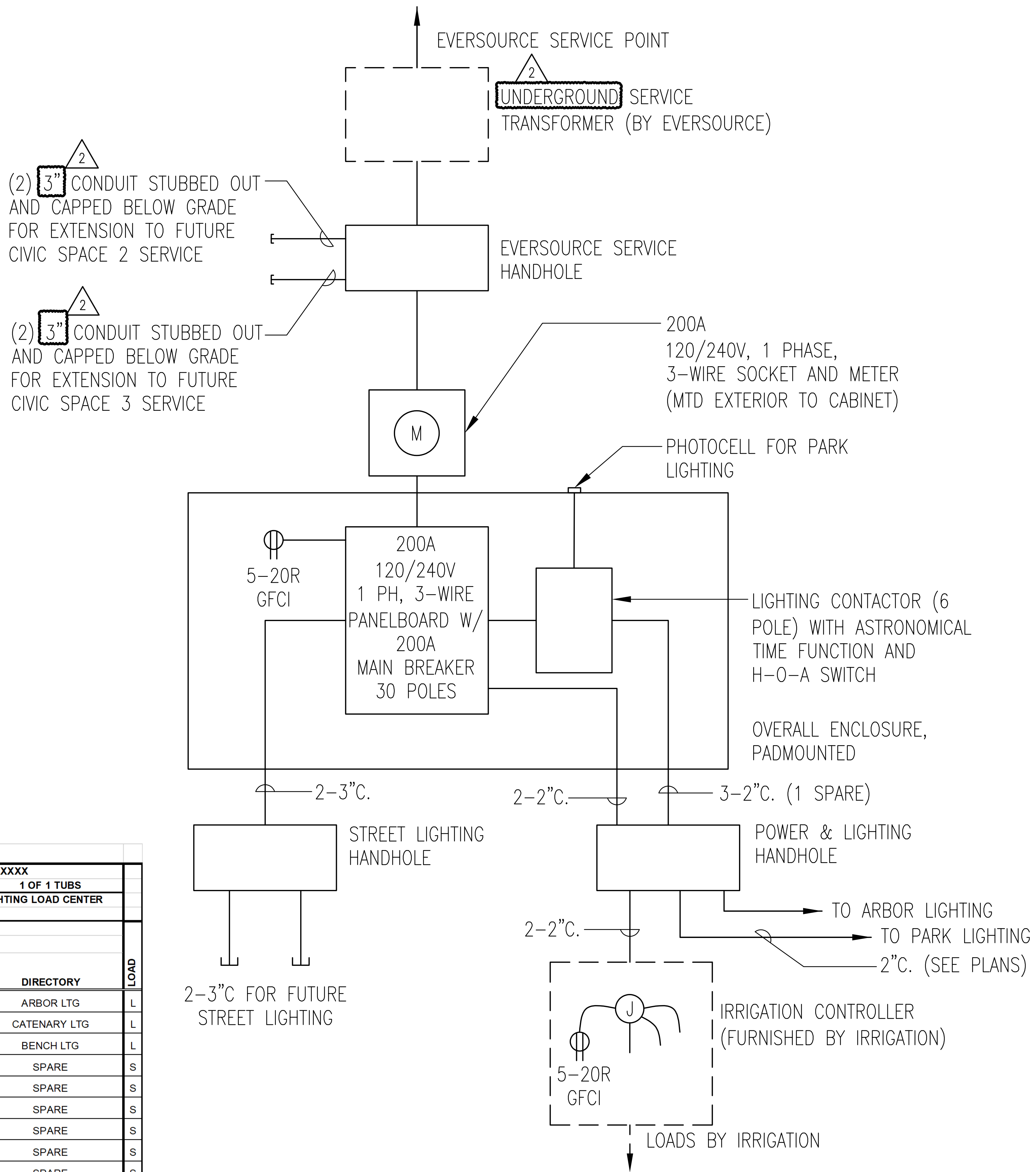
5/23/2023 11:06:12 AM - K:\JOBS\323880\KIELEC\CIVIC SPACE RISER.DWG - BACVINSKAS, ASHLEE M.



PDMOUNTED LIGHTING LOADCENTER ENCLOSURE DETAIL

Lighting Fixture Schedule			
Qty	Label	Description	Total Watts
6	Arbor Fixture	33579 BEGA	31.86
11	Catenary Fixture	ARxP18A2IVO	231
1	Pole Fixture (LP9)	RADPT P1 30K SYM	152.5

PROJECT:		NAME BOYNTON YARDS CIVIC			PROJECT #:		32388			ENGINEER:		XXX				
VOLTAGE: 120 / 240		1 PHASE		3 WIRE		TOTAL WATTS L1		432		DESIGNATION		XXXXXXX				
MAIN BREAKER: 200A		FRAME:		TRIP:		TOTAL WATTS L2		1,384		1 OF 1 TUBS						
MAIN BUS:		MOUNTING:				TOTAL WATTS L3		1,300		LOCATION:		LIGHTING LOAD CENTER				
NOTE: AIC: 22K						TOTAL WATTS		3,116								
LOAD	DIRECTORY	WATTS LOAD			CKT.	AMPS	L1 Y	L2 Y	L3 Y	AMPS	CKT.	WATTS LOAD			DIRECTORY	LOAD
		L1	L2	L3								L1	L2	L3		
R	LIGHTING LOAD CENTER REC	200			1	20				20	2	32			ARBOR LTG	L
R	IRRIGATION CENTER REC		1,000		3	20				20	4		384		CATENARY LTG	L
R	IRRIGATION CENTER REC			1,000	5	20				20	6			300	BENCH LTG	L
R	POLE-MOUNTED REC	200			7	20				20	8				SPARE	S
S	SPARE				9	20				20	10				SPARE	S
S	SPARE				11	20				20	12				SPARE	S
S	SPARE				13	20				20	14				SPARE	S
S	SPARE				15	20				20	16				SPARE	S
S	SPARE				17	20				20	18				SPARE	S
S	SPARE				19	20				20	20				SPARE	S
	SPACE				21						22				SPACE	
	SPACE				23						24				SPACE	
	SPACE				25						26				SPACE	
	SPACE				27						28				SPACE	
	SPACE				29						30				SPACE	
SUBTOTAL		400	1,000	1,000								32	384	300	SUBTOTAL	



ELECTRICAL SERVICE AND DISTRIBUTION DIAGRAM

PREPARED BY:



Copley Wolf Design Group  
Landscape Architects & Planners

PROJECT NAME / CLIENT:

# BOYNTON YARDS - CIVIC SPACE 1

101 SOUTH STREET, SOMERVILLE, MA

CWDG PROJECT NUMBER: 2036

ISSUANCES:

REV # DATE DESCRIPTION

01 04.26.23 ADDENDUM 1

02 05.22.23 ADDENDUM 2

STAMP:

100% CD SET

DRAWING TITLE:  
ELECTRICAL  
DETAILS

DRAWN BY: AMB

CHECKED BY: JEG

SCALE: NTS

DATE: 04/26/2023

SHEET OF

DRAWING NUMBER:

E-21



# BOYNION YARDS - CIVIC SPACE 1

1111 SOUTH STREET, SOMERVILLE, MA

#	DATE	DESCRIPTION
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[illegible]

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# WORKING CONDITIONS PLAN

BY: \_\_\_\_\_

ED BY: **IR**

03/10/2023

ET 2 OF 11

NG NUMBER

# EX1.00

