



# CPA Full Grant Application FY26

## Project Information

**Project Name:** Blessing of the Bay Linear Park Improvements

**Project Location:** 32 Shore Drive

**Please indicate the primary category that applies to this project:** Open Space/Recreation

**If this project addresses multiple CPA program areas, please select all that apply:** Open Space / Recreation

**CPA Funding Request** \$347,178 Updated 1-23-26: \$124,331 CPA Request

**Total Budget for Project** \$3,573,737

**Please select the description that best matches your request:** This application is for a new project or expanded scope of work on a previously-funded CPA project.

## Applicant Information

**Is the City of Somerville the primary applicant?** Yes

**Is this application for a property or asset owned by the City of Somerville?** Yes

**If applicable, please describe the process of collaboration and the role that participants will have in guiding or implementing the project.**

The City of Somerville is the Project proponent and will require access to DCR property for the Project’s construction. DCR have been project stakeholders throughout the development process and will provide needed NOI Green Docket Review and Construction Access Permitting.

**Does another organization or entity own the property or hold an interest in the property? (Including a condominium association)**

No

**Primary Contact Person:** Meg Koglin

**Primary Contact Email**

**Partner Contact Person:** n/a

## Narrative Questions

Please respond thoroughly to each of the questions below

### Description:

The Blessing of the Bay Linear Park Improvements Project (the “Project”) will enhance recreational opportunities and green open space in the City of Somerville. This initiative involves constructing a 12-foot-wide shared-use community path within Blessing of the Bay Park, a 5-acre open space that is part of the 10-mile, 329-acre Mystic River Reservation. The project will incorporate 85 new shade trees, 1,520 SF native plants, benches, educational interpretive signage, and green stormwater infrastructure.

A community-led design process in 2018 identified the critical need for a universally accessible path through the park. By adding this recreational path, expanding the park’s footprint, and enhancing the park’s ecological function, the Project will mitigate urban heat, improve air quality, reduce traffic noise, and foster inclusive engagement for residents and visitors. Furthermore, this reimagined linear park will serve as a welcoming gateway in an environmental justice neighborhood.

### Purpose:

A comprehensive, community-driven plan for Blessing of the Bay Park, published in 2018 by the Mystic River Watershed Association (MyRWA) in partnership with the City of Somerville and the Department of Conservation and Recreation (DCR), revealed substantial barriers to public use and enjoyment. Residents described the park as uninviting and neglected, citing obstacles such as perceived privatization of the boathouse, restricted river access due to overgrown vegetation, traffic noise from I-93, broken benches, insufficient trash cans, and uneven paths. Survey feedback included concerns about safety and a general sense of neglect.

Despite these challenges, the community recognized the park’s unique potential as the only public waterfront access to the Mystic River in Somerville. Respondents highlighted its value for scenery, sunsets, and as a natural urban refuge. There was strong support (78% of respondents) for improved walking and biking paths, more lighting (71%), and enhanced amenities like docks, boardwalks, and invasive species management (67%).

The Blessing of the Bay Park Improvement Project is designed in direct response to these needs and aspirations identified by the community. It aligns with Somerville’s Open Space and Recreation Plan, Bicycle Network Plan, Pollinator Action Plan, and Climate Forward Plan priorities—including revitalization of existing open space, increasing water access, and improving equitable amenities for all ages and abilities. The project further aligns with FY26 CPA Plan priorities, including the allocation and strategic use of funding through leveraging effective match: over \$1.95 million in Project funds has already been secured, with an additional \$500,000 pending from state agencies.

The park is highly accessible, located within a 5-minute walk for nearly 3,000 residents, including approximately 1,200 residents in the Ten Hills neighborhood. Directly across from the park are the Mystic Housing Authority developments, which are home to 667 households. This area is designated as an environmental justice community by the Massachusetts Department of Energy and Environmental Affairs, with a significant population of low-income youth, youth of color, immigrants, and their families. According to the Somerville Housing Needs Assessment, 51.2% to 60.9% of households in this neighborhood are

classified as low to moderate income, compared to 24.6% to 34% in the adjacent Ten Hills neighborhood.

The Project enhances the character of the Somerville neighborhood by improving the quality, accessibility, and visual connectivity of the waterfront while preserving its non-commercial, naturalistic, and serene character. It encourages inclusive public use of the waterfront for recreation and reflection by thoughtfully updating the park to align with the adjacent residential community and invite people from across the region. Serving as a quiet and restorative refuge amidst nearby busy roadways and commercial districts, the Project safeguards and elevates this vital community asset, reinforcing the City's commitment to resilient, equitable, and livable open spaces.

The Project aims to transform an asphalt-covered right-of-way on Shore Drive into much-needed recreational open space. This transformation will include a 12-foot-wide shaded shared-use community path and the addition of new green infrastructure, expanding the park's footprint by approximately 24,000 square feet. Anticipated community health and resilience benefits include expanded and more accessible recreational opportunities. The park will feature 85 new large shade trees, which will provide significant public health benefits by reducing the urban heat island effect, improving air quality, filtering stormwater pollutants, and decreasing the likelihood of flooding in public open space

### **Status:**

The Project was conceptualized as part of community-led planning efforts in 2017 and 2018, and complements recent improvements to Blessing of the Bay Park's picnic area, boathouse, and vegetation. Design development and permitting for the Project are currently in progress at the 75% stage, with an anticipated Notice of Intent slated for submission to DCR's Green Docket Review and Somerville's Conservation Commission in October and November 2025. Construction-level documentation is expected to be completed in January 2026 in anticipation of Project bidding in February 2026. Project construction is currently scheduled to commence in Spring 2026. Our current plan set is included in our application for reference.

### **Project Scope:**

We anticipate the FY26 CPA funds will support tasks for the Project's capital construction, including Lighting & Electrical, Site Furnishings, Planting Soils & Mulch, and Trees. An FY23 award to the Mystic River Watershed Association of \$250,000 and a State budget earmark of \$75,000 are funding design development and permitting for the Project. An FY24 CPA award, state-granted Masstrails and MVP awards, and a private foundation grant are in hand, totaling \$2.38m to be spent across all capital construction tasks. Lastly, a second Masstrails grant of \$500,000 is pending toward funding the shared-use path construction.

### **Cost Estimate:**

The enclosed budget includes all soft and hard costs related to completing the project. Attached is our most current cost estimate for the construction phase. This estimate features an additive alternative for pedestrian-scale lighting, which aims to enhance safety and create a more welcoming atmosphere in the park. The proposed lighting design aligns with the treatment seen in Somerville's Sylvester Baxter Riverfront Park, located across the Fellsway, ensuring continuity in equity and access along these riverfront parks.

Offshoots, Inc. has prepared the construction estimate as the lead design consultants for the project and has been involved in the revitalization of the Blessing of the Bay since 2017. The funding amount we are requesting reflects the gap between our current project budget and the estimated total project cost.

### **Funding Sources:**

Approximately \$1.95m has been leveraged to date from CPA's previous investments in the Project. MyRWA has provided in-kind labor as the project manager of planning and design work for the Project, numbering hundreds of hours since 2017. They have invested time and energy to further the public process for the Project with the Mystic Housing community, the Mystic Learning Center, the Welcome Project, and Groundwork Somerville organizations. They have translated all Project materials into Spanish, Portuguese, and Haitian Creole and have contracted live interpretation services to ensure language is not

a barrier to community participation. Lastly, they have leveraged significant funding for the Project's completion and continue to advance other phases of work for Blessing of the Bay Park's revitalization.

In addition to the grants listed in the Project budget spreadsheet, we intend to pursue supplemental funding from private foundations to help cover potential Project cost escalations.

**Anticipated Future Funding:**

Should we not receive funding from CPA or our 2025 Masstrails application, the Project team will work with stakeholders from the City, MyRWA, and DCR to approach private foundations to obtain the remaining funding gap to ensure the project proceeds on schedule for construction in Spring 2026. The Project cost estimate reflects value-engineering measures to minimize Project costs while meeting priority goals. The team has also prepared scenarios for Project seating and lighting to be included as additive alternatives. If we cannot obtain the funds to include the benches in the initial construction schedule, they could be added at a later time. The additional safety lighting will be more difficult and costly to add in future years instead of including it during the Project construction. The pollinator plantings could also be phased or made into an additive alternative to reduce initial costs.

**Has an architect, contractor, or historic preservation professional already been identified to carry out this project?**

No

**Timeline:**

It is anticipated that the project will take two construction seasons to complete, commencing in Spring 2026 and completing in 2027. All construction activities reimbursed by our 2024 Masstrails grant are required to be completed in the 2026 calendar year, and all construction activities reimbursed by our 2025 MVP grant are required to be completed by the end of FY27. If awarded, it is anticipated that activities reimbursed by our 2025 Masstrails grant are required to be completed by the end of FY27.

**Project Outcome:**

The completed condition of the Project will offer a 12-foot wide, paved, shaded, shared-use community path and expanded green space. Anticipated community health and resilience benefits include expansion of accessible recreational opportunities and urban heat mitigation. The trees and green infrastructure will increase stormwater absorption and storage so the park does not flood and can remain usable for recreation uptake and quality.

The City and DCR are partnering to establish core maintenance responsibilities upon project completion, with a tentative plan for the City to maintain all elements of the Project located on City property. Assets under the care of DCR on their property, permitted through NOI Green Docket and the Construction Access Permit, include tree plantings, benches and signage.

**What best describes the scope of this project?**

Preservation or restoration of a landscape, open space, or monuments located in outdoor public spaces

**Will this project be subject to ADA/MAAB standards?**

The building or site is accessible.

**Is the property currently under a deed restriction or easement? Select all that apply: (please attach a copy of the deed restriction)**

other

**Please describe**

Per the FY23 CPA Funding recommendation for the Project, permanent dedication of the Project area owned by the City of Somerville as conservation land was pursued, and it will remain as a publicly accessible right-of-way under the City of Somerville's care and control. The DCR land being used for the

project is part of the Mystic River Reservation.

**Does this project involve acquiring real property?**

No

**Project Feasibility:**

A Notice of Intent (NOI) is scheduled to be filed with DCR’s Green Docket Review and the Somerville Conservation Commission in Fall 2025. A DCR Construction Access Permit and municipal construction permits will be pulled prior to the commencement of Project construction. Construction-level documents are scheduled for completion in January 2026, and project bidding is scheduled for February 2026. Construction is expected to begin in Spring 2026 and span two construction seasons into 2027. The Project is awaiting award of a 2025 Masstrails award for \$500,000, which, in addition to CPA, serves as our last major financial barrier to completing the Project budget.

**Public Access:**

The Project will create a grade-separated, 12-foot shared-use path which will be accessible to the public 24/7/365. Facility widths and grading will meet ADA standards. Lastly, all benches installed as part of the project will include ADA-compliant access paths, footings, and companion space for wheelchairs. Educational interpretive signage is also being designed to meet DCR and City standards for universal design.

## General

### \* Budget Form

Documentation showing how project costs were derived: e.g., 3 written quotes, professionally-prepared cost estimate, bid documents, etc.

Proof of secured funding (e.g., commitment letters or bank statements), if applicable. If providing bank statements, please redact identifying information such as account numbers, as your application is a public record under the MA Public Records Law.

## Visual

Map of the property location showing all features pertinent to the project, including current or future rapid transit stations

\* Please attach photos of the building or asset that this project would improve. Show the entire site, existing conditions of the elements that are proposed to be improved, and include any other relevant images.

## Community Support

Letters of support from residents, community groups, other City boards, commissions or departments, or from City, state or federal officials

Documentation/summary of any previous community meetings or other public engagement pertaining to the project

## Plans and Reports (if available)

Renderings, site plans, engineering plans, design and bidding plans, specifications, and any MAAB variance requests

Report or condition assessment by a qualified professional describing the current condition of the property, if available

Applicable reports (e.g., appraisals, survey plans, feasibility studies,21E)

# CPA Full Grant Application FY26

**Which department will have primary responsibility for managing this project?**

Public Space and Urban Forestry Division (PSUF)

**Additional departments or stakeholder organizations that will be involved in collaboration on this project.**

Massachusetts Department of Conservation and Recreation (DCR)

## Narrative Questions

Please use the [CPA Budget Template](#) to show the budget and scope for your project. Include your CPA Budget as an attachment. In addition, answer the narrative questions to describe your project scope and budget.

### Site Control

Documentation of site control or written consent of property owner to carry out project

## Somerville Community Preservation Act Grant Application Budget Form

**Project Name:** Blessing of the Bay Linear Park Improvements - Greenway  
**Applicant:** City of Somerville, UPDATE 1/23/2026

*Please list your sources of funding for this project*

### SOURCES OF INCOME

Source	Amount	Secured? (Yes/No)	Status of Funding Source
2024 Masstrails	500,000	Yes	Awarded
2025 MVP	1,349,600	Yes	Awarded
Liberty Mutual Foundation	100,534	Yes	Awarded
2025 Masstrails	500,000	Yes	Awarded
FY24 CPA	426,925	Yes	Awarded
FY26 CPA	124,331	No	Decision Pending
<b>TOTAL</b>	<b>3,001,390</b>		

*Please explain your project costs and explain where CPA grant funds will be used*

### USES / EXPENSES\*

	CPA Grant Funds Budget	Non-CPA-Funded Project Costs	Total Project Costs	Section Total
<b>Building/Construction line items</b>				
1. Site Preparation and Mobilization		\$145,600	\$145,600	
2. Erosion Control		\$29,500	\$29,500	
3. Site Demolition / Utilities		\$130,700	\$130,700	
4. Earthworks		\$251,500	\$251,500	
5. Certified Arborist		\$35,000	\$35,000	
6. Roadway		\$208,800	\$208,800	
7. Greenway Hardscape		\$413,600	\$413,600	
8. Lighting & Electrical	\$ 16,000	\$125,100	\$141,100	
9. Drainage Infrastructure		\$98,200	\$98,200	
10. Utilities - Water		\$26,300	\$26,300	
11. Green Infrastructure		\$103,800	\$103,800	
12. Site Furnishings	\$ 15,000	\$120,300	\$135,300	
13. Planting Soils & Mulch	\$ 14,200	\$154,100	\$168,300	
14. Trees	\$ 18,000	\$110,100	\$128,100	
15. Planting Mixes		\$42,100	\$42,100	
16. Plant Maintenance and Warranty	\$ 21,400	\$74,100	\$95,500	
Subtotal				\$84,600
<b>Other</b>				
General Conditions (10%)		\$212,340	\$212,340	
Contingency (27%)	\$ 34,731	\$548,568	\$630,650	
Administrative Fee - CA payment distro	\$ 5,000	\$0	\$5,000	
Subtotal				\$39,731
<b>TOTAL</b>	<b>124,331</b>	<b>\$2,829,708</b>	<b>\$3,001,390</b>	

**PLEASE NOTE:**

- Please round numbers and do not use cents
- Your budget must be specific to your project.
- All CPA grant funds must be spent on the scope of work you have defined in this budget.
- If using an estimate from a contractor, please breakdown your estimates by line item. Do not submit a lump sum line item on this form.
- All costs must be allowable under the CPA statute.

# Estimated Construction Cost

**Project:** Shore Drive Greenway  
**Location:** Somerville, MA

**Submission:** DRAFT PERMIT SET (75% CD) - Opinion of Probable Costs  
**Date:** 5/30/2025

	<b>Estimator:</b>	<b>Checked By:</b>
<b>OFI</b>	SCH/CU	KK
<b>HW</b>	HC/SS	HC
<b>APEX</b>	MD	JDF

This opinion of probable costs is based on the Draft Permit (75% CD) plans for the Shore Drive Greenway Project, May 2025, prepared by Offshoots, Horsley Witten Group, and Apex Companies, and is for planning purposes only. The unit prices are based upon the latest MassDOT weighted unit

## SHORE DRIVE GREENWAY - OPINION OF PROBABLE COSTS

	Unit	Quantity	unit cost	Total Cost
<b>Shore Drive Greenway</b>				<b>\$2,115,100.00</b>
<b>Site Preparation and Mobilization</b>				<b>\$105,200.00</b>
Mobilization/Demobilization	LS	1	\$15,000.00	\$15,000.00
Tree and Soil Protection Fencing	LF	2,016	\$44.75	\$90,216.00
<b>Erosion Control</b>				<b>\$31,400.00</b>
Compost Silt Sock Erosion Control	LF	2,016	\$10.00	\$20,160.00
Inlet Sediment Control Device (Silt Sack)	EA	26	\$240.00	\$6,240.00
Cleaning and Maintenance of Erosion Controls	LS	1	\$5,000.00	\$5,000.00
<b>Site Demolition</b>				<b>\$79,900.00</b>
Sawcut Existing Pavement	LF	95	\$15.00	\$1,425.00
Remove and Dispose Existing Asphalt Sidewalk	CY	420	\$100.00	\$42,000.00
Drainage Structure Adjusted	EA	4	\$1,000.00	\$4,000.00
Tree Removal (<24")	EA	1	\$3,500.00	\$3,500.00
Tree Removal (>24")	EA	4	\$4,500.00	\$18,000.00
Remove and Relocate Utility Pole	EA	1	\$6,000.00	\$6,000.00
Remove and Relocate Hydrant	EA	1	\$5,000.00	\$5,000.00
<b>Water Utilities</b>				<b>\$20,300.00</b>
1" Water Corporation Stop	EA	1	\$1,600.00	\$1,600.00
Meter Pit	EA	1	\$12,000.00	\$12,000.00
1" Copper Tubing	LF	38	\$175.00	\$6,650.00
<b>Earthworks</b>				<b>\$241,000.00</b>
Earth Excavation Shared-Use Path (3,090)	CY	86	\$77.50	\$6,652.08
Earth Excavation Shared-Use Path with SBSS below (17,904 SF)	CY	1500	\$77.50	\$116,287.31
Earth Excavation Shared-Use Path over Tree Trench (3,072 SF)	CY	85	\$77.50	\$6,613.33
Earth Excavation Extended Subgrade	CY	130	\$77.50	\$10,046.30
Earth Excavation Tree Trenches (SBSS&Washed Aggregate) and Forebays	CY	388	\$77.50	\$30,070.00
Earth Excavation Tree Trenches (18" Plant Bed)	CY	108	\$78.50	\$8,512.89
Earth Excavation Tree Lawn (18" Depth)	CY	328	\$77.50	\$25,402.78
Earth Excavation Park-Side Loam (6" depth)	CY	342	\$77.50	\$26,522.22
Earth Excavation at Vegetated Slope Restoration Area (18" Depth)	CY	119	\$77.50	\$9,222.50
Earth Excavation Trail Surface Aggregate (9" depth)	CY	22	\$77.50	\$1,668.40
<b>Certified Arborist</b>				<b>\$35,000.00</b>
Certified Arborist Report	LS	1	\$5,000.00	\$5,000.00
Certified Arborist - Root Pruning, Air Spading, etc. per report	ALLOW	1	\$30,000.00	\$30,000.00



**SHORE DRIVE GREENWAY - OPINION OF PROBABLE COSTS**

	Unit	Quantity	unit cost	Total Cost
<b>Planting Soils &amp; Mulch</b>				<b>\$182,800.00</b>
Tree Trench - Planting Soil (1,952SF @ 18" Depth)	CY	108	\$175.00	\$18,977.78
Tree Lawn Area - Planting Soil (5900 SF @ 18" Depth)	CY	328	\$175.00	\$57,361.11
Park Tree - Planting Soil (18 SF each, 18" Depth)	CY	46	\$175.00	\$8,050.00
Lawn Areas and Lawn Repair - Planting Soil ( 6" Depth)	CY	343	\$175.00	\$60,025.00
Vegetated Slope Restoration Area - Planting Soil (18" Depth)	CY	119	\$175.00	\$20,825.00
Pollinator Patch Areas - Composted Leaf Mulch (3" Depth)	CY	18	\$175.00	\$3,162.96
Tree Planting in Lawn Areas - Composted Leaf Mulch - 6' Diameter (3" Depth)	CY	8	\$175.00	\$1,417.82
Vegetated Slope Restoration Area - Composted Leaf Mulch (3" Depth)	CY	20	\$175.00	\$3,443.29
Gravel Mulch Infill at fence and Guard rail (3" depth, geotextile below)	CY	5	\$200.00	\$1,000.00
Straw Mulch or Equal for Seeding (Polyculture and Lawn Areas)	SF	24,380	\$0.35	\$8,533.00
<b>Planting Mixes</b>				<b>\$54,400.00</b>
Pollinator Patches - Grasses (Landscape Plugs)	EA	500	\$10.00	\$5,000.00
Pollinator Patches - Perennials (1 Gallon)	EA	500	\$30.00	\$15,000.00
Polyculture Lawn (Seed)	SF	5,900	\$1.50	\$8,850.00
DCR Lawn Repair (Seed)	SF	18480	\$0.50	\$9,240.00
Vegetated Slope Restoration Areas - Shrub Plantings (3 Gallon)	EA	65	\$120.00	\$7,800.00
Vegetated Slope Restoration Areas - Perennial Plantings (1 Gallon)	EA	170	\$50.00	\$8,500.00
<b>Trees</b>				<b>\$133,200.00</b>
Greenway Tree Trench / Tree Lawn Trees (2-2.5" Cal.)	EA	45	\$1,600.00	\$72,000.00
Greenway Tree Trench / Tree Lawn Trees (1.5-2" Cal.)	EA	8	\$1,500.00	\$12,000.00
Blessing of the Bay Park Trees (2-2.5" Cal.)	EA	27	\$1,600.00	\$43,200.00
Blessing of the Bay Park Trees (7-8' Ht.)	EA	5	\$1,200.00	\$6,000.00
<b>Plant Maintenance and Warranty</b>				<b>\$86,800.00</b>
Temporary Irrigation, Water Reservoir Bags, and supplemental Watering (1 Year)	ALLOW	1	\$20,000.00	\$20,000.00
Vegetation Maintenance through Warranty Period (1 Year)	ALLOW	1	\$48,000.00	\$48,000.00
Standard 1-Year Plant Warranty (10% Plant Cost)	ALLOW	1	\$18,760.00	\$18,760.00
<b>SHORE DRIVE GREENWAY ESTIMATED CONSTRUCTION COSTS</b>				<b>\$2,115,100.00</b>
General Conditions		10%		\$211,600.00
<b>ESTIMATED CONSTRUCTION COSTS (including General Conditions)</b>				<b>\$2,326,700.00</b>
Construction Overhead and Profit		12%		\$279,204.00
Contingency		15%		\$349,005.00
<b>TOTAL ESTIMATED OPINION OF PROBABLE COSTS</b>				<b>\$2,954,909.00</b>
<b>RANGE (-10% to 25%)</b>				
		Low	-10.00%	\$2,659,418.10
		High	15.00%	\$3,693,636.25
Estimated Construction Observation Phase Costs		2.50%		\$58,200.00

**General Assumptions and Exclusions:**

1. The following items are not included in the scope of work:
  - a. Police Details
  - b. Dewatering
  - c. Major Cuts and Fills
  - d. Temporary Water
  - e. Disposal of or capping of any hazardous material or contaminated soil
2. Invasives Management costs have been excluded from this phase of the project.
3. The contingency is provided based upon conceptual level of detail provided, unforeseen conditions and variability in the bidding climate.
4. Quantities provided are based on estimates only.
5. Cost estimate based on unit prices. Unit prices provided are based upon typical 2025 construction costs and data. Unit prices are subject to change due to adjustments to material and labor costs, site conditions and inflation.

# Proof of Secured Funding

## Our Giving

November 25<sup>th</sup>, 2024

Patrick Herron  
Executive Director  
Mystic River Watershed Association, Inc.  
23 Maple Street  
Arlington, MA 02476

Dear Patrick,

Liberty Mutual Foundation is pleased to award Mystic River Watershed Association, Inc. a three-year Climate Resiliency grant in the full amount of \$300,000 to support Heat-Proofing Somerville and Charlestown Communities through Two Climate-Resilient Parks. Your 2024 Payment will be wired on or around November 27<sup>th</sup>, 2024. Please see below your organization's payment breakdown through your three-year grant cycle.

Payment Year	Amount	Status
2024	\$100,000	Scheduled payment for November 27 <sup>th</sup> , 2024
2025	\$100,000	Scheduled payment for 2025
2026	\$100,000	Scheduled payment for 2026

The grantseeker on the account will get an email when The Metrics Verification Report (MVR) is available. The MVR provides an opportunity to update "anticipated outcomes," or notify us of changes to your organization since the proposal was submitted. Your Metrics Verification Report (MVR) will be available December 9<sup>th</sup>, 2024, and due January 8<sup>th</sup>, 2025. Upon submitting the MVR to CyberGrants, you will also need to include a signed copy of this award letter to verify you have received payment. The Interim Impact Report will be available August 15<sup>th</sup>, 2025, and due September 30<sup>th</sup>, 2025. The grant seeker on the account will get notified when reports are available or if changes are made regarding the Impact Report.

As a Liberty Mutual grantee, you also receive free access to Learn.PYD.org, an online learning platform that offers courses and webinars focusing on disability inclusion best practices. To register, visit the site and sign up as a "General Member," using the coupon code InclusionWithLiberty at check-out.

Please note, any public recognition or use of any logo must be approved by our department. Please contact us at [Foundation@LibertyMutual.com](mailto:Foundation@LibertyMutual.com) with any questions.

We are proud to support you and thankful to be your partner in this important work. We wish you the best of luck and look forward to seeing and celebrating your achievements over the next year.

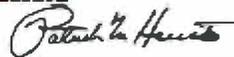
Sincerely,



Melissa MacDonnell  
President, Liberty Mutual Foundation

Grant Received: \_\_\_\_\_

Name



Nov. 27, 2024

Date

Because of IRS regulations requiring written confirmation of contributions for \$ 250.00 or more, please sign, date and return a copy of this award letter acknowledging your receipt of our grant. Please note that by signing this letter, you affirm that no goods or services were provided in consideration of this gift.



## COMMONWEALTH OF MASSACHUSETTS | STANDARD CONTRACT FORM



This form is jointly issued and published by the Office of the Comptroller, the Executive Office for Administration and Finance, and the Operational Services Division as the default contract for all Commonwealth Departments when another form is not prescribed by regulation or policy. The Commonwealth deems void any changes made on or by attachment (in the form of addendum, engagement letters, contract forms or invoice terms) to the terms in this published form or to the Standard Contract Form Instructions and Contractor Certifications, the Commonwealth Terms and Conditions, the Commonwealth Terms and Conditions for Human and Social Services, or the Commonwealth IT Terms and Conditions which are incorporated by reference herein. Additional non-conflicting terms may be added by Attachment. Contractors are required to access forms at [comptroller.oa/forms](http://comptroller.oa/forms) or [mass.gov/standard-forms](http://mass.gov/standard-forms).

CONTRACTOR INFORMATION			COMMONWEALTH INFORMATION		
Contractor Legal Name MYSTIC RIVER WATERSHED ASSOCIATION, INC. db/a			Department Dept of Conservation and Recreation MMARS Code DCR		
Legal Address As entered on Form W-9 or Form W-4 23 MAPLE STREET, ARLINGTON, MA 02476			Contract Manager Name Lisa DeFeo		Business Mailing Address 695 Hillside St, Milis, MA 02186
Contract Manager Name KARL ALEXANDER			Billing Address If Different		
Phone 617-865-6580	Email CONTACT@MYSTICRIVER.ORG	Fax	Phone 608-886-2580	Email lisa.defeo@ma.gov	Fax
Vendor Code VC 6000230194			MMARS Doc ID(a) 4CTDCR8900Blessingof		
Vendor Code Address ID AD 001 e.g. "AD001". Note: The Address ID must be set up for Electronic Funds Transfer (EFT) payments.			RFR/Procurement or Other ID Number <b>Leg exempt/eamark</b>		
( ) NEW CONTRACT			( ) CONTRACT AMENDMENT		
Procurement or Exception Type (Check one option only) <input type="checkbox"/> Statewide Contract (OSD or an OSD-designated department.) <input type="checkbox"/> Collective Purchase (Attach OSD approval, scope, and budget.) <input type="checkbox"/> Department Procurement - includes all Grants <u>815 CMR 2.00</u> (Attach Solicitation Notice or RFR, and Response or other procurement supporting documentation.) <input type="checkbox"/> Emergency Contract (Attach justification for emergency, scope, and budget.) <input type="checkbox"/> Contract Employee (Attach Employee Status Form, scope, and budget.) <input type="checkbox"/> Interim Contract with new Contractor (Attach justification for Interim Contract and updated scope/budget.) <input checked="" type="checkbox"/> Other Procurement Exception (Attach authorizing language, legislation with specific exemption or eamark, and exception justification, scope, and budget.)			Current Contract End Date Prior to Amendment Amendment Amount Or Enter "No Change"		
<input type="checkbox"/> Amendment Type (Check one option only. Attach details of amendment changes.) <input type="checkbox"/> Amendment to Date, Scope, or Budget (Attach updated scope and budget.) <input type="checkbox"/> Interim Contract with Current Contractor (Attach justification for Interim Contract and updated scope/budget.) <input type="checkbox"/> Contract Employee (Attach any updates to scope or budget.) <input type="checkbox"/> Other Procurement Exception (Attach authorizing language/justification and updated scope/budget.)					
TERMS AND CONDITIONS					
The Standard Contract Form Instructions and Contractor Certifications and the following document are incorporated by reference into this Contract and are legally binding (Check ONE option): <input checked="" type="checkbox"/> Commonwealth Terms and Conditions <input type="checkbox"/> Commonwealth Terms and Conditions for Human and Social Services <input type="checkbox"/> Commonwealth IT Terms and Conditions					
COMPENSATION (Check ONE option.) The Department certifies that payments for authorized performance accepted in accordance with the terms of this Contract will be supported in the state accounting system by sufficient appropriations or other non-appropriated funds, subject to intercept for Commonwealth owed debts under <u>815 CMR 9.00</u> . <input type="checkbox"/> Rate Contract (No Maximum Obligation). (Attach details of all rates, units, calculations, conditions or terms and any changes if rates or terms are being amended.) <input type="checkbox"/> Maximum Obligation Contract. Total maximum obligation for total duration of this contract (or new total if contract is being amended): \$75,000					
PROMPT PAYMENT DISCOUNTS (PPD)					
Commonwealth payments are issued through Electronic Funds Transfer (EFT) 45 days from invoice receipt. See <u>Prompt Pay Discounts Policy</u> . Contractors requesting accelerated payments must identify a PPD as follows: Payment issued within: 10 days % PPD, 15 days % PPD, 20 days % PPD, 30 days % PPD. If PPD percentages are left blank, identify reason: <input type="checkbox"/> Statutory/legal <input type="checkbox"/> Ready Payments (M.G.L. c. 29 § 23A) <input type="checkbox"/> Agree to standard 45-day cycle <input type="checkbox"/> Only initial payment					
BRIEF DESCRIPTION OF CONTRACT PERFORMANCE OR REASON FOR AMENDMENT					
Enter the Contract title, purpose, fiscal year(s) and a detailed description of the scope of performance or what is being amended for a Contract Amendment. Attach all supporting documentation and justifications. provided further, that not less than \$75,000 shall be expended for a multi-use trail in Blessing of the Bay park in the city of Somerville to connect to a larger trail network.					
SUPPLIER DIVERSITY PROGRAM (SDP PLAN)					
Does the Supplier Diversity Program apply? <input type="radio"/> YES    If YES, the Contractor's annual SDP commitment for this Contract is <input type="radio"/> NO    If NO, and the department is an Executive Department, enter the appropriate exemption:					
ANTICIPATED START DATE (Complete ONE option only.)					
The Department and Contractor certify for this Contract, or Contract Amendment, that Contract obligations: <input checked="" type="radio"/> 1. may be incurred as of the Effective Date (latest signature date below) and no obligations have been incurred prior to the Effective Date. <input type="radio"/> 2. may be incurred as of _____, 20____, a date LATER than the Effective Date below and no obligations have been incurred prior to the Effective Date. <input type="radio"/> 3. were incurred as of _____, 20____, a date PRIOR to the Effective Date below, and the parties agree that payments for any obligations incurred prior to the Effective Date are authorized to be made either as settlement payments or as authorized reimbursement payments, and that the details and circumstances of all obligations under this Contract are attached and incorporated into this Contract. Acceptance of payments forever releases the Commonwealth from further claims related to these obligations.					
CONTRACT END DATE					
Contract performance shall terminate as of June 30, 2025, with no new obligations being incurred after this date unless the Contract is properly amended, provided that the terms of this Contract and performance expectations and obligations shall survive its termination for the purpose of resolving any claim or dispute, for completing any negotiated terms and warranties, to allow any close out or transition performance, reporting, invoicing or final payments, or during any lapse between amendments.					
CERTIFICATIONS					
Notwithstanding verbal or other representations by the parties, the "Effective Date" of this Contract or Amendment shall be the latest date that this Contract or Amendment has been executed by an authorized signatory of the Contractor, the Department, or a later Contract or Amendment Start Date specified above, subject to any required approvals. The Contractor certifies that they have accessed and reviewed all documents incorporated by reference as electronically published and the Contractor makes all certifications required under the Standard Contract Form Instructions and Contractor Certifications under the pains and penalties of perjury, and further agrees to provide any required documentation upon request to support compliance, and agrees that all terms governing performance of this Contract and doing business in Massachusetts are attached or incorporated by reference herein according to the following hierarchy of document precedence, the applicable Commonwealth Terms and Conditions, this Standard Contract Form, the Standard Contract Form Instructions and Contractor Certifications, the Request for Response (RFR) or other solicitation, the Contractor's Response (excluding any language stricken by a Department as unacceptable, and additional negotiated terms, provided that additional negotiated terms will take precedence over the relevant terms in the RFR and the Contractor's Response only if made using the process outlined in <u>801 CMR 21.07</u> , incorporated herein, provided that any amended RFR or Response terms result in best value, lower costs, or a more cost effective Contract.					
AUTHORIZING SIGNATURE FOR THE CONTRACTOR Signature and date must be captured at time of signature.			AUTHORIZING SIGNATURE FOR THE COMMONWEALTH Signature and date must be captured at time of signature.		
Signature <i>Patrick H Herron</i>		Date 2/12/2025	Signature		Date
Print Name PATRICK HERRON		Print Title EXECUTIVE DIRECTOR	Print Name		Print Title



**Notice To Proceed**

Jon Bronenkant  
City of Somerville  
93 Highland Avenue  
Somerville, MA  
02143

**RE: Blessing of the Bay Path Award**  
**Contract No.: P24-3576-G19A**

Dear Jon Bronenkant,

The following is provided as formal authorization to proceed with your MassTrails Program grant as described in your proposal for the **Blessing of the Bay Path** project. The authorization is effective as of the date signed below and the reimbursable portion of the project is not to exceed the total grant amount of **\$500,000.00**. All work is expected to be completed by **December 31, 2026**.

Department oversight will be provided by **Amanda Lewis**, MassTrails Director. All official project correspondence, reimbursements, and other documentation and tracking forms must be submitted to the MassTrails administrative team at [amanda.lewis@mass.gov](mailto:amanda.lewis@mass.gov), [elijah.velluti-fry@mass.gov](mailto:elijah.velluti-fry@mass.gov), and [cynthia.nelson@mass.gov](mailto:cynthia.nelson@mass.gov), unless otherwise specified.

Sincerely,

*Patrice Kish*

Patrice Kish  
Chief, Design and Engineering

10/23/2024

Authorization Date

cc: Robert Boncore, Director, Contract Administration & Procurement  
Amanda Lewis, Director, MassTrails Program  
Elijah Velluti-Fry, Grants Program Manager, MassTrails Program  
Cynthia Nelson, Planner, MassTrails Program



# COMMONWEALTH OF MASSACHUSETTS ~ STANDARD CONTRACT FORM



This form is jointly issued and published by the Office of the Comptroller (CTR), the Executive Office for Administration and Finance (ANF), and the Operational Services Division (OSD) as the default contract for all Commonwealth Departments when another form is not prescribed by regulation or policy. The Commonwealth deems void any changes made on or by attachment (in the form of addendum, engagement letters, contract forms or invoice terms) to the terms in this published form or to the Standard Contract Form Instructions and Contractor Certifications, the Commonwealth Terms and Conditions for Human and Social Services or the Commonwealth IT Terms and Conditions which are incorporated by reference herein. Additional non-conflicting terms may be added by Attachment. Contractors are required to access published forms at CTR Forms: <https://www.macomptroller.org/forms>. Forms are also posted at OSD Forms: <https://www.mass.gov/lists/osd-forms>.

<b>CONTRACTOR LEGAL NAME:</b> (and d/b/a): City of Somerville		<b>COMMONWEALTH DEPARTMENT NAME:</b> DEPT. OF CONSERVATION AND RECREATION MMARS Department Code: DCR	
Legal Address: (W-9, W-4): 93 Highland Ave, Somerville, MA 02143		Business Mailing Address: 136 DAMON ROAD, NORTHAMPTON, MA 01060	
Contract Manager: Jon Bronenkant	Phone: (617) 625-6600 x2553	Billing Address (if different):	
E-Mail: jbronenkant@somervillema.gov	Fax:	Contract Manager: AMANDA LEWIS	Phone: 617-645-8314
Contractor Vendor Code: VC6000192138		E-Mail: AMANDA.LEWIS@MASS.GOV	Fax:
Vendor Code Address ID (e.g. "AD001"): AD 001 (Note: The Address ID must be set up for EFT payments.)		MMARS Doc ID(s): 5CTDCR8400P243576G19	
<input checked="" type="checkbox"/> <b>NEW CONTRACT</b>		<input type="checkbox"/> <b>CONTRACT AMENDMENT</b>	
PROCUREMENT OR EXCEPTION TYPE: (Check one option only) <input type="checkbox"/> Statewide Contract (OSD or an OSD-designated Department) <input type="checkbox"/> Collective Purchase (Attach OSD approval, scope, budget) <input type="checkbox"/> Department Procurement (includes all Grants - 815 CMR 2.00) (Solicitation Notice or RFR, and Response or other procurement supporting documentation) <input type="checkbox"/> Emergency Contract (Attach justification for emergency, scope, budget) <input type="checkbox"/> Contract Employee (Attach Employment Status Form, scope, budget) <input checked="" type="checkbox"/> Other Procurement Exception (Attach authorizing language, legislation with specific exemption or earmark, and exception justification, scope and budget)		Enter Current Contract End Date <u>Prior</u> to Amendment: ____, 20__. Enter Amendment Amount: \$ _____. (or "no change") AMENDMENT TYPE: (Check one option only. Attach details of amendment changes.) <input type="checkbox"/> Amendment to Date, Scope or Budget (Attach updated scope and budget) <input type="checkbox"/> Interim Contract (Attach justification for Interim Contract and updated scope/budget) <input type="checkbox"/> Contract Employee (Attach any updates to scope or budget) <input type="checkbox"/> Other Procurement Exception (Attach authorizing language/justification and updated scope and budget)	
The Standard Contract Form Instructions and Contractor Certifications and the following Commonwealth Terms and Conditions document are incorporated by reference into this Contract and are legally binding: (Check ONE option): <input checked="" type="checkbox"/> Commonwealth Terms and Conditions <input type="checkbox"/> Commonwealth Terms and Conditions For Human and Social Services <input type="checkbox"/> Commonwealth IT Terms and Conditions			
COMPENSATION: (Check ONE option): The Department certifies that payments for authorized performance accepted in accordance with the terms of this Contract will be supported in the state accounting system by sufficient appropriations or other non-appropriated funds, subject to intercept for Commonwealth owed debts under 815 CMR 9.00. <input type="checkbox"/> Rate Contract. (No Maximum Obligation) Attach details of all rates, units, calculations, conditions or terms and any changes if rates or terms are being amended.) <input checked="" type="checkbox"/> Maximum Obligation Contract. Enter total maximum obligation for total duration of this contract (or <i>new</i> total if Contract is being amended). \$ 500,000.00			
PROMPT PAYMENT DISCOUNTS (PPD): Commonwealth payments are issued through EFT 45 days from invoice receipt. Contractors requesting accelerated payments must identify a PPD as follows: Payment issued within 10 days ___% PPD; Payment issued within 15 days ___% PPD; Payment issued within 20 days ___% PPD; Payment issued within 30 days ___% PPD. If PPD percentages are left blank, identify reason: <input checked="" type="checkbox"/> agree to standard 45 day cycle <input type="checkbox"/> statutory/legal or Ready Payments (M.G.L. c. 29, § 23A); <input type="checkbox"/> only initial payment (subsequent payments scheduled to support standard EFT 45 day payment cycle. See Prompt Pay Discounts Policy.)			
BRIEF DESCRIPTION OF CONTRACT PERFORMANCE OR REASON FOR AMENDMENT: (Enter the Contract title, purpose, fiscal year(s) and a detailed description of the scope of performance or what is being amended for a Contract Amendment. Attach all supporting documentation and justifications.)			
MASSTRAILS PROGRAM GRANT: P24-3576-G19A Blessing of the Bay Path			
ANTICIPATED START DATE: (Complete ONE option only) The Department and Contractor certify for this Contract, or Contract Amendment, that Contract obligations: <input checked="" type="checkbox"/> 1. may be incurred as of the Effective Date (latest signature date below) and <u>no</u> obligations have been incurred <u>prior</u> to the Effective Date. <input type="checkbox"/> 2. may be incurred as of ____, 20__, a date LATER than the Effective Date below and <u>no</u> obligations have been incurred <u>prior</u> to the Effective Date. <input type="checkbox"/> 3. were incurred as of ____, 20__, a date PRIOR to the Effective Date below, and the parties agree that payments for any obligations incurred prior to the Effective Date are authorized to be made either as settlement payments or as authorized reimbursement payments, and that the details and circumstances of all obligations under this Contract are attached and incorporated into this Contract. Acceptance of payments forever releases the Commonwealth from further claims related to these obligations.			
CONTRACT END DATE: Contract performance shall terminate as of <u>DECEMBER 31, 2026</u> , with no new obligations being incurred after this date unless the Contract is properly amended, provided that the terms of this Contract and performance expectations and obligations shall survive its termination for the purpose of resolving any claim or dispute, for completing any negotiated terms and warranties, to allow any close out or transition performance, reporting, invoicing or final payments, or during any lapse between amendments.			
CERTIFICATIONS: Notwithstanding verbal or other representations by the parties, the "Effective Date" of this Contract or Amendment shall be the latest date that this Contract or Amendment has been executed by an authorized signatory of the Contractor, the Department, or a later Contract or Amendment Start Date specified above, subject to any required approvals. The Contractor certifies that they have accessed and reviewed all documents incorporated by reference as electronically published and the Contractor makes all certifications required under the Standard Contract Form Instructions and Contractor Certifications under the pains and penalties of perjury, and further agrees to provide any required documentation upon request to support compliance, and agrees that all terms governing performance of this Contract and doing business in Massachusetts are attached or incorporated by reference herein according to the following hierarchy of document precedence, the applicable Commonwealth Terms and Conditions, this Standard Contract Form, the Standard Contract Form Instructions and Contractor Certifications, the Request for Response (RFR) or other solicitation, the Contractor's Response (excluding any language stricken by a Department as unacceptable, and additional negotiated terms, provided that additional negotiated terms will take precedence over the relevant terms in the RFR and the Contractor's Response only if made using the process outlined in 801 CMR 21.07, incorporated herein, provided that any amended RFR or Response terms result in best value, lower costs, or a more cost effective Contract.			
AUTHORIZING SIGNATURE FOR THE CONTRACTOR:  Date: <u>10/10/2024</u> (Signature and Date Must Be Captured At Time of Signature)		AUTHORIZING SIGNATURE FOR THE COMMONWEALTH:  Date: <u>10/23/24</u> (Signature and Date Must Be Captured At Time of Signature)	
Print Name: <u>Katjana Ballantyne</u> Print Title: <u>Mayor</u>		Print Name: <u>John McMillen</u> Print Title: <u>Chief Financial Officer</u>	

\_\_\_\_\_  
 David P. Shapiro  
 Deputy City Solicitor

## Meg Koglin

---

**From:**.mvp (EEA) <mvp@mass.gov>  
**Sent:** Thursday, September 11, 2025 10:01 AM  
**To:** Meg Koglin  
**Cc:** Runsten, Kara (EEA); Luisa Oliveira; Alan Inacio; Norkiewicz, Carolyn M (EEA); Robertson, Marissa (EEA)  
**Subject:** RE: Somerville MVP Action Grant  
**Attachments:** FY26\_MVP Action Grant\_Contract\_Att A\_Att B\_Somerville.pdf; CASL Form.pdf; How to complete your CASL form (06-2025).pdf

Hi Meg,

Thank you for finalizing your scope. The document titled “FY26\_MVP Action Grant\_Contract\_Att A\_Att B\_Somerville” is your contract and will need to be signed (e-signature is fine) by the authorizing signatory. The document titled “CASL Form” will also need to be completed. Both documents should be emailed back to us (note: we do not require them returned by mail at this time, please retain the original signed copy in your records).

These documents should be emailed back by **Friday, September 26<sup>th</sup>, 2025**. The contract must then be signed by EEA and will be returned to you, signaling the start of the contract period. You must receive a countersigned contract back from us before commencing with the project.

More information about reimbursements and other important information will be sent in a “next steps” email soon.

Please let your designated MVP Regional Coordinator (cc’d) know if you have any questions. Your RC is also standing by to attend the kickoff meeting as the project gets underway.

Best,  
The MVP Team

**Marissa Robertson, Deputy Director (she/her)**  
**[Municipal Vulnerability Preparedness Program](#)**  
Email: [Marissa.robertson2@mass.gov](mailto:Marissa.robertson2@mass.gov) | Phone: (617) 352-0186

---

**From:** Meg Koglin <mkoglin@somervillema.gov>  
**Sent:** Friday, September 5, 2025 1:08 PM  
**To:**.mvp (EEA) <mvp@mass.gov>; Norkiewicz, Carolyn M (EEA) <Carolyn.M.Norkiewicz@mass.gov>  
**Cc:** Robertson, Marissa (EEA) <Marissa.Robertson2@mass.gov>; Runsten, Kara (EEA) <Kara.Runsten@mass.gov>; Luisa Oliveira <loliveira@somervillema.gov>; Alan Inacio <ainacio@somervillema.gov>  
**Subject:** RE: Somerville MVP Action Grant

**CAUTION:** This email originated from a sender outside of the Commonwealth of Massachusetts mail system. Do not click on links or open attachments unless you recognize the sender and know the content is safe.

Dear Carolyn, Marissa, and Kara,

I have attached the scope revisions and look forward to next steps.

Thank you!  
Meg

---

**From:** Meg Koglin  
**Sent:** Wednesday, August 20, 2025 2:02 PM  
**To:**.mvp (EEA) <[mvp@mass.gov](mailto:mvp@mass.gov)>; Norkiewicz, Carolyn M (EEA) <[Carolyn.M.Norkiewicz@mass.gov](mailto:Carolyn.M.Norkiewicz@mass.gov)>  
**Cc:** Robertson, Marissa (EEA) <[Marissa.Robertson2@mass.gov](mailto:Marissa.Robertson2@mass.gov)>; Runsten, Kara (EEA) <[Kara.Runsten@mass.gov](mailto:Kara.Runsten@mass.gov)>; Luisa Oliveira <[loliveira@somervillema.gov](mailto:loliveira@somervillema.gov)>; Thomas Galligani <[tgalligani@somervillema.gov](mailto:tgalligani@somervillema.gov)>  
**Subject:** RE: Somerville MVP Action Grant

Subject: Award Confirmation

Dear Carolyn, Marissa, Kara, and Team,

We are truly honored to receive this generous award! I want to confirm that we will not share this news publicly until we receive approval from the EEA.

Carolyn, we will reach out to you in the next couple of weeks if we have any questions as we work through the requested changes in scope and the associated action items.

With gratitude and excitement,  
Meg

---

**From:**.mvp (EEA) <[mvp@mass.gov](mailto:mvp@mass.gov)>  
**Sent:** Monday, August 18, 2025 1:42 PM  
**To:** Meg Koglin <[mkoglin@somervillema.gov](mailto:mkoglin@somervillema.gov)>  
**Cc:** Norkiewicz, Carolyn M (EEA) <[Carolyn.M.Norkiewicz@mass.gov](mailto:Carolyn.M.Norkiewicz@mass.gov)>; Robertson, Marissa (EEA) <[Marissa.Robertson2@mass.gov](mailto:Marissa.Robertson2@mass.gov)>; Runsten, Kara (EEA) <[Kara.Runsten@mass.gov](mailto:Kara.Runsten@mass.gov)>  
**Subject:** Somerville MVP Action Grant

Dear Meg,

Congratulations! We are pleased to notify you that the City of Somerville has been approved for a Municipal Vulnerability Preparedness (MVP) program Action Grant award in the amount of \$1,367,300 (FY26: \$243,100; FY27: \$1,124,200) for the project titled "Blessing of the Bay Urban Heat Resilience." This funding is contingent on some scope revisions outlined below. We want to thank you for your continued commitment to ensuring that your community is adapting and building resilience as the climate changes.

-  
**We would kindly ask that you embargo this great news from any media outlets until the Commonwealth has the opportunity to make a formal announcement in the coming weeks.**

-  
To move forward, we will need to confirm your scope. Please work from the attached scope which we may have already made a few updates to. Here are notes and action items:

Action Items for Attachment B:

- Required match for this project is 10%. Match may be reduced if desired. **Please confirm.**

Noted Changes to Attachment B:

- MVP is unable to fund contingency this round. We have eliminated contingency from all awarded construction projects.
- The start date for subtask 7.1 has been adjusted to fit within FY27.
- Construction meeting notes and photos have been added as deliverables for construction tasks in FY26, and photos have been added as a deliverable for construction tasks in FY27. Please reach out to your regional coordinator if you have concerns about these additions.

**Scope revisions are due to those cc'd on this email by September 5, 2025.**

This scope document (alternatively known as Attachment B) is directly related to project reimbursement. The MVP Program reviews Attachment B to assess completion of deliverables and verify reimbursement requests, so it is important to make sure it is accurate now. Scope changes typically have to go through a lengthy contract amendment process once the contract is signed and may not end up being approved.

Because you will have funds in both FY26 and FY27 we will require at least 2 reimbursement packages from you—one requesting FY26 funds for work completed between the date EEA signs the contract and June 30, 2026 and one requesting the remainder at the end of FY27 for work completed between July 1, 2026 and June 30, 2027. You must stick to the fiscal year breakdown in your scope (once we approve it). If you do not spend the amount allocated for FY26 as outlined in Attachment B before June 30, 2026 those funds do not roll over and will be forfeited unless a contract amendment moving the funding has been finalized.

Once we receive the revised scope and approve it, we will work to send over the contract to sign as quickly as possible. You must receive a countersigned contract back from us before commencing with the project.

Please let your designated MVP Regional Coordinator (cc'd) know if you have any questions. We are looking forward to working with you.

Best,  
The MVP Team



**Emily Murad, MVP Fellow** (she/her)  
**Municipal Vulnerability Preparedness Program**  
MA Executive Office of Energy and Environmental Affairs  
100 Cambridge Street, Suite 900, Boston MA 02114  
Email: [emily.murad@mass.gov](mailto:emily.murad@mass.gov)

**City of Somerville Public  
Records Notice**

*Please be advised that the  
Massachusetts Attorney General has determined that email is a public record unless the content of the email  
falls within one of the stated exemptions under the Massachusetts Public Records Laws.*

# Property Map

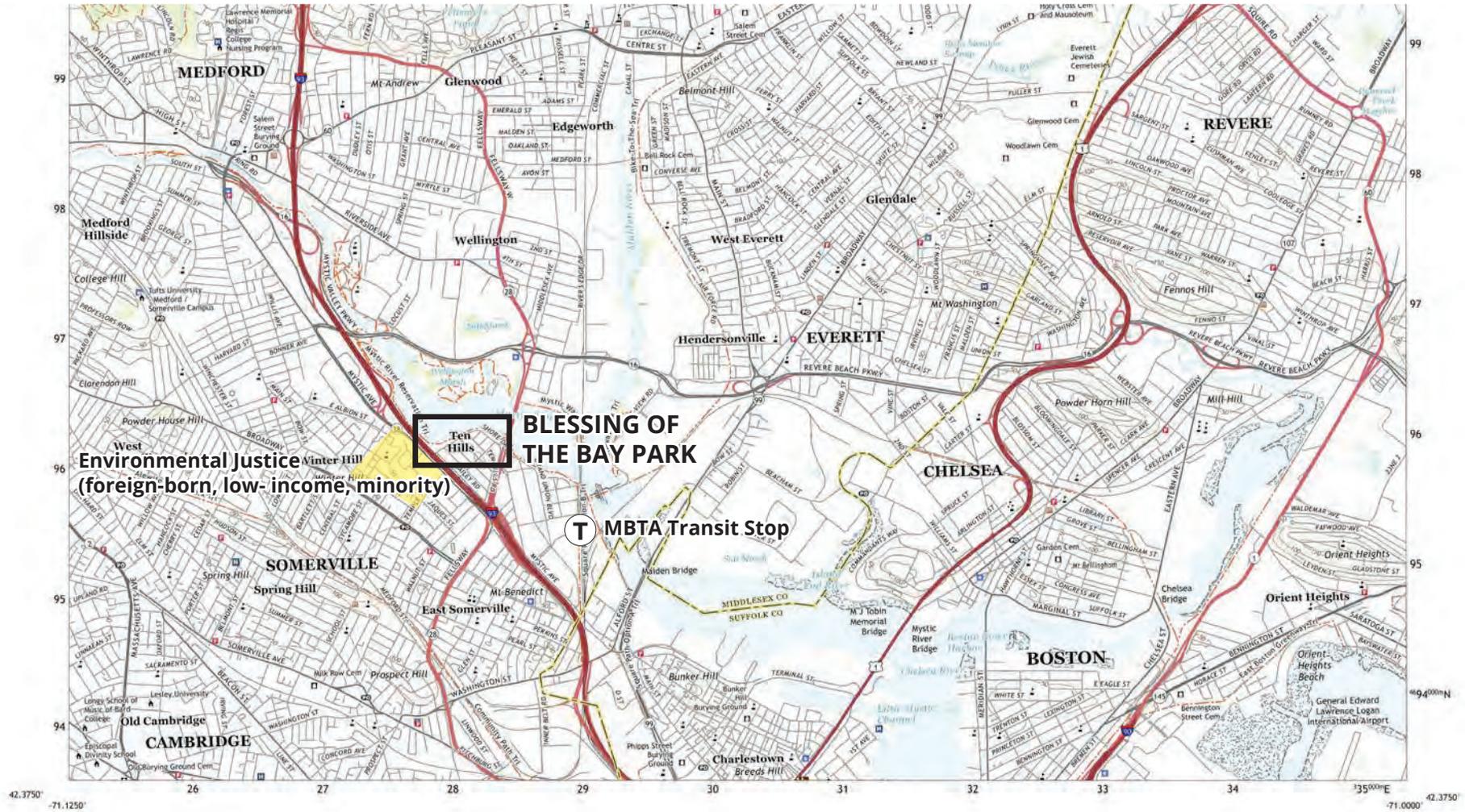
## LOCUS MAP - Blessing of the Bay Linear Park Improvement



U.S. DEPARTMENT OF THE INTERIOR  
U.S. GEOLOGICAL SURVEY

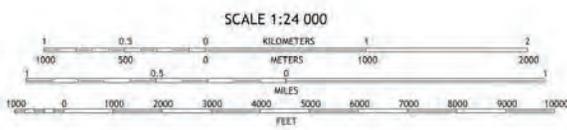
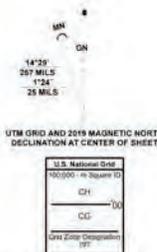


BOSTON NORTH QUADRANGLE  
MASSACHUSETTS  
7.5-MINUTE SERIES



**Produced by the United States Geological Survey**

North American Datum of 1983 (NAD83)  
World Geodetic System of 1984 (WGS84). Projection and  
1,000-meter grid: Universal Transverse Mercator, Zone 18T  
This map is not a legal document. Boundaries within government  
reservations may not be shown. Obtain permission before  
entering private lands.  
Imagery:.....NIPR, July 2016 - September 2016  
Roads:.....U.S. Census Bureau, 2016  
Name:.....GNS, 1976 - 2016  
Hydrography:.....National Hydrography Dataset, 2005 - 2016  
Contours:.....National Elevation Dataset, 2008 - 2012  
Boundaries:.....Multiple sources; see metadata file 2016 - 2017  
Wetlands:.....FWS National Wetlands Inventory, 1991 - 2011



1	2	3
4	5	6
7	8	

1 Wilmington  
2 Reading  
3 Salem  
4 Lexington  
5 Lynn  
6 Newton  
7 Boston South  
8 Hull

BOSTON NORTH, MA  
2021

**EXISTING CONDITIONS** Blessing of the Bay Linear Park Improvement



Existing Sidewalk, river to right



Location for seating area and meadow with views to Mystic River



Path are adjacent to area for seating/views to river

# Letters of Support



**Senator PATRICIA D. JEHLLEN**  
*2<sup>ND</sup> MIDDLESEX DISTRICT*  
MEDFORD, SOMERVILLE, CAMBRIDGE AND  
WINCHESTER

----  
STATE HOUSE ROOM 424  
BOSTON, MA 02133-1053  
TEL: (617) 722-1578  
FAX: (617) 722-1117

[PATRICIA.JEHLLEN@MASENATE.GOV](mailto:PATRICIA.JEHLLEN@MASENATE.GOV)  
[WWW.MASENATE.GOV](http://WWW.MASENATE.GOV)

## The Commonwealth of Massachusetts MASSACHUSETTS SENATE

*CHAIR*  
JOINT COMMITTEE ON AGING AND  
INDEPENDENCE

*VICE CHAIR*  
JOINT COMMITTEE ON EDUCATION  
AND  
JOINT COMMITTEE ON REVENUE

LABOR AND WORKFORCE DEVELOPMENT  
CANNABIS POLICY  
JUDICIARY

September 2, 2025

Ms. Roberta Cameron, AICP  
*Community Preservation Act Manager*  
Mayor's Office of Strategic Planning and Community Development  
City of Somerville  
[rcameron@somervillema.gov](mailto:rcameron@somervillema.gov) • 617-625-6600 x2528

### **RE: Support for Blessing of the Bay Linear Park Improvement**

Dear Ms. Cameron,

I am writing to express my strong support for funding the construction of linear park improvements at Blessing of the Bay Park in Somerville. The proposed project seeks to reconnect the community to the Mystic River, improve climate resilience outcomes, and ensure safer access to transit and job opportunities for residents of Greater Boston.

Serving as State Senator where Blessing of the Bay Park is located, I continue to advocate for and promote projects advancing equity and justice in our neighborhoods. Since 2017, I have supported comprehensive, community-driven planning and design for a revitalized Blessing of the Bay Park, working with constituents to optimize the project's impact on local residents in the Ten Hills, Mystic Housing and Winter Hill areas, as well as the larger region.

The construction of ADA-accessible improvements at Blessing of the Bay Park aligns with our community's values and will close a last remaining gap in multi-use pathways along the Mystic River shoreline in Somerville. This project will connect our community, particularly low-income residents living in Mystic Housing, to waterfront parks, and will provide off-street connectivity for people walking, biking, and rolling to the Orange Line MBTA stop. I have worked closely with stakeholders and residents on this project for a number of years, given its potential to

address accessibility, transportation and climate justice for residents. I appreciate your consideration of funding this project.

Regards,

A handwritten signature in blue ink, appearing to read "Pat Jehlen". The signature is fluid and cursive, with a long horizontal stroke at the end.

Senator Pat Jehlen  
Second Middlesex District



THE GENERAL COURT OF MASSACHUSETTS  
STATE HOUSE, BOSTON 02133-1053

August 27, 2025

Ms. Roberta Cameron, AICP  
*Community Preservation Act Manager*  
Mayor's Office of Strategic Planning and Community Development  
City of Somerville  
[rcameron@somervillema.gov](mailto:rcameron@somervillema.gov) • 617-625-6600 x2528

Re: Support for Blessing of the Bay Linear Park Improvement

Dear Ms. Cameron,

I am writing to express my strong support for funding the construction of linear park improvements at Blessing of the Bay Park in Somerville. The proposed project seeks to reconnect the community to the Mystic River, improve climate resilience outcomes, and ensure safer access to transit and job opportunities for residents of Greater Boston.

As State Representative for the 34<sup>th</sup> Middlesex District, where Blessing of the Bay Park is located, I continue to advocate for and promote projects advancing equity and justice in our neighborhoods. Since 2017, I have supported comprehensive, community-driven planning and design for a revitalized Blessing of the Bay Park, working with constituents to optimize the project's impact on local residents in the Ten Hills, Mystic Housing and Winter Hill areas, as well as the larger region. Somerville CPA's prior support for the project have helped the project team to secure approximately \$1.9 million in funding from state and private sources, and further support would help to ensure the project's completion.

The construction of ADA-accessible improvements at Blessing of the Bay Park aligns with our community's values and will close a last remaining gap in multi-use pathways along the Mystic River shoreline in Somerville. This project will connect our community, particularly low-income residents living in Mystic Housing, to waterfront parks, and will provide off-street connectivity for people walking, biking, and rolling to the Orange Line MBTA stop. I have worked closely with stakeholders and residents on this project for a number of years, given its potential to address accessibility, transportation and climate justice for residents. I appreciate your consideration of funding this project.

Regards,

A handwritten signature in cursive script, appearing to read "CB".

Christine Barber  
State Representative  
34<sup>th</sup> Middlesex District



SMART GROWTH AND REGIONAL COLLABORATION

August 29, 2025

Ms. Roberta Cameron, AICP  
*Community Preservation Act Manager*  
Mayor's Office of Strategic Planning and Community Development  
City of Somerville  
[rcameron@somervillema.gov](mailto:rcameron@somervillema.gov) · 617-625-6600 x2528

Re: Support for Blessing of the Bay Linear Park Improvement

Dear Ms. Cameron,

The Metropolitan Area Planning Council (MAPC) is pleased to formally express our support for the construction of linear park improvements at Blessing of the Bay Park in Somerville. The project seeks to reconnect the community to the Mystic River, improve climate resilience outcomes, and safely connect residents to transit and job opportunities throughout Greater Boston.

The project is included as a critical link in MAPC's Landline vision for a connected greenways and trails network throughout the Greater Boston region. It will also advance our work in coordinating regional approaches to climate equity, adaptation and resiliency. Somerville CPA's prior support for the project have helped the project team to secure approximately \$1.9 million in funding from state and private sources, and further support would help to ensure the project's completion.

The construction of linear park improvements at Blessing of the Bay Park aligns with our organizational priorities and will close the last remaining gap in multi-use pathways along the Mystic River shoreline in Somerville. It will connect the community, especially low-income residents living in the Mystic Housing complex, to waterfront parks on our region's hottest days, and will provide fully off- street connectivity for people walking, biking and rolling to the Orange MBTA subway line and jobs in Boston. We have worked intimately with the City of Somerville to address matters of transportation and climate justice for the region, and are excited to be active participants in this project as it progresses.

Sincerely,

A handwritten signature in black ink, appearing to read "David Loutzenheiser". The signature is fluid and cursive, written in a professional style.

David Loutzenheiser  
Senior Transportation Planner

August 29, 2025



Ms. Roberta Cameron, AICP  
*Community Preservation Act Manager*  
Mayor's Office of Strategic Planning and Community Development  
City of Somerville  
[rcameron@somervillema.gov](mailto:rcameron@somervillema.gov) · 617-625-6600 x2528

Re: Support for Blessing of the Bay Linear Park Improvement

Dear Ms. Cameron,

I'm writing to you on behalf of the Mystic River Watershed Association (MyRWA), whose mission is to protect and restore the Mystic River and its tributaries. Our vision is a healthy, vibrant, and resilient Mystic River Watershed for the benefit of all our community members. MyRWA has worked with thousands of residents in Somerville to protect water quality, restore important habitats, build climate resilience, transform parks and paths, inspire youth and grow community.

MyRWA strongly supports the City of Somerville's application for the construction of linear park improvements at Blessing of the Bay Park in Somerville. The project is included in the Masstrails Priority Network Vision and is the last remaining gap of the Mystic Greenways located in the City of Somerville. It seeks to reconnect the community to the Mystic River, improve climate resilience outcomes, and safely connect residents to transit and job opportunities throughout Greater Boston. Somerville CPA's prior support for the project have helped the project team to secure \$1.9 million in funds from state & private sources, and further support would ensure the project's completion.

Since 2017, we have supported comprehensive, community-driven planning and design for a revitalized Blessing of the Bay Park, working with community members to optimize the project's impact on local residents in the Ten Hills, Mystic Housing and Winter Hill areas, as well as the larger region. It will connect the community, particularly low-income residents living in Mystic Housing, to waterfront parks, and will provide off-street connectivity for people walking, biking, and rolling to the Orange Line MBTA stop.

We have worked closely with stakeholders and community members on this project for a number of years, given its potential to address accessibility, transportation and climate justice for residents. Our appreciation for your consideration of funding this project cannot be overstated.

Sincerely,

A handwritten signature in black ink that reads "Patrick Herron". The signature is written in a cursive, flowing style.

Patrick Herron  
Executive Director  
Mystic River Watershed Association

**SOMERVILLE**  
**TRANSPORTATION EQUITY**  
**PARTNERSHIP**

September 5, 2025

Ms. Roberta Cameron, AICP  
*Community Preservation Act Manager*  
Mayor's Office of Strategic Planning and Community Development  
City of Somerville  
rcameron@somervillema.gov • 617-625-6600 x2528

Re: Support for Blessing of the Bay Linear Park Improvement

Dear Ms. Cameron,

We in Somerville Transportation Equity Partnership (STEP) are pleased to formally express our support for the construction of linear park improvements at Blessing of the Bay Park in Somerville. The project seeks to reconnect the community to the Mystic River, improve climate resilience outcomes, and ensure safer access to transit and job opportunities for residents of Greater Boston.

STEP is a community group dedicated to addressing matters of transportation justice in Somerville. Having advocated decades for the Green Line Extension, the Assembly Square MBTA station, the Community Path Extension, and issues pertaining to public health such as safety improvements to Mystic Ave. and the installation of sound barriers on I-93, we are intimately concerned with projects of critical nature that will level the playing field for our community's low-income and BIPOC residents. Somerville CPA's prior support for the project helped the project team to secure approximately \$1.9 million in funding from state and private sources, and further support would help to ensure the project's completion.

The construction of an ADA-accessible improvements at Blessing of the Bay Park aligns with our community's values and will close a last remaining gap in multi-use pathways along the Mystic River shoreline in Somerville. This project will connect our community, particularly low-income residents living in Mystic Housing, to waterfront parks, and will provide off-street connectivity for people walking, biking, and rolling to the Orange Line MBTA stop. We have been a stakeholder of this project for years, given its potential to address matters of transportation and climate justice for residents, and are excited to be active participants in this project as it comes to fruition.

Sincerely,



Karen Molloy  
On behalf of Somerville Transportation Equity Partnership (STEP)

Community Meeting

# Blessing of the Bay Greenway Project Update

October 3, 2024

1. INTRODUCTION

2. REGIONAL / LOCAL STUDIES

3. SITE HISTORY / CONTEXT

4. WORK TO DATE

5. GREENWAY PROJECT

6. DISCUSSION

photo by Julian Tryba



City of  
Somerville

**Mystic River**  
WATERSHED ASSOCIATION

# BLESSING OF THE BAY COMMUNITY

CITY OF SOMERVILLE



MyRWA

**Mystic River**  
WATERSHED ASSOCIATION

DESIGN TEAM -  
PRIME CONSULTANT

Landscape  
Architecture:  
**offshoots**  
PRODUCTIVE LANDSCAPES

DESIGN TEAM - SUB CONSULTANTS

Civil/Stormwater:

Horsley Witten Group  
*Sustainable Environmental Solutions*



Traffic Engineer:

**ENVIRONMENTAL**  
**PARTNERS**



# 1. INTRODUCTION

## Project Funding



Somerville CPA



Commonwealth of  
Massachusetts



The Lawrence &  
Lillian Solomon  
Foundation

The Lawrence & Lillian Solomon  
Foundation

# 1. INTRODUCTION

## Context



COLUMBUS PARK  
COLUMBUS ELEMENTARY

TRUM FIELD

HEALEY SCHOOL

MYSTIC APTS

M.L.C.

BLESSING OF  
THE BAY PARK

GRIMM'S  
PLAYGROUND

FOSS PARK

BAXTER PARK

DRAW SEVEN PARK

## 1. INTRODUCTION

**MyRWA wishes to honor and acknowledge the indigenous communities native to this region and its past, present, and future. The watershed is on the colonized lands of the Massachusett, Nipmuc, and Pawtucket tribes.**

---

**As you explore the watershed, we encourage you to learn with us about its past and current indigenous heritage.**

# 1. INTRODUCTION

## Project Scope:

+ Shore Drive - Within Right of Way

+ Primary Focus:

Greenway

Invasive Species Management

River Access

+ Secondary Focus:

Green Infrastructure

Street Trees

Pollinator Habitat

**Greenway/Shore Drive Project Area**

**Invasive Species Management Project Area**



Boathouse

Ten Hills

Fellsway

I-93

## Project Goals

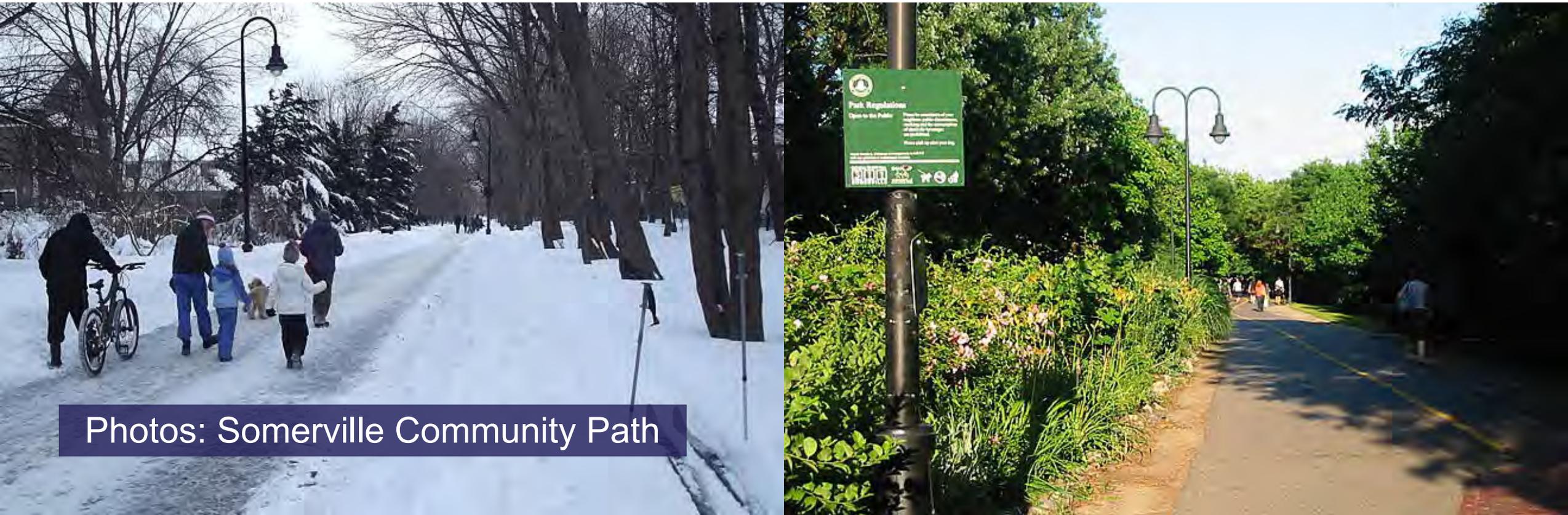
- + Improve safety, accessibility and public health outcomes
- + Improve the ecology of Blessing of the Bay Park and the Mystic River
- + Enhance recreational experience and promote walking, biking, and rolling for travel
- + Connect the neighboring community to the Mystic River and provide access to the Mystic River

# What is a Greenway?

## 1. INTRODUCTION

A greenway is a named, designated non-motorized pathway that intentionally connects places, is designed for users of all ages and abilities, and is some combination of shared-use paths, bike lanes, slow streets, bike routes, and green stormwater infrastructure.

*Detroit Greenways Coalition, 2021*



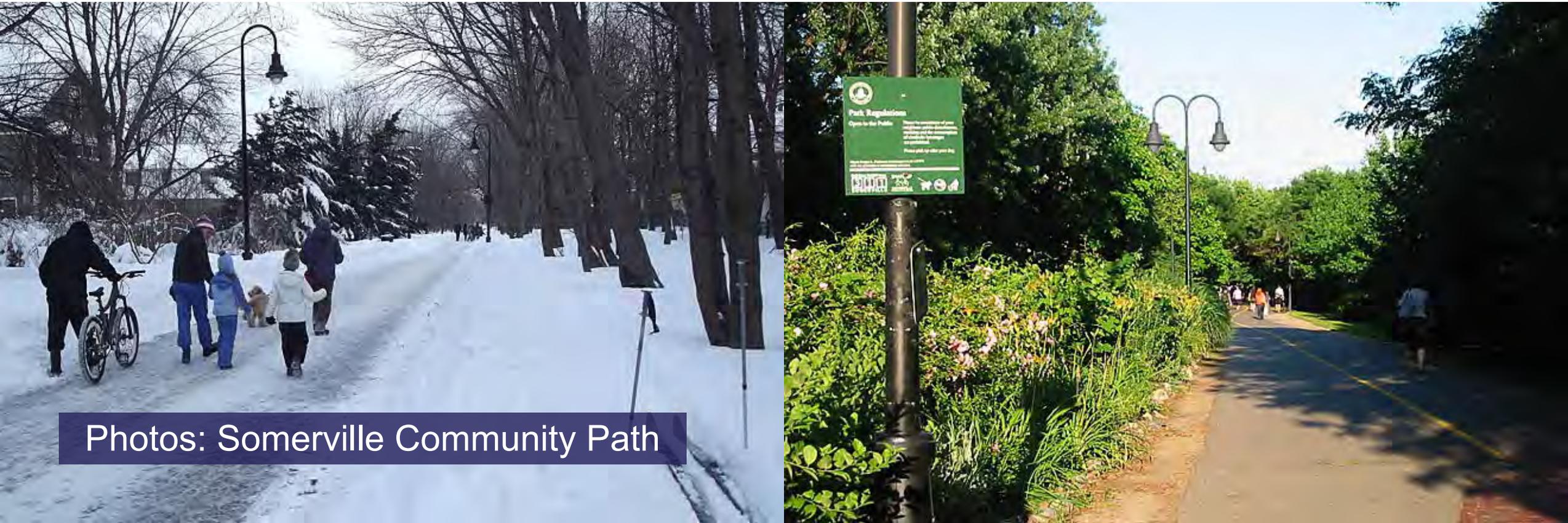
Photos: Somerville Community Path

# What are the Benefits of a Greenway?

## 1. INTRODUCTION

Economic Health Transportation Environmental Accessibility/Equity

*Source: Benefits of Shared Use Paths Study by MassTrails. Learn more at [mass.gov/welcome-to-masstrails](https://mass.gov/welcome-to-masstrails).*



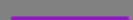
Photos: Somerville Community Path

## 2. REGIONAL STUDIES

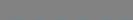
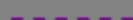
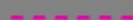
### Mass Trails - Priority Trails Networks Visions

Blessing of the Bay is a key gap in MA's Priority Trails Network

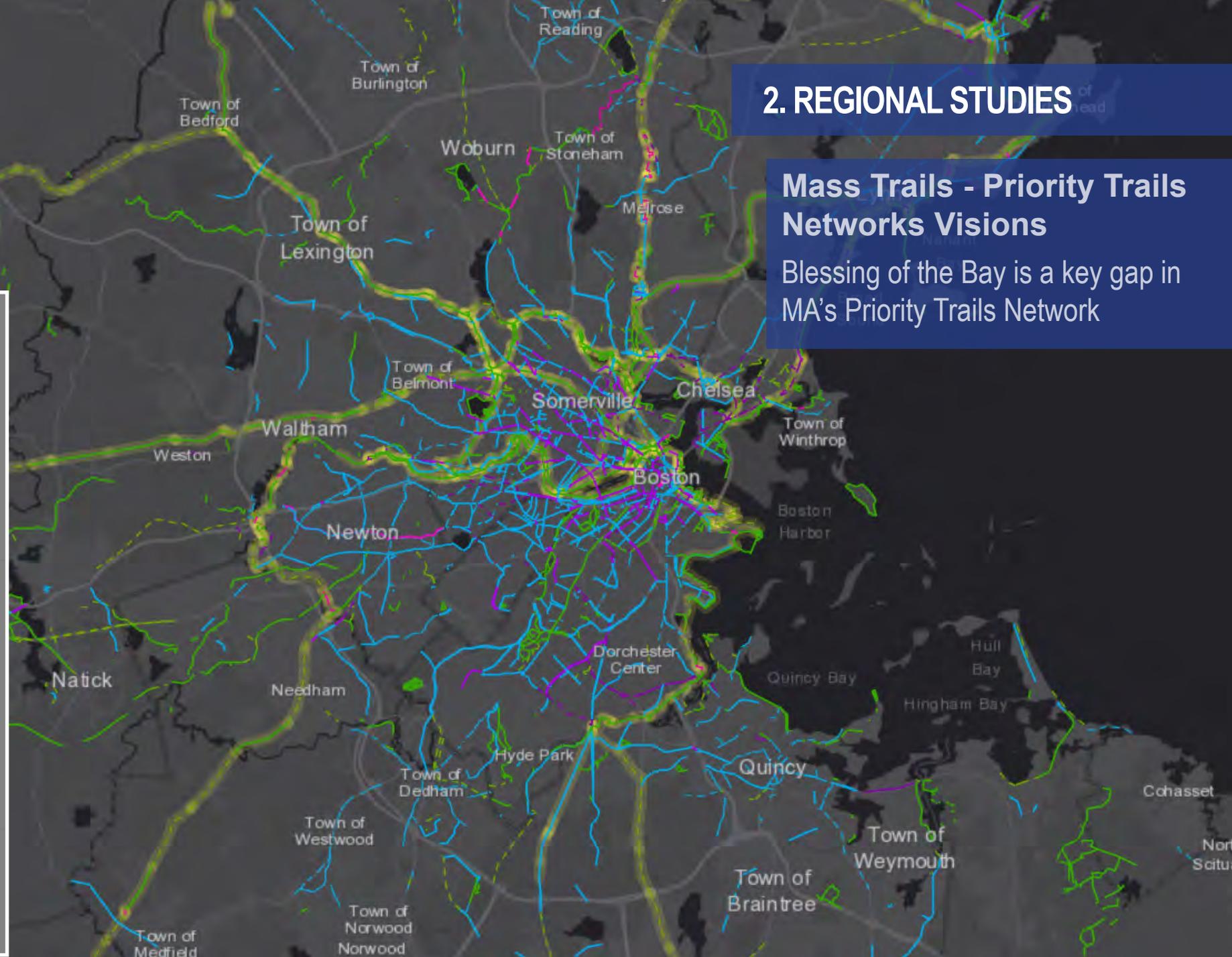
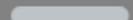
#### Existing Bike Infrastructure

-  Bike lane
-  Cycle track / separated bike lane
-  Shared use path
-  Bicycle/Pedestrian priority roadway

#### Planned Bike Infrastructure

-  Bike lane
-  Cycle track / separated bike lane
-  Shared use path
-  Bicycle/Pedestrian priority roadway

#### Priority Trails Network



## 2. REGIONAL STUDIES

### Mystic River Master Plan - DCR, 2009

Blessing of the Bay is a critical  
natural resource area for the region.



#### Natural Resource Areas

##### LEGEND

 FOREST	 WETLAND	
 MOWED AREA WITH CANOPY	 MIXED HERBACEOUS, SHRUB & TREE	 WETLAND RESTORATION AREA
 MOWED AREA	 MCDONALD PARK IMPROVEMENT PROJECT	 BARE GROUND / SPARSE VEGETATION
 RIVER BANK	 RIVERBANK RESTORATION AREA	 LIMIT OF WORK

# MYSTIC GREENWAYS PROGRESS

2.5 miles of new paths have been built, 5 additional miles waterfront parks are undergoing revitalization efforts

## 2. REGIONAL STUDIES

### Mill Brook Linear Park

The Mill Brook corridor is currently a hidden, underutilized waterway in Arlington. MyRWA is working to raise the brook's visibility by improving access and ecological value of Wellington Park. The first phase of construction was built in 2019; the second will begin in fall 2020.



Image: CSS

### Clippership Connector

This half-mile waterfront path will provide a safe and scenic route between Medford Square, Andrew & McGlynn Schools and Riverbend Park—and connect more than 10 miles of contiguous paths. Construction will begin fall 2020.



### Wellington/Rt. 28 Underpass

This proposed boardwalk underpass in Medford will connect Torbert Macdonald Park, the largest riverine park in the Mystic, to the Wellington Greenway and T station. A feasibility study and schematic design will be complete by the end of 2020.



Image: MAPC

### South Medford Connector

A proposed one-mile path between Route 16 and Medford Square that will complement the Clippership Connector as a long-distance active transportation corridor. A feasibility study was completed in 2019.

## Project Location



### Blessing of the Bay Park

MyRWA is leading a community-driven redesign for this 5-acre park. The plan identifies amenities such as new paths, docks, public art and restored natural areas that will transform Somerville's waterfront. The first phase of park and path improvements will be built in 2020.



Image: Stoss

### Charlestown Waterfront

MyRWA has created a vision for enhanced open spaces and walking/biking routes that connect people to the Mystic River. A new community path and waterfront open spaces will be built between 2020 and 2021; the community design process for Little Mystic Channel linear park is ongoing.

## Mystic Greenways - MyRWA

The Mystic River Watershed Association is working with regional partners to build 25 miles of riverine paths and parks by 2030.

**MYSTIC GREENWAYS VISION**  
 Existing: Solid blue line  
 In-Progress: Dashed blue line  
 Envisioned: Dotted blue line

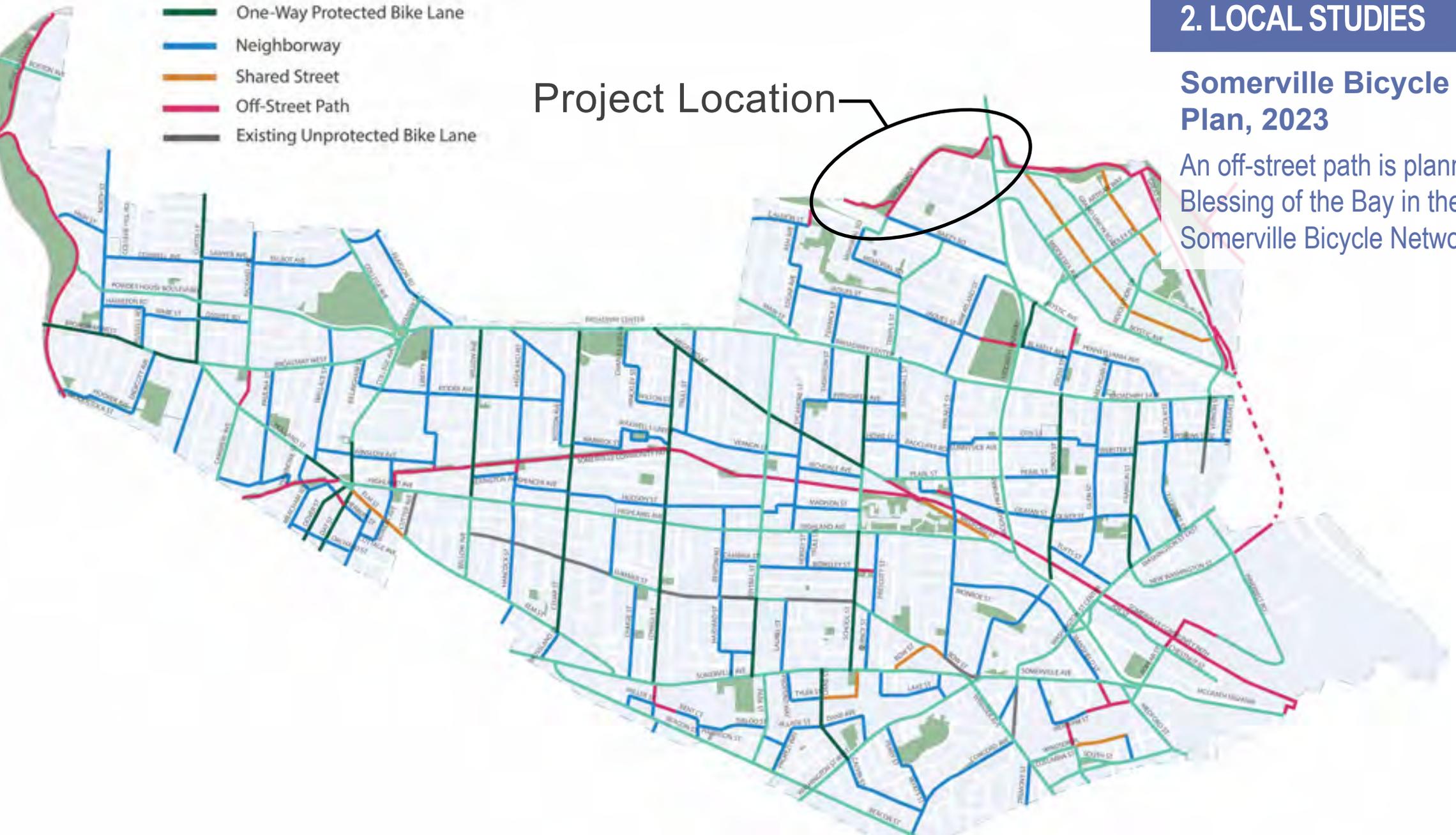
## 2. LOCAL STUDIES

### Somerville Bicycle Network Plan, 2023

An off-street path is planned for Blessing of the Bay in the City's Somerville Bicycle Network Plan.

- Two-Way Protected Bike Lane
- One-Way Protected Bike Lane
- Neighborway
- Shared Street
- Off-Street Path
- Existing Unprotected Bike Lane

Project Location





Project  
Location

## 2. LOCAL STUDIES

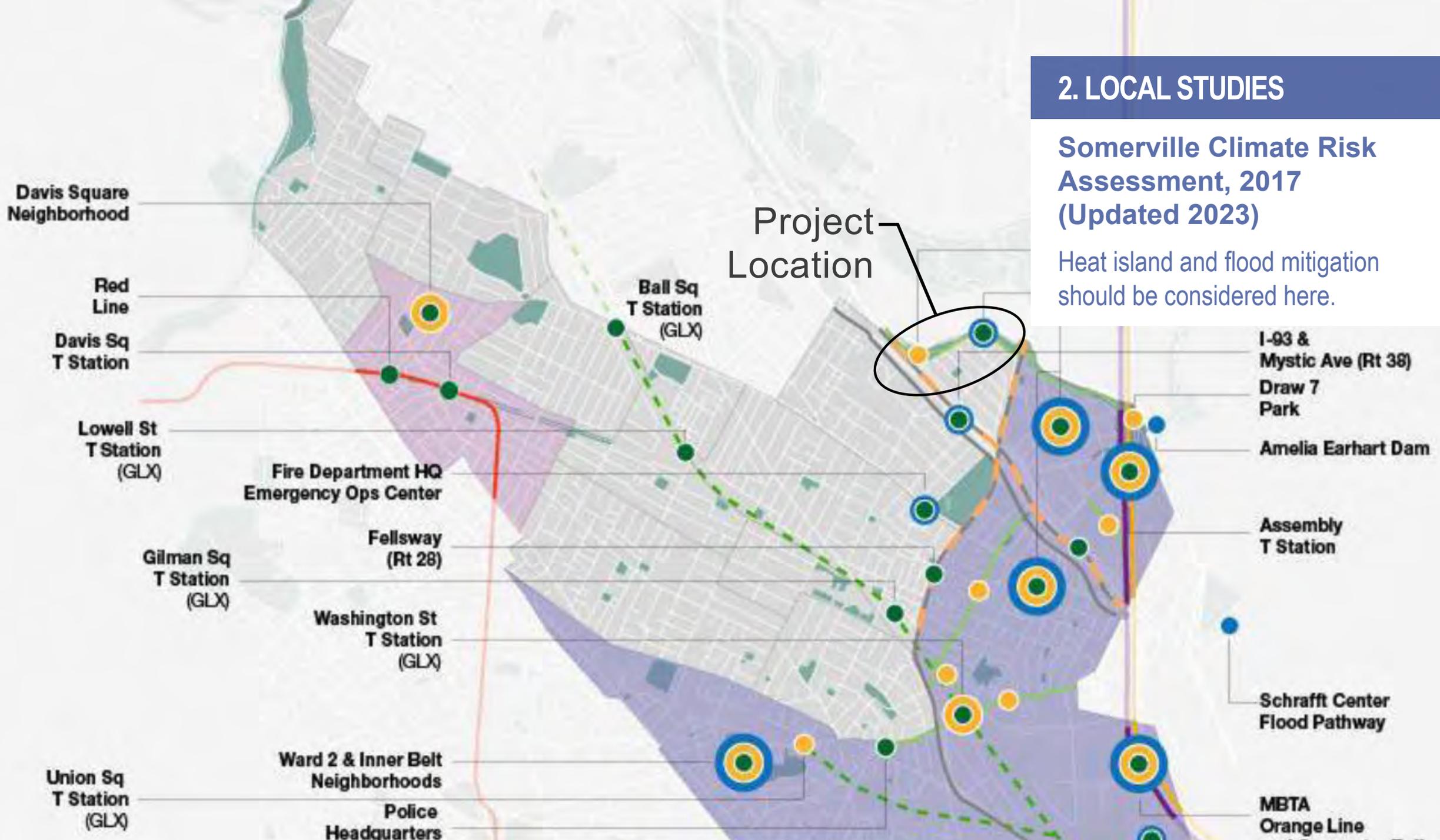
### Healey Mystic Master Plan 2016

An improved path was envisioned  
as part of a community planning  
process in 2016.

## 2. LOCAL STUDIES

### Somerville Climate Risk Assessment, 2017 (Updated 2023)

Heat island and flood mitigation should be considered here.



## 2. LOCAL STUDIES

### Somerville Pollinator Action Plan, 2024

Blessing of the Bay is within all three priority area types identified as key locations to prioritize new pollinator habitat in Somerville.

Project Location

- LEGEND**
- CITY OF SOMERVILLE
  - I-93
  - PRIMARY ROADS
  - STREETS
  - PRIORITY 1 - WARDS 1 & 2
  - PRIORITY 2 - MYSTIC RIVER 500 METER BUFFER
  - PRIORITY 3 - EXISTING POLLINATOR GARDENS 500 METER BUFFER
  - EXISTING POLLINATOR GARDEN
  - PRIORITY PERMEABLE OPEN SPACE - CITY & STATE OWNERSHIP

COMMUNITY PATH  
POLLINATOR GARDEN

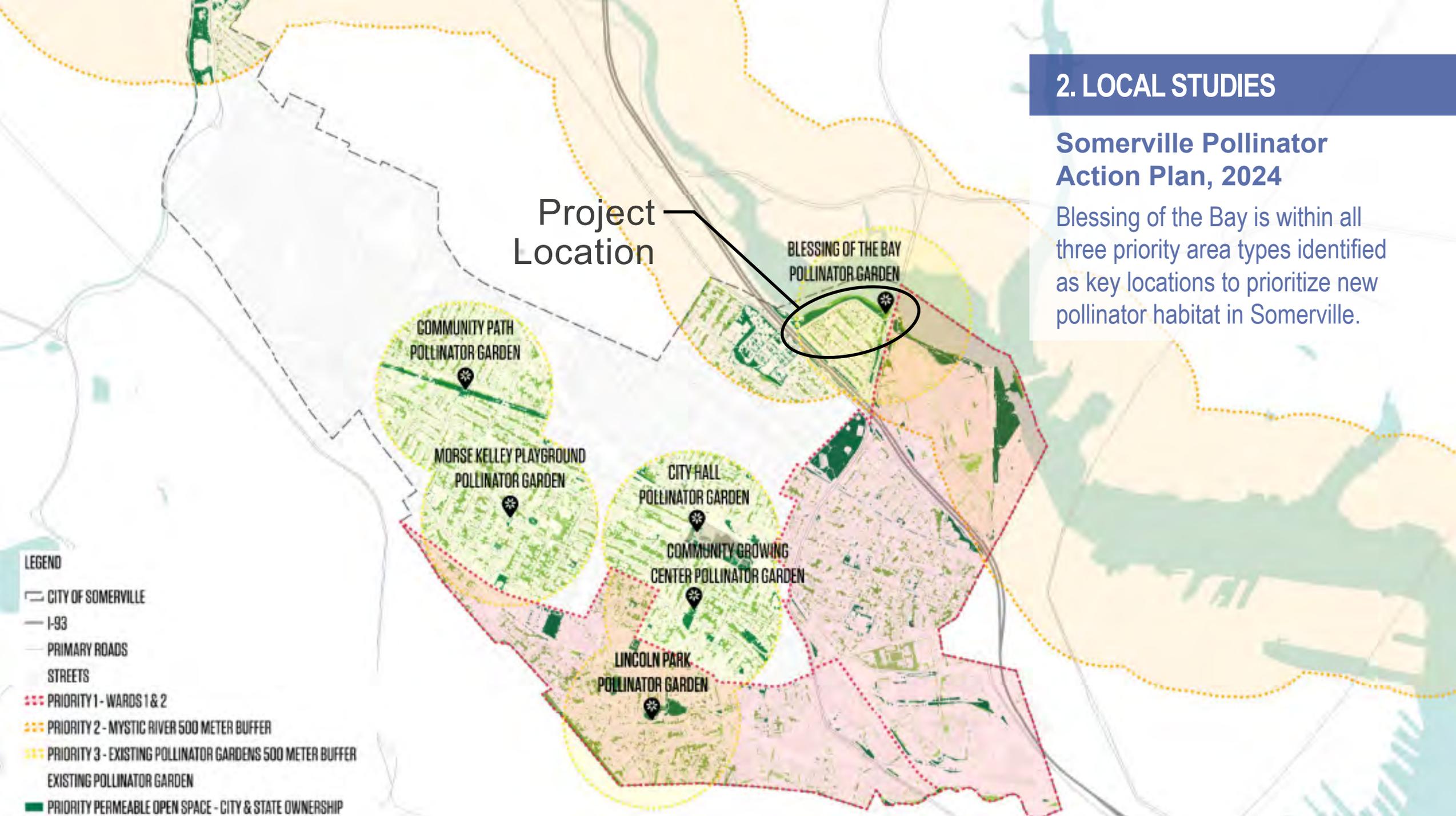
MORSE KELLEY PLAYGROUND  
POLLINATOR GARDEN

CITY HALL  
POLLINATOR GARDEN

COMMUNITY GROWING  
CENTER POLLINATOR GARDEN

LINCOLN PARK  
POLLINATOR GARDEN

BLESSING OF THE BAY  
POLLINATOR GARDEN



# LEGEND:

Existing Tree



Proposed Tree



Multi-Use Path



## 2. LOCAL STUDIES

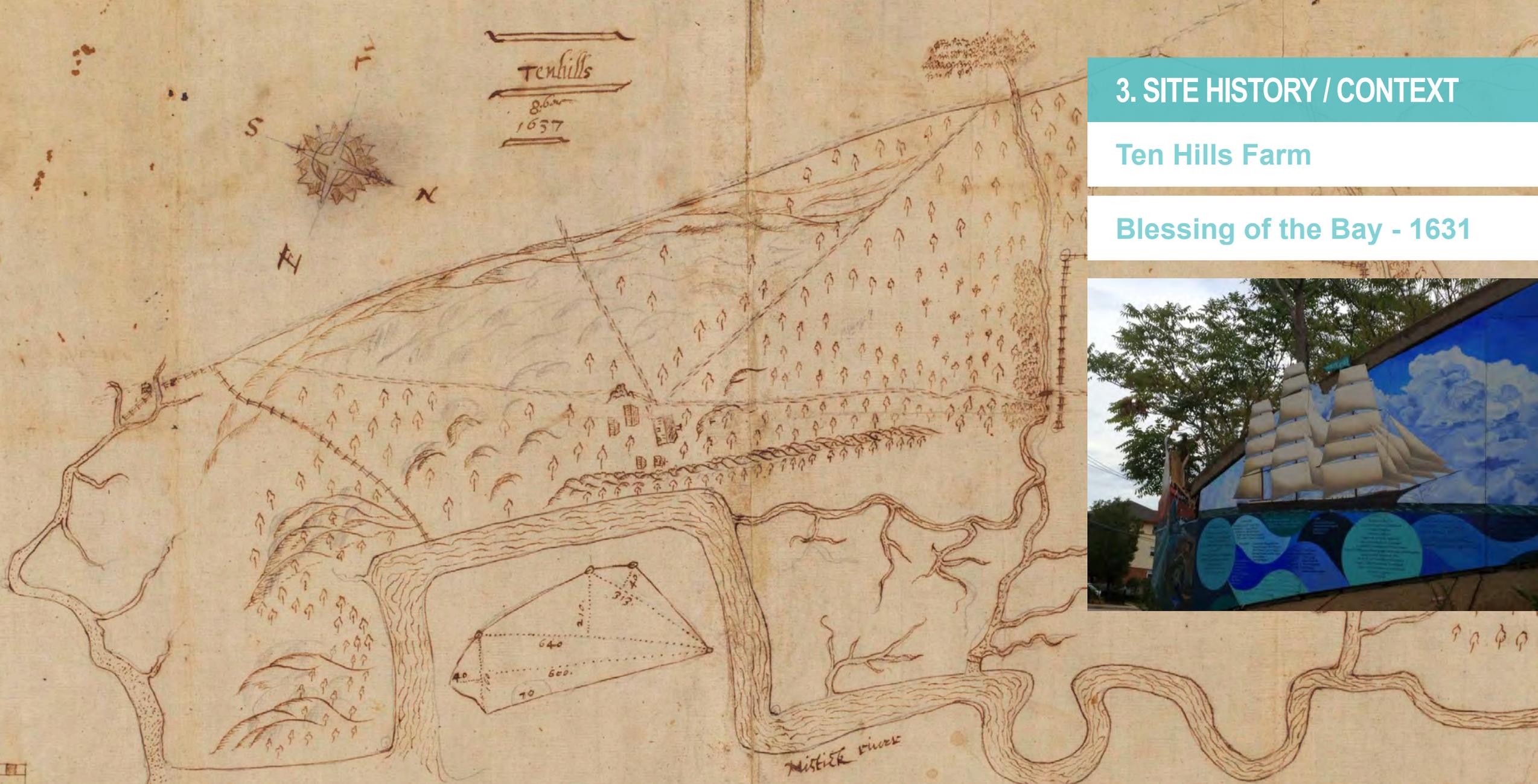
### Blessing of the Bay Master Plan, 2018



### 3. SITE HISTORY / CONTEXT

#### Pre-European Settlement





### 3. SITE HISTORY / CONTEXT

Ten Hills Farm

Blessing of the Bay - 1631



Manuscript map of the Ten Hills (Medford, Mass.), October 1637, Massachusetts Historical Society.

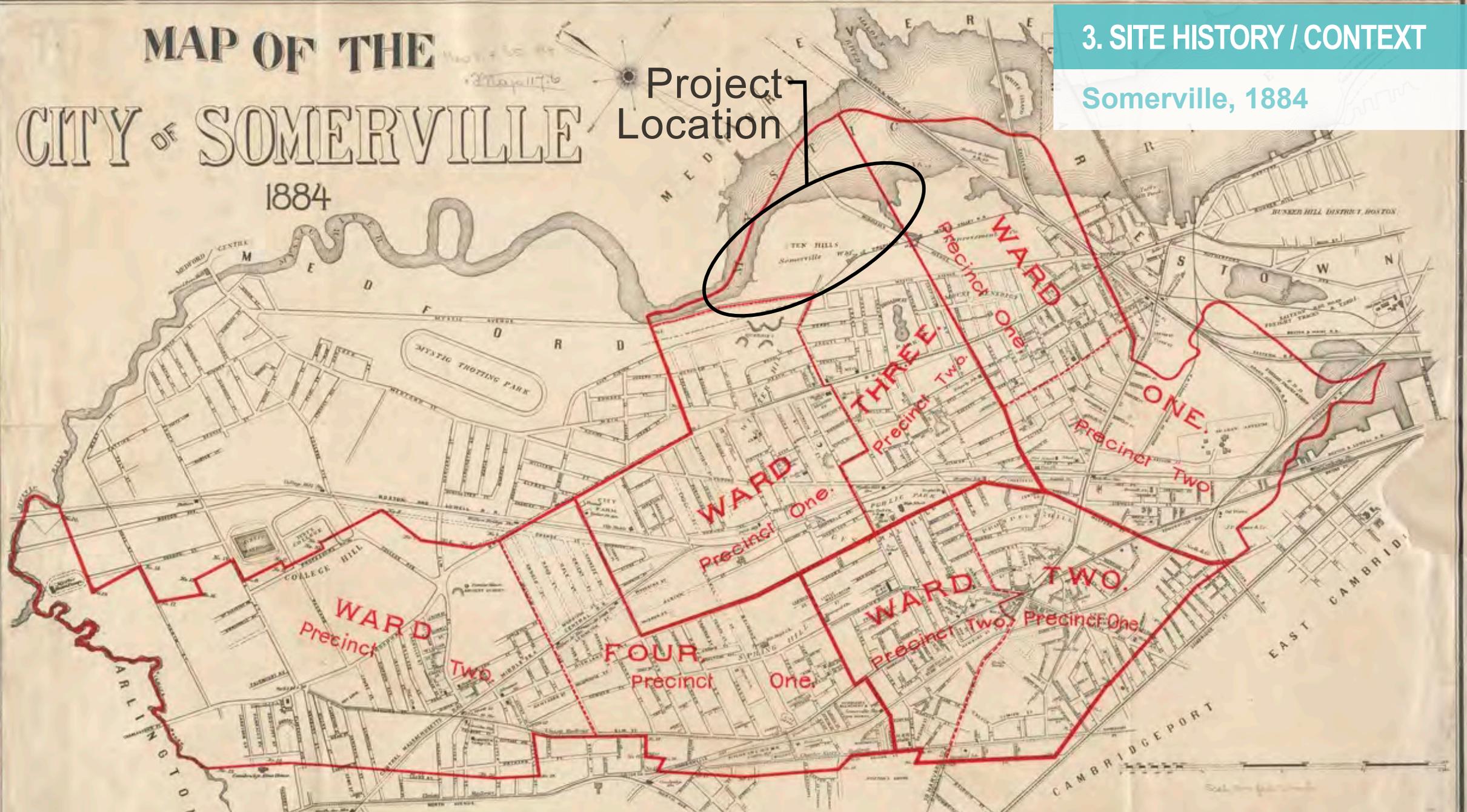
# MAP OF THE CITY OF SOMERVILLE

1884

Project Location

## 3. SITE HISTORY / CONTEXT

Somerville, 1884





### 3. SITE HISTORY / CONTEXT

Project Location, 1952



### 3. SITE HISTORY / CONTEXT

Project Location, 1978



### 3. SITE HISTORY / CONTEXT

Project Location, 2015



### 3. SITE HISTORY / CONTEXT

## MyRWA & Groundworks Outreach, 2017

Place a dot on the things you want to see in the park!

Community

Gathering Area

Markets

Boat Rental

Public Programming

Waterfront Docks

Boathouse

Outdoor Concerts

Public Art

Fishing

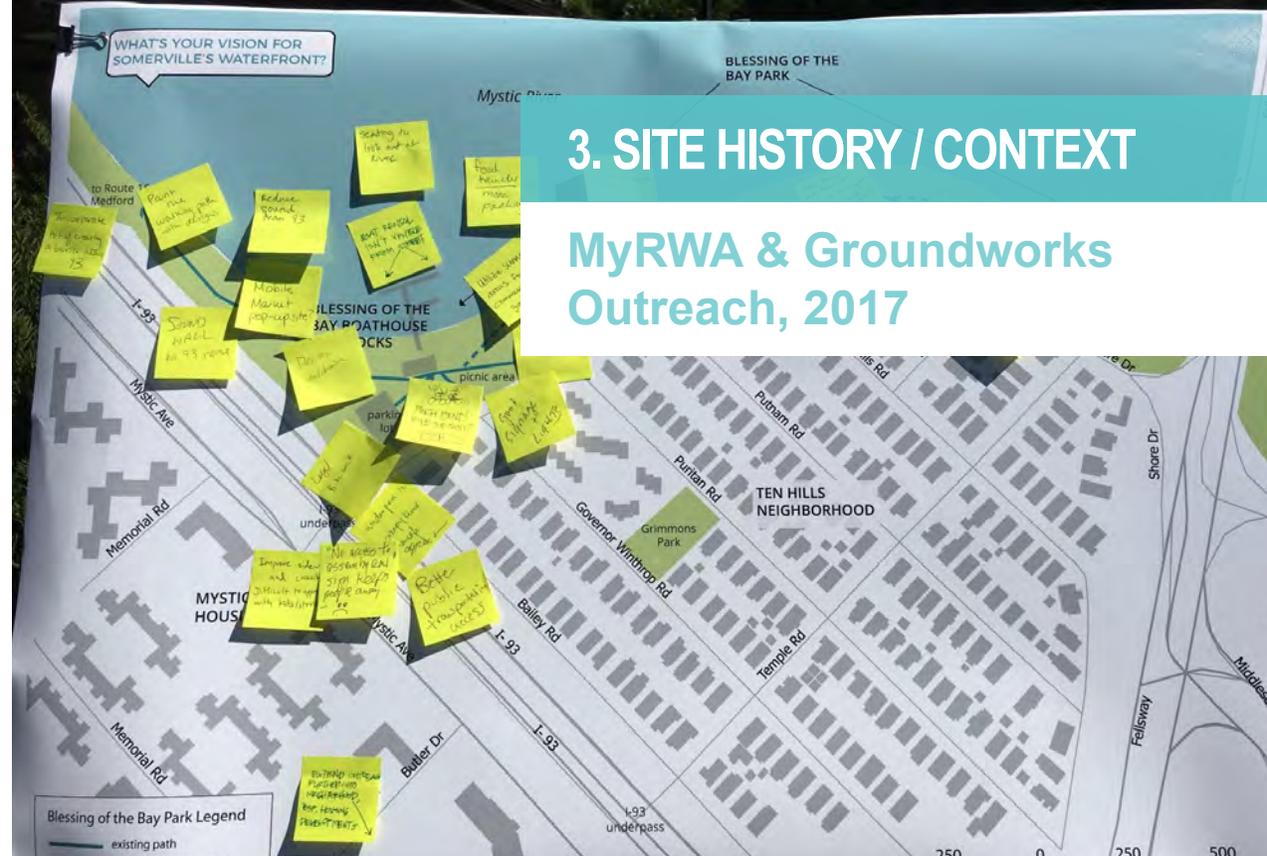
Wildlife Viewing

Natural areas

Boating

YO



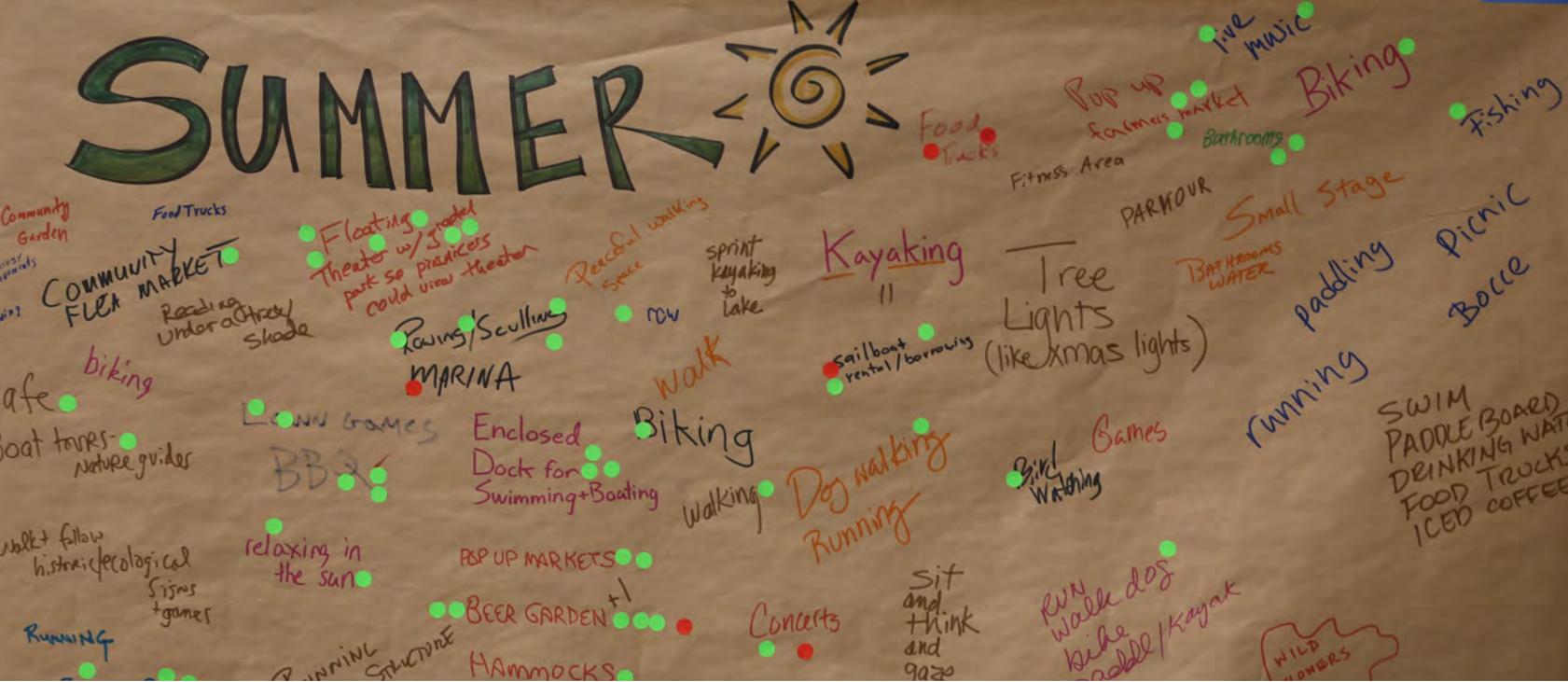


### 3. SITE HISTORY / CONTEXT

## MyRWA & Groundworks Outreach, 2017

- + 190 Surveys (online and in person)
- + 272 People Engaged in on-site events
- + 150 Mystic Housing Outreach (Mobile market & Tenants Assoc)
- + 460 Households (door to door)

# 1,072 Engagements



### 3. SITE HISTORY / CONTEXT

#### Blessing of the Bay Master Plan Outreach, 2018



# LEGEND:

Existing Tree 

Proposed Tree 

Multi-Use Path 

## 3. SITE HISTORY / CONTEXT

### Blessing of the Bay Master Plan, 2018





- Alnus sp.
- Populus spp.
- Tilia spp.
- Pinus nigra
- Other
- Betula sp.
- Acer platanoides
- Fraxinus spp.
- Rhus typhina
- Quercus rubra

### 3. SITE HISTORY / CONTEXT

## Living Tapestry Installed, 2019



## 4. WORK TO DATE

### 2020 - DCR Park Upkeep Work

- + Repaving existing paths
- + 20+ Trees Planted
- + Benches replaced

2020 - DCR Park Upkeep Work





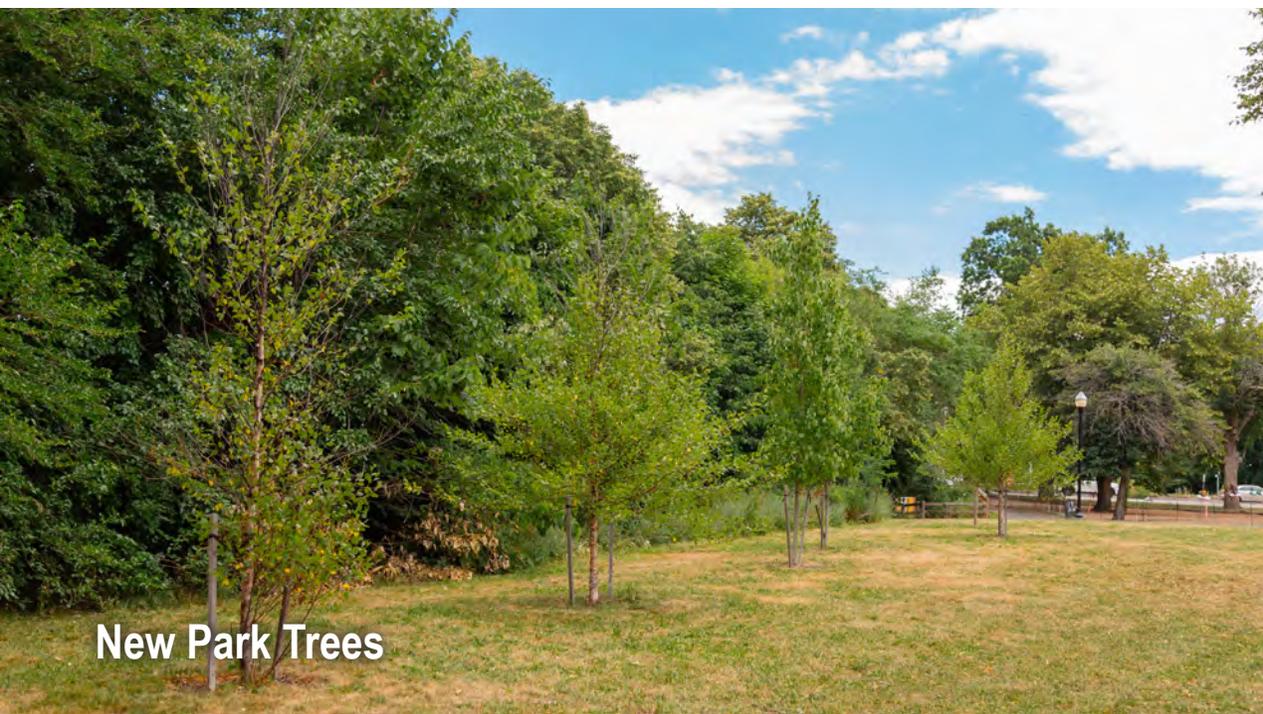
New Park Trees



New Paths

#### 4. WORK TO DATE

- 2020 - DCR Park Upkeep Work**
- + Repaving existing paths
- + 20+ Trees Planted
- + Benches replaced



New Park Trees

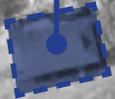


New Paths

## 4. WORK TO DATE

2021 - Boathouse Signage

2021 -Boathouse



#### 4. WORK TO DATE

2021 - Boathouse Signage



Blessing of the Bay

BOATHOUSE



Mystic River  
WATERSHED ASSOCIATION



## 4. WORK TO DATE

**2021 - 13,000 SF  
Native Meadow Installed**

2021 - Native Meadow +  
2022 Firefly Installation

Proposed Areas for Potential Meadow Installation

### 4. WORK TO DATE

2021 - 13,000 SF Meadow Installed

Portion of Meadow installed in 2021

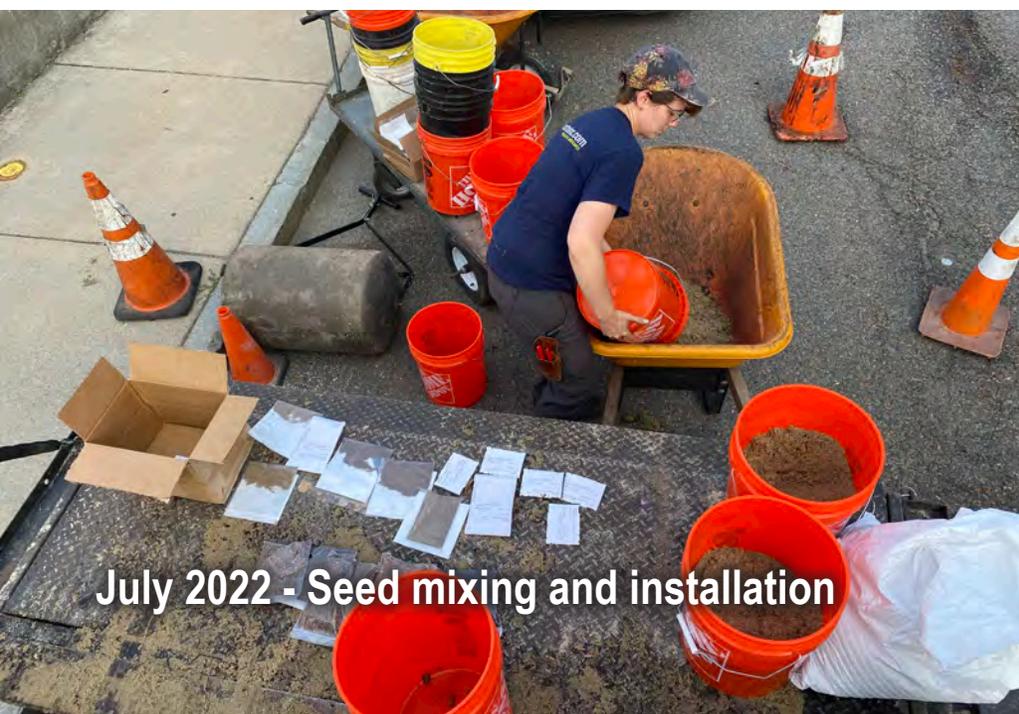




September 2021 - Site preparation, and seeding winter cover crop



#### 4. WORK TO DATE



July 2022 - Seed mixing and installation

## 4. WORK TO DATE





**Year 0 - Seed installation and initial germination**

**Year 1 - Progress prior to additional live-plant installation**

**Year 1 - Progress following additional live-plant installation**



**4. WORK TO DATE**



**Year 2 - May, 2024**



**Year 2 - June, 2024**

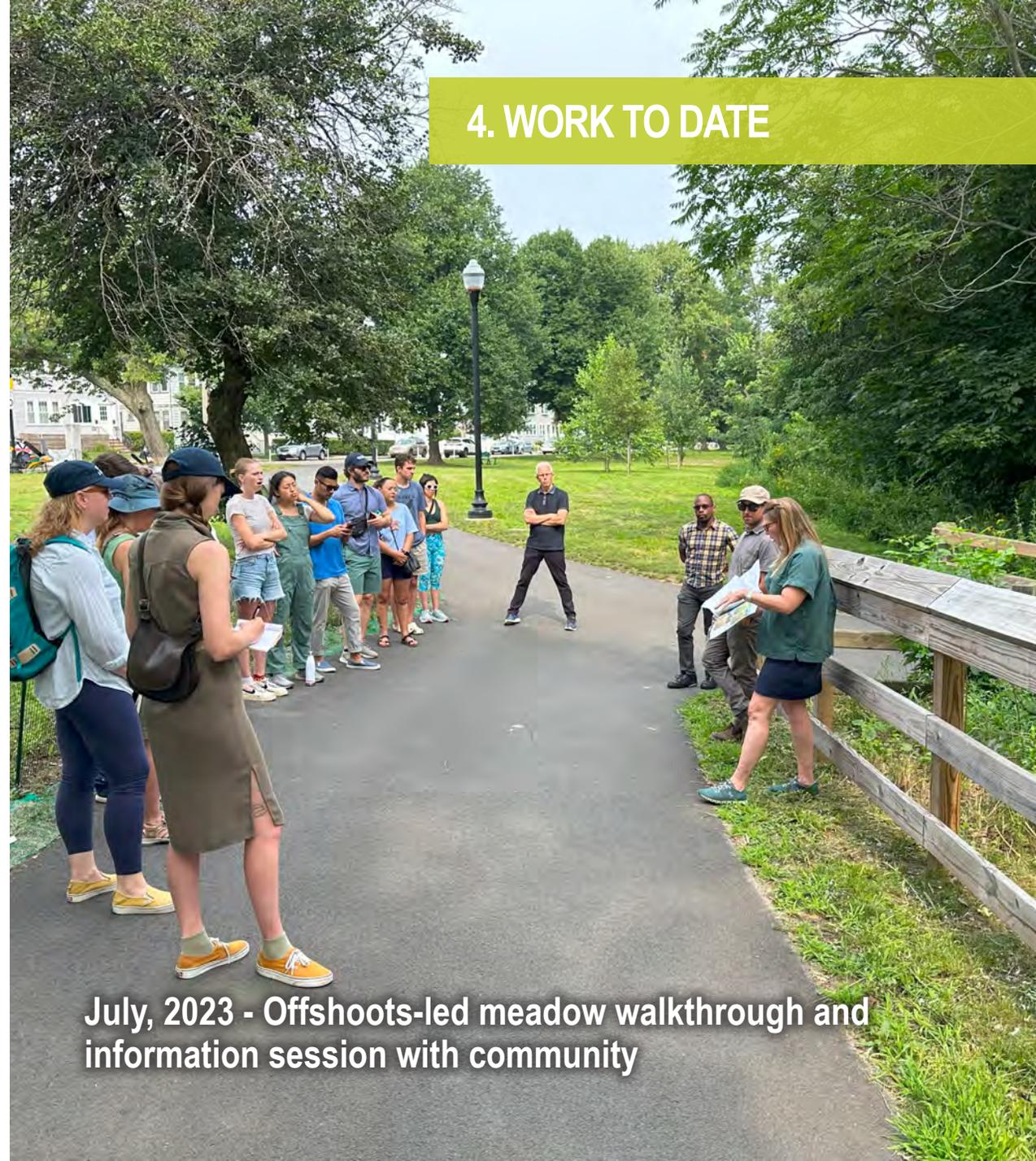


**Year 2 - July, 2024**



**May, 2023 - Meadow monitoring and coordination meeting with Larry Weaner Landscape Associates (LWLA)**

**4. WORK TO DATE**



**July, 2023 - Offshoots-led meadow walkthrough and information session with community**



## 4. CURRENT WORK

2024 - Shoreline Invasive Species Vegetation Management Underway

2024 (Ongoing) - Shoreline Invasive Species Vegetation Management



## 4. CURRENT WORK

2024 - Shoreline Invasive  
Species Vegetation  
Management Underway



SHRUBS



dwarf black chokeberry  
*Aronia melanocarpa* 'Lo Scape Snow'



New Jersey tea  
*Ceanothus americanus*



sweet pepperbush  
*Clethra alnifolia* 'Hummingbird'



4. CURRENT WORK

2024 - Shoreline Invasive  
Species Vegetation  
Management Underway

PERENNIALS



marginal woodfern  
*Dryopteris marginalis*



hayscented fern  
*Dennstaedtia punctilobula*



golden alexander  
*Zizia aurea*



windflower  
*Anemone canadensis*



spotted cranesbill  
*Geranium maculatum*



woodland sunflower  
*Helianthus divaricatus*



mountainmint  
*Pycnanthemum muticum*



grey goldenrod  
*Solidago nemoralis*



white wood aster  
*Eurybia divaricata*

## 4. WORK TO DATE

2024

2024 (Ongoing) - Shoreline Invasive Species  
Vegetation Management

2020 - DCR Park Upkeep Work

2021 -Boathouse

2021 - Native Meadow +  
2022 Firefly Installation



## 5. GREENWAY PROJECT

Blessing of the Bay Greenway



# 1. INTRODUCTION

## Project Scope:

+ Shore Drive - Within Right of Way

+ Primary Focus:

Greenway

Invasive Species Management

River Access

+ Secondary Focus:

Green Infrastructure

Street Trees

Pollinator Habitat



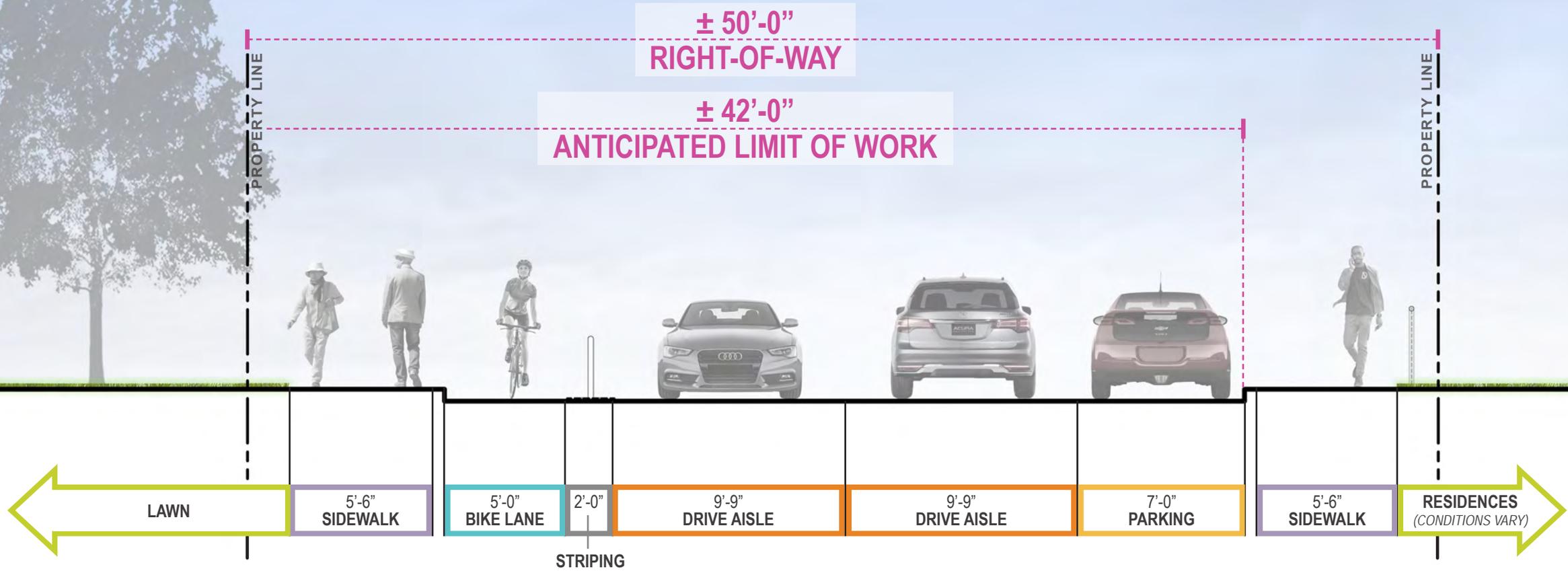
I-93

# 5. GREENWAY PROJECT



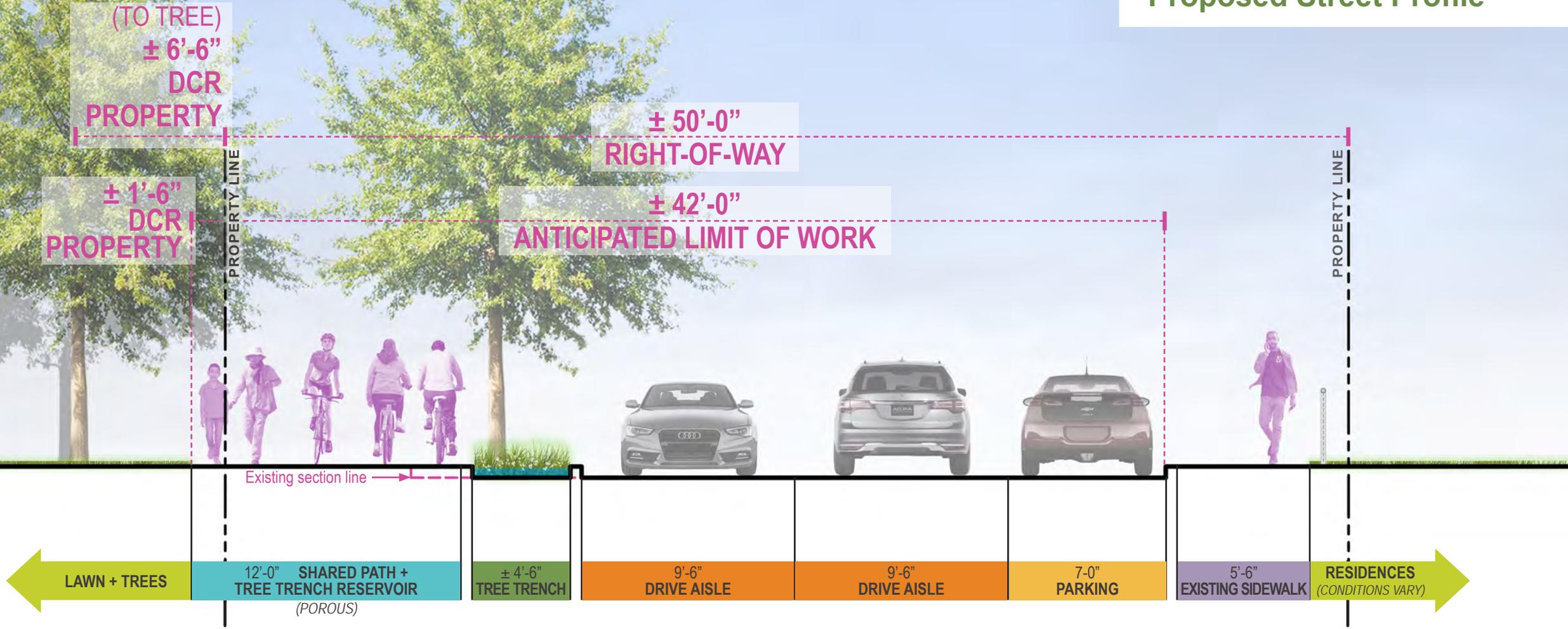
# 5. GREENWAY PROJECT

## Existing Street Profile



# 5. GREENWAY PROJECT

## Proposed Street Profile





Cambridge Crossing, Cambridge, MA



## 5. GREENWAY PROJECT

### Sample Greenways

Somerville Community Path, Somerville, MA



Burlington Greenway, Burlington, VT



Shared use path by Alta Planning & Design, Springdale, AR



## 5. GREENWAY PROJECT

### Street Trees



(Tree Trench -Philadelphia Water Department)



## 5. GREENWAY PROJECT

### Green Stormwater Infrastructure

Native plants filter water and enhance streetscape; water filters down through soil



Stormwater runoff flows from street into bumpout

Stone and other materials provide space for additional stormwater storage

(Corner Bumpout - *Philadelphia Water Department*)

## 5. GREENWAY PROJECT

### Curb Extensions / Corner Bump Outs



# 5. GREENWAY PROJECT

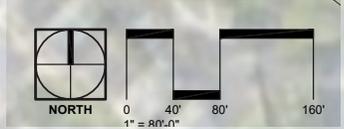
## Future Relevant Projects



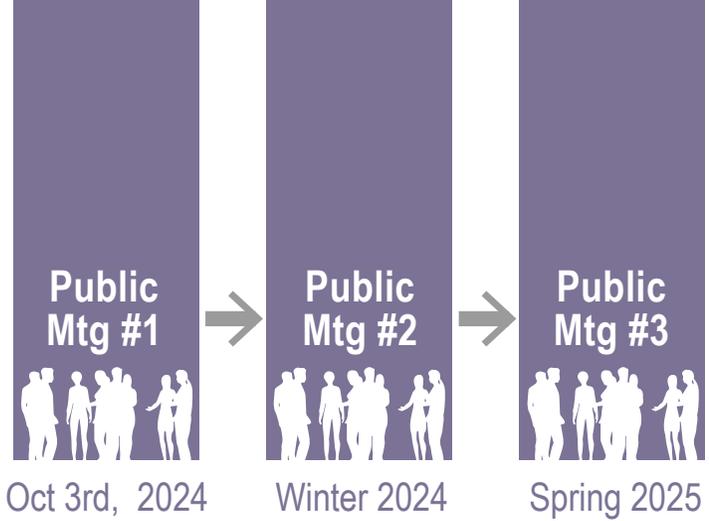
**EXISTING STREET PROFILE**

Future relevant project:  
**Mystic River Outfall and Sewer Separation**

Future relevant project:  
**Intersection at Shore Drive and Mystic Avenue**



# 5. GREENWAY PROJECT



ONGOING ACTIVITIES



OTHER RELEVANT PROJECTS:



## Blessing of the Bay Park: Shore Drive - Project Schedule (Subject to Change)

Offshoots, Inc.

# Blessing of the Bay Greenway Project Update

October 3, 2024

## Questions & Discussion

To learn more & contact the project team, please visit  
[mysticriver.org/blessingofthebay](https://mysticriver.org/blessingofthebay)

photo by Julian Tryba



City of  
Somerville

**Mystic River**  
WATERSHED ASSOCIATION



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City of  
Somerville

**Mystic River**  
WATERSHED ASSOCIATION



**EXISTING CONDITION NOTES:**

- THE EXISTING CONDITIONS DEPICTED ON THIS PLAN WERE TAKEN FROM THE SURVEY PLAN ENTITLED "EXISTING CONDITIONS" STAMPED BY DANIEL W. MACKENZIE, PLS OF THE HORSLEY WITTEN GROUP, INC. ON FEBRUARY 07, 2025.
- REFER TO THE SURVEY PLAN FOR ALL HORIZONTAL AND VERTICAL DATUM REFERENCES.
- ALL PROPERTY AND BOUNDARY LINES DEPICTED ARE APPROXIMATE ONLY OR THE PROPERTY LINES BETWEEN ADJUTING PROPERTY OWNERS ARE APPROXIMATE ONLY.
- THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHEREVER POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD PRIOR TO THE START OF ANY CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY IN THE TOWN/CITY, AND "DIGSAFE" (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK IN PREVIOUSLY UNALTERED AREAS TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- THE PROPERTY IS LOCATED WITHIN F.I.R.M. ZONES X AND AE 4'. AS SHOWN ON COMMUNITY PANEL NO. 25017C0439F, DATED JUNE 8, 2023. ESTIMATED FLOOD ZONE LINES WERE TAKEN FROM THE LATEST MASS GIS INFORMATION.

**GENERAL CONSTRUCTION NOTES:**

- ALL SITE WORK TO COMPLETE THIS PROJECT, AS INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS AND AS DESCRIBED BELOW IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- IMMEDIATELY CONTACT AND COORDINATE WITH THE LANDSCAPE ARCHITECT/ENGINEER AND OWNER IF ANY DEVIATION OR ALTERATION OF THE WORK PROPOSED ON THESE DRAWINGS IS REQUIRED.
- UTILIZE ALL PRECAUTIONS AND MEASURES TO ENSURE THE SAFETY OF THE PUBLIC, ALL PERSONNEL AND PROPERTY DURING CONSTRUCTION IN ACCORDANCE WITH OSHA STANDARDS, INCLUDING THE INSTALLATION OF TEMPORARY FENCING BARRIERS, SAFETY LIGHTING, CONES, POLICE LIGHTS AND/OR FLAGMEN AS DETERMINED NECESSARY BY THE CITY OF SOMERVILLE. THE CONTRACTOR IS RESPONSIBLE FOR THE COST OF POLICE DETAIL AND FOR COORDINATING WITH THE LOCAL OR STATE POLICE DEPARTMENT FOR ALL REQUIRED POLICE DETAIL.
- MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS. PAY ALL FEES INCLUDING POLICE DETAILS AND POST ALL BONDS, IF NECESSARY, ASSOCIATED WITH THE SAME, AND COORDINATE WITH THE OWNER AND THE ENGINEER.
- ALL EXISTING CONDITIONS SHOWN ARE APPROXIMATE AND ARE BASED ON THE BEST INFORMATION AVAILABLE. PRIOR TO THE START OF CONSTRUCTION VERIFY THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, NOTIFY THE OWNER AND THE ENGINEER PRIOR TO INSTALLING ANY PORTION OF THE SITE WORK WHICH WOULD BE AFFECTED.
- THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS INDICATED ON THE DRAWINGS ARE BASED ON RECORDS OF VARIOUS UTILITY COMPANIES, AND WHEREVER POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY IN THE CITY, AND "DIGSAFE" (1-888-344-7233) AT LEAST THREE BUSINESS DAYS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES. THE CONTRACTOR MUST RESOLVE ANY CONFLICTS BETWEEN THE PROPOSED UTILITIES AND FIELD-LOCATED UTILITIES AND REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED, INCOMPLETELY OR INACCURATELY SHOWN. THE CONTRACTOR MUST MAINTAIN ACCURATE RECORDS OF THE LOCATION AND ELEVATION OF ALL WORK INSTALLED AND EXISTING UTILITIES FOUND DURING CONSTRUCTION FOR THE PREPARATION OF THE AS-BUILT PLAN.
- COORDINATE AND MAKE ALL CONNECTION ARRANGEMENTS WITH UTILITY COMPANIES, AS REQUIRED.
- MAINTAIN ALL EXISTING UTILITIES IN WORKING ORDER AND FREE FROM DAMAGE DURING THE ENTIRE DURATION OF THE PROJECT. REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ALL COST RELATED TO THE REPAIR OF UTILITIES. EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES MUST BE DONE BY HAND.
- COORDINATE ALL TRENCHING WORK WITHIN ROADWAYS WITH THE PROPER LOCAL & STATE AGENCY. THE CONTRACTOR IS RESPONSIBLE FOR ALL TRENCH SAFETY INCLUDING ANY LOCAL AND/OR STATE PERMITS REQUIRED FOR THE TRENCH WORK. IF THIS WORK IS REQUIRED TO OCCUR OUTSIDE THE AGREED UPON HOURS OF OPERATION FOR THE FACILITY, THE CONTRACTOR MUST PLAN ACCORDINGLY.
- SAWCUT ALL TRENCH WORK WITHIN EXISTING PAVEMENT AS INDICATED ON THE DRAWINGS. BACKFILL AND COMPACT TRENCH WORK AS INDICATED ON THE DRAWINGS AND IN THE SPECIFICATIONS. IF SETTLEMENT OCCURS DUE TO INADEQUATE COMPACTATION, AS DETERMINED BY THE ENGINEER, WITHIN THE WARRANTY PERIOD, CONTRACTOR IS REQUIRED TO REMOVE, PATCH AND REPAVE AFTER ONE COMPLETE 12-MONTH CYCLE.
- IMPORT ONLY CLEAN MATERIAL. MATERIAL FROM AN EXISTING OR FORMER 21E SITE AS DEFINED BY THE MASSACHUSETTS CONTINGENCY PLAN 310 CMR 40.0000 WILL NOT BE ACCEPTED.
- ESTABLISH AND MAINTAIN ALL CONTROL POINTS AND BENCHMARKS DURING CONSTRUCTION INCLUDING BENCHMARK LOCATIONS AND ELEVATIONS AT CRITICAL AREAS. COORDINATE WITH THE ENGINEER THE LOCATION OF ALL CONTROL POINTS AND BENCHMARKS.
- SITE LAYOUT REQUIRED FOR CONSTRUCTION IS TO BE PROVIDED BY THE CONTRACTOR AND SHOULD BE PERFORMED BY A MASSACHUSETTS REGISTERED PROFESSIONAL LAND SURVEYOR. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE SURVEYOR FOR ALL SURVEY LAYOUT. IF THE CONTRACTOR CHOOSES TO USE GPS, THEY ASSUME THE LIABILITY FOR THE ACCURACY OF ALL HORIZONTAL AND VERTICAL LAYOUT.
- MAINTAIN ALL GRADE STAKES SET BY THE SURVEYOR. GRADE STAKES ARE TO REMAIN UNTIL A FINAL INSPECTION OF THE ITEM HAS BEEN COMPLETED BY THE ENGINEER. RE-STAKING OF PREVIOUSLY SURVEYED SITE FEATURES IS THE RESPONSIBILITY (INCLUDING COST) OF THE CONTRACTOR.
- UNLESS OTHERWISE INDICATED ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS, ALL SITE CONSTRUCTION MATERIALS AND METHODOLOGIES ARE TO CONFORM TO THE MOST RECENT VERSION OF THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
- PROVIDE A UNIT PRICE COST IN CUBIC YARD MEASURE FOR LEDGE AND/OR BOULDER REMOVAL. LEDGE AND/OR BOULDERS LESS THAN 1 CUBIC YARD IN SIZE BASED ON THE AVERAGE DIMENSIONS WILL NOT BE CONSIDERED PAYABLE ROCK. PROVIDE UNIT PRICES FOR BOTH ON AND OFF SITE DISPOSAL. IF ADDITIONAL FILL MATERIAL IS REQUIRED INCLUDE THE COST OF ALL FILL MATERIAL.
- REGULARLY INSPECT THE PERIMETER OF THE PROPERTY TO CLEAN UP AND REMOVE LOOSE CONSTRUCTION DEBRIS BEFORE IT LEAVES THE SITE. PROMPTLY REMOVE ALL DEMOLITION DEBRIS FROM THE SITE TO AN APPROVED DUMP SITE.
- ALL TRUCKS LEAVING THE SITE MUST BE COVERED.
- DO NOT WASH ANY CONCRETE TRUCKS ON-SITE. REMOVE BY HAND ANY CEMENT OR CONCRETE DEBRIS LEFT IN THE DISTURBED AREA.
- BURIAL OF ANY STUMPS, SOLID DEBRIS, AND/OR STONES/BOULDERS ON-SITE IS PROHIBITED. DO NOT USE ROAD SALT OR OTHER DE-ICING CHEMICALS ON THE ACCESS ROADWAY.
- AT THE END OF CONSTRUCTION, REMOVE ALL CONSTRUCTION DEBRIS AND SURPLUS MATERIALS FROM THE SITE AS INDICATED IN THE SPECIFICATIONS, PERFORM A THOROUGH INSPECTION OF THE WORK PERIMETER, COLLECT AND REMOVE ALL MATERIALS AND BLOWN OR WATER CARRIED DEBRIS FROM THE SITE.

**GENERAL DEMOLITION NOTES:**

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE CITY TO DEVELOP A SUITABLE DEMOLITION PLAN, WHICH WILL ALLOW THE FACILITIES AND ROAD TO REMAIN IN OPERATION DURING THE ENTIRETY OF CONSTRUCTION.
- UNLESS OTHERWISE NOTED, THE CONTRACTOR IS RESPONSIBLE FOR THE RELOCATION, DEMOLITION, REMOVAL AND DISPOSAL, IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL EXISTING SITE ELEMENTS AND STRUCTURES INCLUDING, BUT NOT LIMITED TO BITUMINOUS CONCRETE, CEMENT CONCRETE, GRAVEL, CURBS, WALKWAYS, SIDEWALKS, BERMS, FENCES, PLANTING BEDS, TREES, SHRUBS, UTILITIES, DRAINAGE STRUCTURES AND ALL OTHER STRUCTURES SHOWN AND NOT SHOWN WITHIN CONSTRUCTION LIMITS, AND WHERE NECESSARY TO ALLOW FOR NEW CONSTRUCTION. ALL FACILITIES TO BE REMOVED ARE TO BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER SPECIFICATIONS.
  - PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
  - REMOVE ALL DEBRIS FROM THE SITE AND DISPOSE OF THE DEBRIS IN A PROPER AND LEGAL MANNER.
  - OBTAIN ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
  - COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. COORDINATE WITH THE UTILITY COMPANIES CONCERNING PORTIONS OF THE WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
  - PROVIDE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL UTILITY LINES, AS REQUIRED, BEFORE PROCEEDING WITH THE WORK.
  - MAINTAIN CONTINUOUS ACCESS AND OPERATION FOR SURROUNDING FACILITIES, AS DEEMED BY THE CITY, AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.

**EROSION & SEDIMENT CONTROL NOTES:**

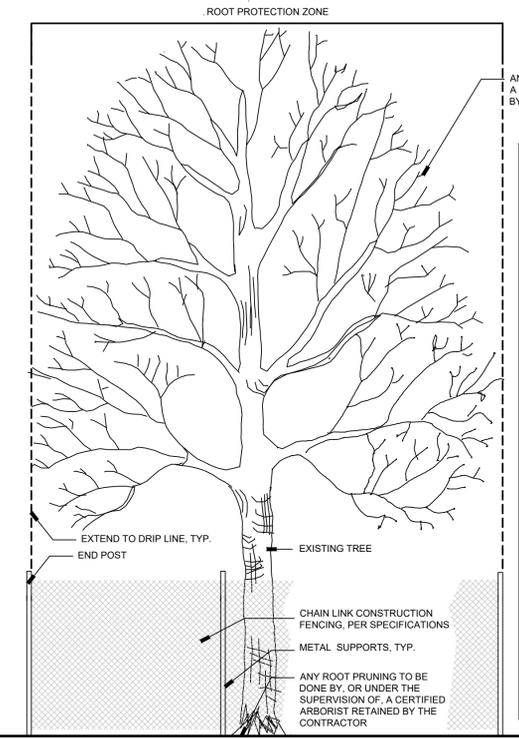
- PRIOR TO THE START OF CONSTRUCTION, A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND NOTICE OF INTENT (NOI) MUST BE PREPARED AND FILED WITH NPDES BY THE CONTRACTOR. REFER TO THE SWPPP REGARDING ALL EROSION CONTROL MATTERS. MAINTAIN A WORKING COPY OF THE SWPPP ON-SITE AT ALL TIMES. FOLLOW THE SWPPP PROTOCOL FOR SITE MAINTENANCE, INSPECTIONS AND PROPER DOCUMENTATION UNTIL THE SITE HAS BEEN ACCEPTED BY THE OWNER. AT THE COMPLETION OF THE PROJECT THE CONTRACTOR OR OWNER MUST FILE A NOTICE OF TERMINATION WITH NPDES. IN ACCORDANCE WITH NPDES REGULATIONS, THE COMPLETED SWPPP MUST INCLUDE ALL OF THE SITE EROSION CONTROL DOCUMENTATION, WEEKLY EROSION INSPECTION REPORTS COMPLETED BY THE DESIGNATED SITE PERSONNEL, AND ANY OTHER PERTINENT SITE DOCUMENTATION MUST BE RETAINED FOR A MINIMUM OF 3 YEARS FROM THE DATE OF TERMINATION.
- DESIGNATE THE SITE CONSTRUCTION FOREMAN AS THE ON-SITE PERSONNEL RESPONSIBLE FOR THE DAILY INSPECTION AND MAINTENANCE OF ALL SEDIMENT AND EROSION CONTROLS AND IMPLEMENTATION OF ALL NECESSARY MEASURES TO CONTROL EROSION AND PREVENT SEDIMENT FROM LEAVING THE SITE.
- INSTALL ALL EROSION AND SEDIMENT CONTROL (ESC) MEASURES AS INDICATED ON DRAWINGS IN CONSULTATION WITH THE CONSERVATION AGENT, AND ENGINEER BEFORE ANY CONSTRUCTION ACTIVITIES BEGIN. INSPECT, MAINTAIN REPAIR AND REPLACE EROSION CONTROL MEASURES, AS NECESSARY, DURING THE ENTIRE CONSTRUCTION PERIOD OF THE PROJECT. THE SITE PERIMETER EROSION CONTROLS ARE THE DESIGNATED LIMIT OF WORK. PERSONNEL WORKING ON THE PROJECT SITE THAT NO CONSTRUCTION ACTIVITY IS TO OCCUR BEYOND THE LIMIT OF WORK AT ANY TIME THROUGHOUT THE CONSTRUCTION PERIOD.
- MAINTAIN A MINIMUM SURPLUS OF 100 FEET OF EROSION CONTROL BARRIER (SILT SOCK) ON-SITE AT ALL TIMES.
- PROTECT THE EXISTING DRAINAGE INFRASTRUCTURE FROM SEDIMENTATION DURING PROJECT CONSTRUCTION UNTIL DRAINAGE BY THE OWNER & IN CONFORMANCE WITH THE ORDER OF CONDITIONS.
- PROVIDE CONSTRUCTION EXITS AS INDICATED ON DRAWINGS TO SHED DIRT FROM CONSTRUCTION VEHICLE TIRES. CLEAN AND/OR REPLACE THE CRUSHED STONE PAD, AS NECESSARY, TO MAINTAIN ITS EFFECTIVENESS.
- KEEP THE LIMIT OF CLEARING, GRADING AND DISTURBANCES TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. LIMIT THE DISTURBED AREA TO THE MINIMUM NECESSARY TO COMPLETE THE PROJECT. IF TREES ARE TO BE CUT ON THE ENTIRE SITE, CLEAR AND GRUB ONLY THOSE AREAS WHICH ARE ACTIVELY UNDER CONSTRUCTION. PROPERLY INSTALL THE SEDIMENTATION CONTROLS PRIOR TO BEGINNING ANY LAND CLEARING ACTIVITY AND/OR OTHER CONSTRUCTION RELATED WORK.
- MONITOR LOCAL WEATHER REPORTS DURING CONSTRUCTION AND PRIOR TO SCHEDULING EARTHMOVING OR OTHER CONSTRUCTION ACTIVITIES WHICH LEAVE LARGE DISTURBED AREAS UNSTABILIZED. IF INCLEMENT WEATHER IS PREDICTED, USE BEST PROFESSIONAL JUDGEMENT AND GOOD CONSTRUCTION PRACTICES WHEN SCHEDULING CONSTRUCTION ACTIVITIES AND ENSURE THE NECESSARY EROSION CONTROL DEVICES ARE INSTALLED AND FUNCTIONING PROPERLY TO MINIMIZE EROSION FROM ANY IMPENDING WEATHER EVENTS.
- INSPECT EROSION AND SEDIMENT CONTROL DEVICES AND STABILIZED SLOPES ON A WEEKLY BASIS AND AFTER EACH RAINFALL EVENT OF .25 INCH OR GREATER. REPAIR IDENTIFIED PROBLEMS WITHIN 24 HOURS TO ENSURE EROSION AND SEDIMENT CONTROL ARE IN GOOD WORKING ORDER. RESET OR REPLACE MATERIALS AS REQUIRED.
- SURROUND THE PERIMETER OF SOIL STOCKPILES WITH SILT SOCK, SILT FENCE, STRAWBALES, OR A COMBINATION OF SILT FENCE WITH STRAWBALE, AS DETERMINED NECESSARY.
- DISTURBED AREAS AND SLOPES MUST NOT BE LEFT UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON. PROVIDE APPROPRIATE STABILIZATION PRACTICES ON ALL DISTURBED AREAS AS SOON AS POSSIBLE BUT NOT MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED. REINFORCE TEMPORARY AREAS HAVING A SLOPE GREATER THAN 4:1 WITH EROSION BLANKETS OR APPROVED EQUAL UNTIL THE SITE IS PROPERLY STABILIZED. TEMPORARY SWALES MAY ALSO BE REQUIRED IF DETERMINED NECESSARY IN THE FIELD BY THE ENGINEER.
- INSTALL A SILT SACK OR APPROVED EQUIVALENT IN EACH EXISTING CATCH BASIN RECEIVING RUNOFF FROM THE SITE. UPON THE INSTALLATION OF EACH NEW CATCH BASIN, INSTALL A SILT SACK OR APPROVED EQUIVALENT. INSPECT SILT SACKS, AFTER EACH SIGNIFICANT STORM EVENT AND REMOVE AND EMPTY AS NEEDED FOR THE DURATION OF THE CONSTRUCTION PERIOD.
- TEMPORARY SEDIMENTATION BASINS AND SWALES WILL BE CONSTRUCTED ON AN AS-NEEDED BASIS DURING CONSTRUCTION TO AID IN THE CAPTURE OF SITE RUNOFF AND SEDIMENT. IT WILL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR, IN CONSULTATION WITH THE ENGINEER, TO SIZE AND CREATE THESE BASINS IN APPROPRIATE LOCATIONS.
- CONTAIN ALL SEDIMENT ON-SITE. SWEEP ALL EXITS FROM THE SITE, AS NECESSARY INCLUDING ANY SEDIMENT TRACKING. SWEEP PAVED AREAS AS NEEDED TO REMOVE SEDIMENT AND POTENTIAL POLLUTANTS ACCUMULATED DURING SITE CONSTRUCTION.
- REGULARLY REMOVE ACCUMULATED SEDIMENT FROM ALL TEMPORARY PRACTICES AND AFTER RAIN EVENTS TO MAINTAIN PROPER DRAINAGE. DISPOSE OF IN A PRE-APPROVED LOCATION.
- PROVIDE ON-SITE OR MAKE READILY AVAILABLE THE NECESSARY EQUIPMENT AND SITE PERSONNEL DURING CONSTRUCTION HOURS FOR THE DURATION OF THE PROJECT TO ENSURE EROSION AND SEDIMENTATION CONTROL DEVICES ARE PROPERLY MAINTAINED AND REPAIRED IN A TIMELY AND RESPONSIBLE MANNER. IF SITE WORK IS SUSPENDED DURING THE WINTER MONTHS THE CONTRACTOR MUST CONTINUE TO PROVIDE PERSONNEL AND EQUIPMENT EITHER ON-SITE OR READILY AVAILABLE TO PROPERLY MAINTAIN AND REPAIR ALL EROSION AND SEDIMENTATION CONTROL DEVICES IN A TIMELY AND RESPONSIBLE MANNER.
- CONTROL DUST BY WATERING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE INSPECTION AND MAINTENANCE DURING CONSTRUCTION OF ALL STORMWATER FACILITIES INSTALLED OR AFFECTED BY THE PROJECT. REMOVE SEDIMENT OR DEBRIS COLLECTED WITHIN THESE FACILITIES AS REQUIRED FOR PROPER FUNCTION AND CONTROL OF SITE RUNOFF DURING CONSTRUCTION AND PRIOR TO THE OWNER'S ACCEPTANCE.
- CONSTRUCTION ENTRANCE TO BE COORDINATED WITH CITY TO PRESERVE TREES ON-SITE AS REQUIRED.

**DEWATERING:**

- A HIGH WATER TABLE IS NOT ANTICIPATED. HOWEVER, IF DEWATERING IS REQUIRED DURING EXCAVATION, TEMPORARILY LOWER THE WATER TABLE (PER SPECIFICATIONS OR) BY PUMPING. INSTALL A DEWATERING BASIN AS INDICATED IN THE DEWATERING BASIN DETAIL AND PROVIDE A DEWATERING PLAN DEPICTING PROPOSED DEWATERING LOCATION FOR REVIEW AND APPROVAL. DIRECT THE PUMP DISCHARGE TO BASIN TO PREVENT SEDIMENTS FROM LEAVING THE CONSTRUCTION AREA. INSTALL ADDITIONAL BASINS IF REQUIRED. INSTALL THE BASIN AS INDICATED ON DRAWINGS IF SO NOTED, OTHERWISE INSTALL THE BASIN(S) WITHIN THE LIMIT OF DISTURBANCE INDICATED BY THE SILT FENCE OR STRAWBALES.
- PRIOR TO ANY DEWATERING, THE DEWATERING PLAN MUST BE APPROVED BY THE ENGINEER.
- IF DEWATERING IS NECESSARY DURING CONSTRUCTION, IMPLEMENT THE PROPER ESC MEASURES ON SITE TO PREVENT EROSION OR SEDIMENT RUNOFF. THESE MEASURES CAN INCLUDE DEWATERING BAGS, TEMPORARY STRAWBALES, SILT FENCES, SILT SOCKS AND/OR OTHER APPROVED DEVICES AS INDICATED IN THE DETAILS.

**PROPOSED LEGEND:**

PROPOSED LINETYPES	SYMBOLS
<b>GENERAL</b>	ADA SYMBOL
CENTERLINE	BENCH
LIMIT OF WORK	BOLLARD
<b>SITWORK</b>	AUG# BORING
CHAIN LINK FENCE	CABLE TV BOX
CONCRETE	CATCH BASIN
CURB	CLEANOUT
GRAVEL	CS CURB STOP
GUARDRAIL	DOUBLE CATCH BASIN
PATHWAY	DS DOWNSPOUT
PAVEMENT	DRAIN MANHOLE
PAVEMENT STRIPING	ELECTRIC BOX
PERMEABLE PAVERS	ELECTRIC HANDHOLE
RETAINING WALL	ELECTRIC MANHOLE
STORMWATER AREA	ELECTRIC METER
WOOD FENCE	EM GAS METER
<b>TOPOGRAPHY</b>	EM GAS VALVE
MAJOR CONTOUR	GUY
MINOR CONTOUR	HYDRANT
FORCE MAIN	IRIGATION
GAS	IRIGATION BOX
IRIGATION	INLET PROTECTION
OVERHEAD WIRE	METAL SUPPORTS, TYP.
SANITARY SEWER	IRRIGATION BOX
UNDERGROUND ELECTRIC	LIGHT POST
WATER	MANHOLE
<b>EROSION &amp; SEDIMENT CONTROL</b>	METER PIT
SAWCUT	OVERFLOW STRUCTURE
SILT SOCK	PIPE STUB
CHAIN LINK CONSTRUCTION FENCE	PROPOSED SPOT GRADE
	EL.95.00
	SEWER MANHOLE
	SIGN
	TELEPHONE BOX
	TELEPHONE MANHOLE
	THRUST BLOCK
	TREE
	TREE REMOVAL
	UTILITY POLE
	UTILITY POLE WIGWAG
	VEHICLE CIRCULATION
	VEHICLE CIRCULATION
	WATER VALVE
	WATER WELL

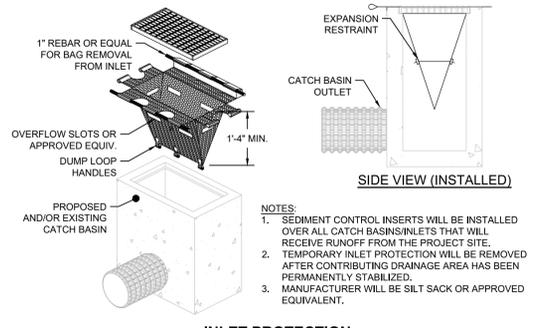


**CHAIN LINK CONSTRUCTION FENCE AND TREE PROTECTION**  
NOT TO SCALE

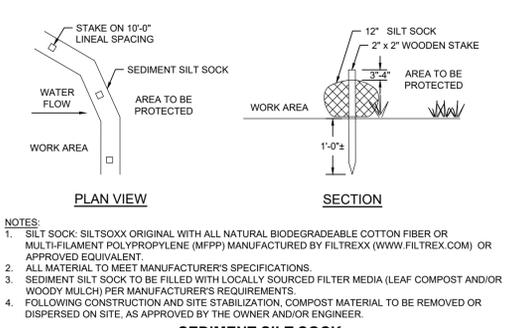


**CONSTRUCTION ENTRANCE / EXIT MAT**  
NOT TO SCALE

- NOTES:
- MATS ARE DESIGNED TO SHAKE LOOSE DEBRIS AND DIRT FROM TRUCK TIRES BEFORE TRUCKS LEAVE THE JOBSITE.
  - MANUFACTURERS/PRODUCTS OR APPROVED EQUIVALENT:  
YAMMAT: OULTRAK MAT  
PRESTO GEOSYSTEMS: GEOTERRA  
GME-SHIELDS: EXIT GRID
  - CONSTRUCTION ENTRANCE(S) TO REMAIN UNTIL INSTALLATION OF PAVEMENT SUB-BASE IS TO BEGIN.
  - SEE SITE PLAN FOR LOCATION & ACTUAL DIMENSIONS.



**INLET PROTECTION**  
NOT TO SCALE



**SEDIMENT SILT SOCK**  
NOT TO SCALE

- NOTES:**
- ALL TREE & PLANT PROTECTION ZONES SHALL HAVE PROTECTIVE BARRIER FENCES ERRECTED AT THE EDGES OF THE ROOT PROTECTION ZONES.
  - LOCATE AND ESTABLISH ALL TREE & PLANT PROTECTION ZONES, PER SPECIFICATIONS, AND REVIEW WITH OWNER'S REPRESENTATIVE IN FIELD PRIOR TO THE START OF WORK. PROVIDE TREE PROTECTION FENCING AROUND ANY TREE TO REMAIN THAT IS WITHIN 20'-0" OF ANY NEW HARDCORE OR FENCE INSTALLATION, EVEN IF NOT EXPLICITLY NOTED IN THE DRAWINGS.
  - THE FENCES SHALL BE MADE OF CHAIN LINK FENCING AND SUPPORTED BY FENCE POSTS SPACED A MAXIMUM OF 6-FEET APART, PER SPECIFICATIONS.
  - TREE FENCES SHALL BE ERRECTED AROUND ROOT PROTECTION ZONE OF ALL TREES TO BE SAVED PRIOR TO THE START OF CONSTRUCTION.
  - NO GRADING, FILLING, OPERATION OR STORAGE OF EQUIPMENT, MODIFICATIONS TO DRAINAGE, UTILITY TRENCHES, UNDERSTORY REMOVAL, OR OTHER ACTIVITY SHOULD OCCUR WITHIN THE ROOT PROTECTION ZONES (UNLESS UNDER THE DIRECT SUPERVISION OF A CERTIFIED ARBORIST).
  - A CERTIFIED ARBORIST, WORKING FOR A TREE SERVICE FIRM SPECIALIZING IN TREE CARE, SHALL ASSESS THE HEALTH OF ALL TREES TO REMAIN ON SITE THROUGHOUT THE DURATION OF WORK. ARBORIST IS TO PERFORM ANY ROOT PRUNING/CUTTING AND DEEP ROOT FERTILIZATION THAT IS NECESSARY IN ORDER TO REDUCE IMPACT ON OVERALL HEALTH OF TREE AND MINIMIZE DAMAGE.
  - REMOVE TREE PROTECTION FENCING ONE WEEK PRIOR TO FINAL COMPLETION, ONLY WHEN FIRST APPROVED BY LANDSCAPE ARCHITECT.
  - ALL EXISTING TREES TO REMAIN SHALL BE AIR SPADED AND DEEP ROOT FERTILIZED BY A CERTIFIED ARBORIST IMMEDIATELY PRIOR TO PLANTING AROUND BASE OF TREES PRIOR TO PROJECT COMPLETION PER THE SPECIFICATIONS.

Client: **Mystic River Watershed Association**  
Mystic River Watershed Association

Land Owners: **City of Somerville**  
City of Somerville

Landscape Architect / Project Prime: **offshoots**  
PRODUCTIVE LANDSCAPES  
Offshoots, Inc.

Civil Engineer: **Horsley Witten Group**  
Sustainable Environmental Solutions  
Horsley Witten Group

Traffic Engineer: **APEX**  
Apex Companies, LLC

**SHORE DRIVE GREENWAY**  
SOMERVILLE, MASSACHUSETTS

**DRAFT NOT FOR CONSTRUCTION**

STAMP:

ISSUE DATE: \_\_\_\_\_

REVISIONS:

#	DATE	DESCRIPTION

DRAWN: SSI/AG REVIEWED: HLC/BRK

**DRAFT PERMIT SET**  
SHEET 2 of 42  
MAY 30, 2025  
**GENERAL NOTES AND EROSION AND SEDIMENT CONTROL DETAILS**  
SHEET NUMBER

**C-1.0**

Client:



Land Owners:



Landscape Architect / Project Prime: **offshoots** PRODUCTION LANDSCAPES Offshoots, Inc.

Civil Engineer: **Horsley Witten Group** Sustainable Environmental Solutions Horsley Witten Group

Traffic Engineer: **APEX** Apex Companies, LLC

# SHORE DRIVE GREENWAY

SOMERVILLE, MASSACHUSETTS

DRAFT  
NOT FOR  
CONSTRUCTION

STAMP:

ISSUE DATE: \_\_\_\_\_

REVISIONS

#	DATE	DESCRIPTION

DRAWN: SS/AG REVIEWED: HLC/BRK

DRAFT  
PERMIT SET

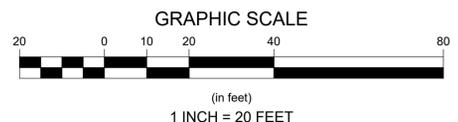
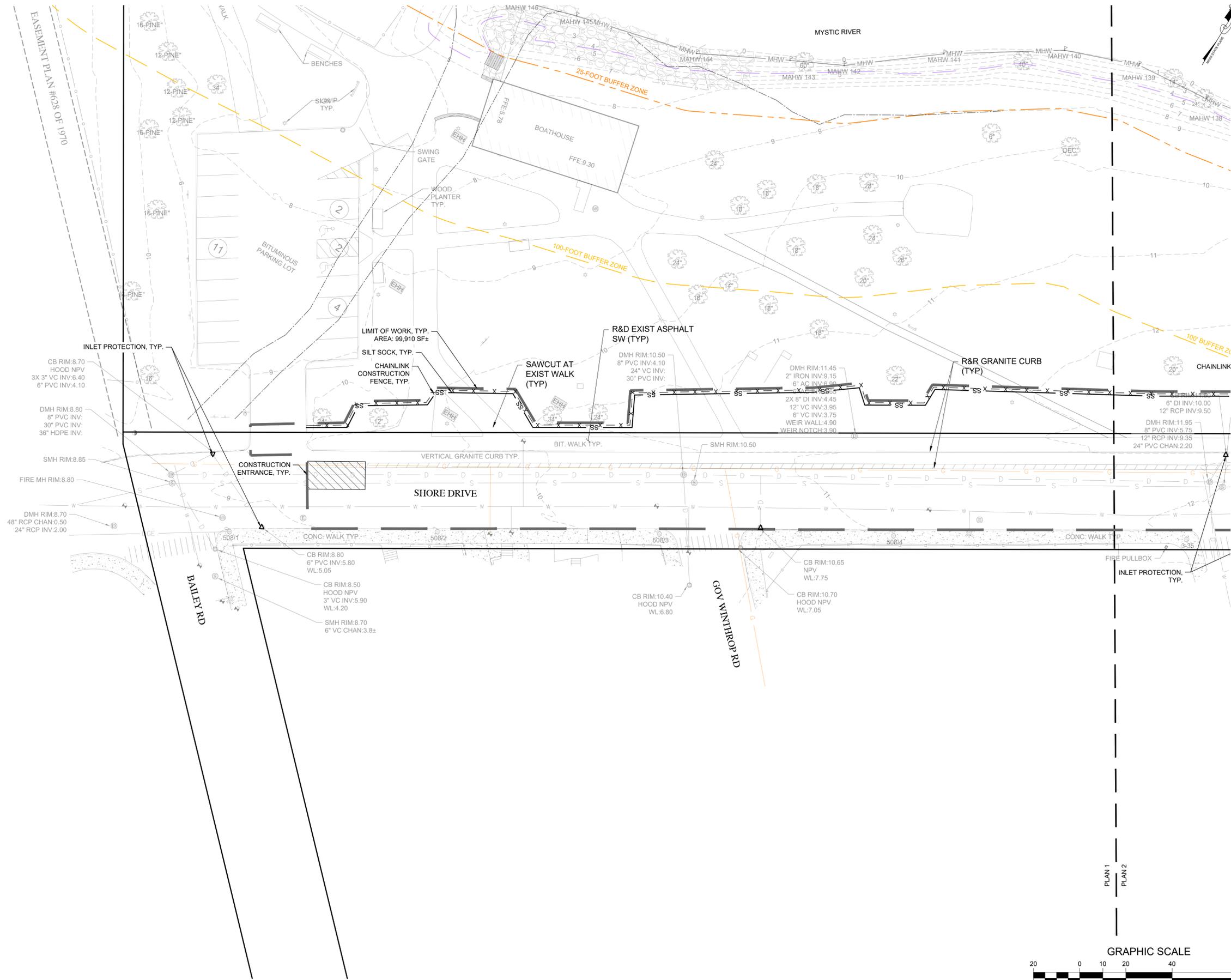
SHEET 3 of 42

MAY 30, 2025

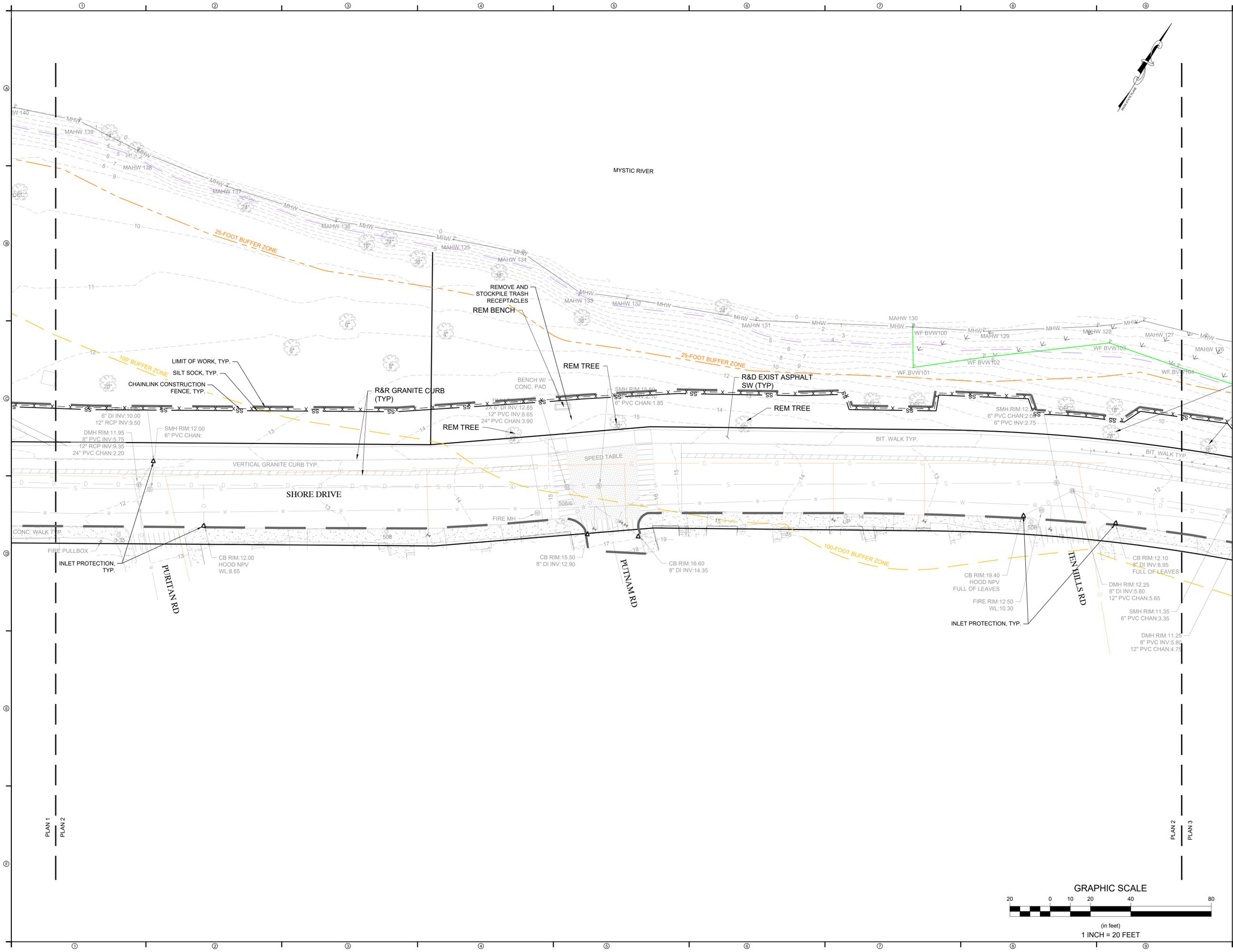
EROSION AND  
SEDIMENTATION  
CONTROL AND DEMO  
PLAN 1

SHEET NUMBER

# C-1.1



May 20, 2025 - 3:45pm  
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Client: **Mystic River Watershed Association**  
Mystic River Watershed Association

Land Owners: **City of Somerville** and **DCR**  
City of Somerville DCR

Landscape Architect / Project Prime: **offshoots**  
Offshoots, Inc.

Civil Engineer: **Horsley Witten Group**  
Sustainable Environmental Solutions  
Horsley Witten Group

Traffic Engineer: **APEX**  
Apex Companies, LLC

# SHORE DRIVE GREENWAY

SOMERVILLE, MASSACHUSETTS

**DRAFT**  
NOT FOR CONSTRUCTION

STAMP:

ISSUE DATE: \_\_\_\_\_

REVISIONS

#	DATE	DESCRIPTION

DRAWN: SS/AG REVIEWED: HLC/BRK

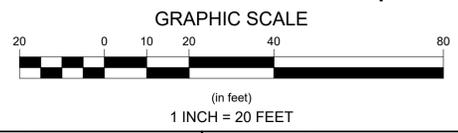
**DRAFT PERMIT SET**  
SHEET 4 of 42

MAY 30, 2025

**EROSION AND SEDIMENTATION CONTROL AND DEMO PLAN 2**

SHEET NUMBER

**C-1.2**



May 20, 2025 - 3:59pm  
 H:\Projects\2025\191125-EROSION AND SEDIMENTATION CONTROL AND DEMO PLAN 2\GREENWAY.dwg





# SHORE DRIVE GREENWAY

SOMERVILLE, MASSACHUSETTS

**DRAFT**  
NOT FOR CONSTRUCTION

STAMP:

ISSUE DATE: \_\_\_\_\_

REVISIONS

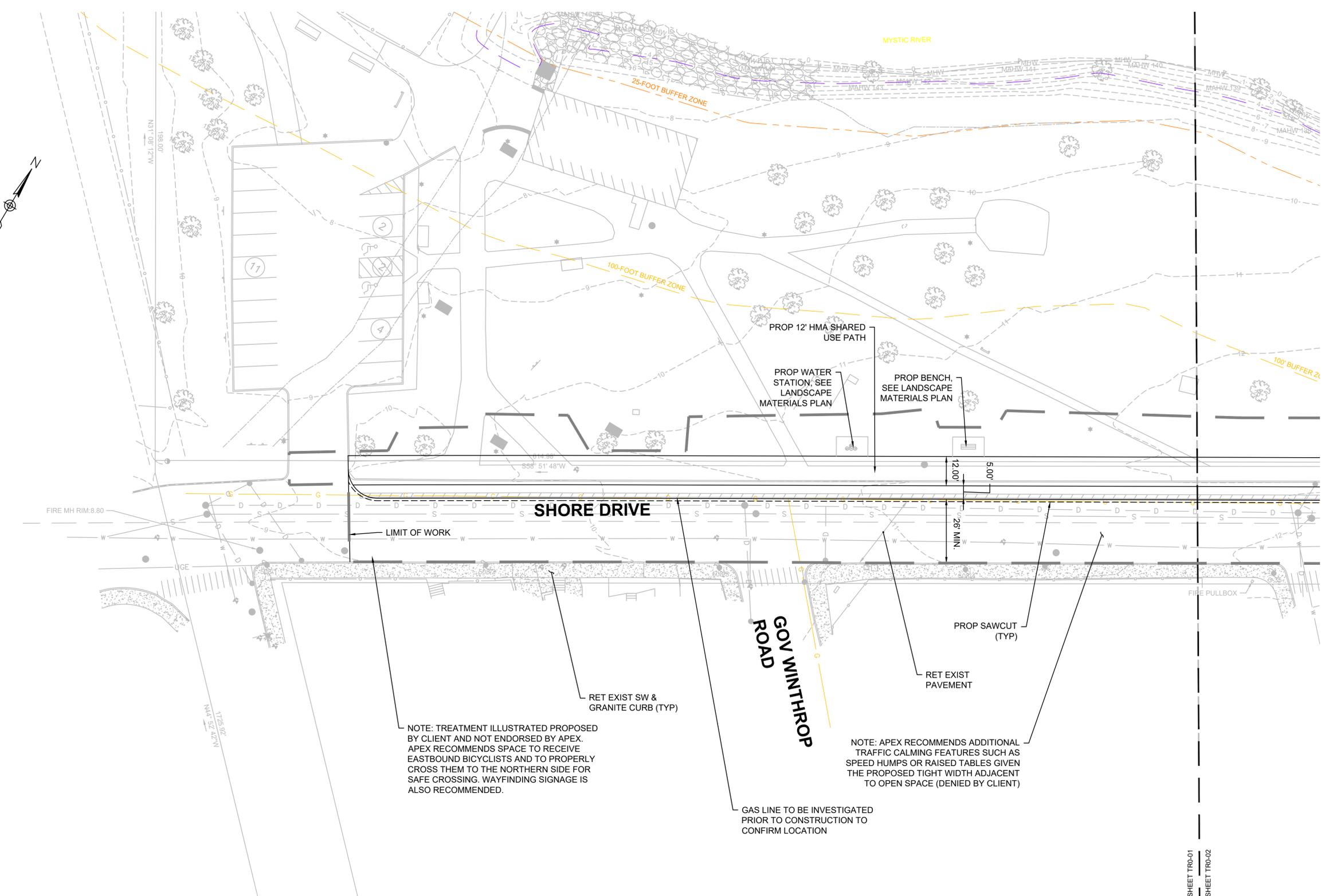
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DRAWN: CAU REVIEWED: SCH

**DRAFT PERMIT SET**  
SHEET 7 of 42  
MAY 30, 2025

**CONSTRUCTION PLAN 1**

SHEET NUMBER  
**TR0-01**

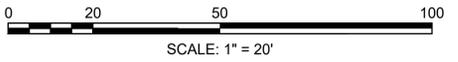


NOTE: TREATMENT ILLUSTRATED PROPOSED BY CLIENT AND NOT ENDORSED BY APEX. APEX RECOMMENDS SPACE TO RECEIVE EASTBOUND BICYCLISTS AND TO PROPERLY CROSS THEM TO THE NORTHERN SIDE FOR SAFE CROSSING. WAYFINDING SIGNAGE IS ALSO RECOMMENDED.

NOTE: APEX RECOMMENDS ADDITIONAL TRAFFIC CALMING FEATURES SUCH AS SPEED HUMPS OR RAISED TABLES GIVEN THE PROPOSED TIGHT WIDTH ADJACENT TO OPEN SPACE (DENIED BY CLIENT)

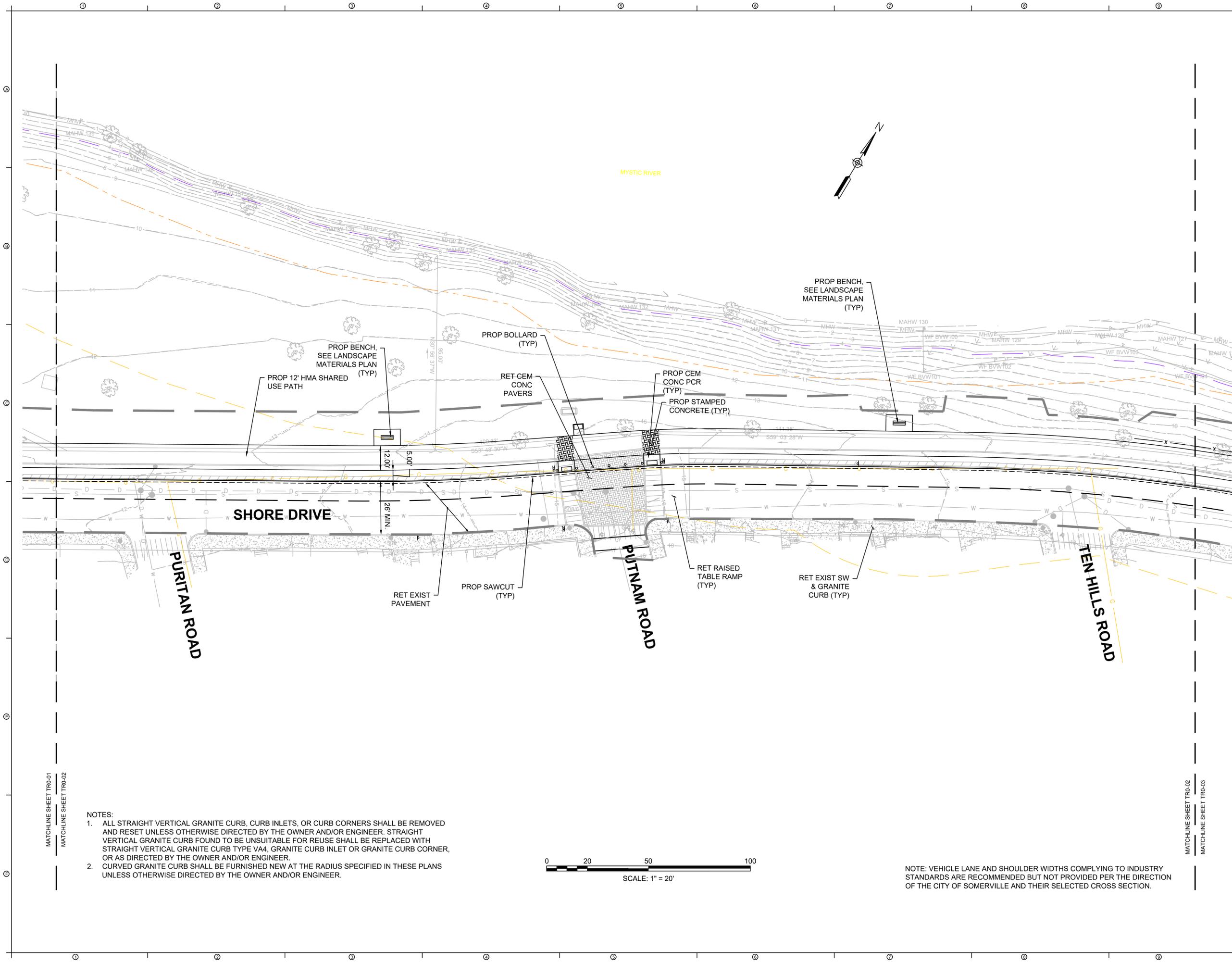
GAS LINE TO BE INVESTIGATED PRIOR TO CONSTRUCTION TO CONFIRM LOCATION

- NOTES:
- ALL STRAIGHT VERTICAL GRANITE CURB, CURB INLETS, OR CURB CORNERS SHALL BE REMOVED AND RESET UNLESS OTHERWISE DIRECTED BY THE OWNER AND/OR ENGINEER. STRAIGHT VERTICAL GRANITE CURB FOUND TO BE UNSUITABLE FOR REUSE SHALL BE REPLACED WITH STRAIGHT VERTICAL GRANITE CURB TYPE VA4, GRANITE CURB INLET OR GRANITE CURB CORNER, OR AS DIRECTED BY THE OWNER AND/OR ENGINEER.
  - CURVED GRANITE CURB SHALL BE FURNISHED NEW AT THE RADIUS SPECIFIED IN THESE PLANS UNLESS OTHERWISE DIRECTED BY THE OWNER AND/OR ENGINEER.



NOTE: VEHICLE LANE AND SHOULDER WIDTHS COMPLYING TO INDUSTRY STANDARDS ARE RECOMMENDED BUT NOT PROVIDED PER THE DIRECTION OF THE CITY OF SOMERVILLE AND THEIR SELECTED CROSS SECTION.

MATCHLINE SHEET TR0-01  
MATCHLINE SHEET TR0-02



Client: **Mystic River Watershed Association**  
Mystic River Watershed Association

Land Owners: **City of Somerville** and **DCR**

Landscape Architect / Project Prime: **offshoots**  
Offshoots, Inc.

Civil Engineer: **Horsley Witten Group**  
Sustainable Environmental Solutions  
Horsley Witten Group

Traffic Engineer: **APEX**  
Apex Companies, LLC

# SHORE DRIVE GREENWAY

SOMERVILLE, MASSACHUSETTS

**DRAFT**  
NOT FOR CONSTRUCTION

STAMP:

ISSUE DATE: \_\_\_\_\_

REVISIONS

#	DATE	DESCRIPTION

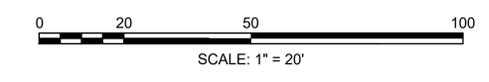
DRAWN: CAU      REVIEWED: SCH

**DRAFT PERMIT SET**  
SHEET 8 of 42  
MAY 30, 2025

**CONSTRUCTION PLAN 2**

SHEET NUMBER  
**TR0-02**

- NOTES:
- ALL STRAIGHT VERTICAL GRANITE CURB, CURB INLETS, OR CURB CORNERS SHALL BE REMOVED AND RESET UNLESS OTHERWISE DIRECTED BY THE OWNER AND/OR ENGINEER. STRAIGHT VERTICAL GRANITE CURB FOUND TO BE UNSUITABLE FOR REUSE SHALL BE REPLACED WITH STRAIGHT VERTICAL GRANITE CURB TYPE VA4, GRANITE CURB INLET OR GRANITE CURB CORNER, OR AS DIRECTED BY THE OWNER AND/OR ENGINEER.
  - CURVED GRANITE CURB SHALL BE FURNISHED NEW AT THE RADIUS SPECIFIED IN THESE PLANS UNLESS OTHERWISE DIRECTED BY THE OWNER AND/OR ENGINEER.



NOTE: VEHICLE LANE AND SHOULDER WIDTHS COMPLYING TO INDUSTRY STANDARDS ARE RECOMMENDED BUT NOT PROVIDED PER THE DIRECTION OF THE CITY OF SOMERVILLE AND THEIR SELECTED CROSS SECTION.

May 20, 2025 - 5:11pm  
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# SHORE DRIVE GREENWAY

SOMERVILLE, MASSACHUSETTS

DRAFT  
NOT FOR  
CONSTRUCTION

STAMP:

ISSUE DATE: \_\_\_\_\_

REVISIONS

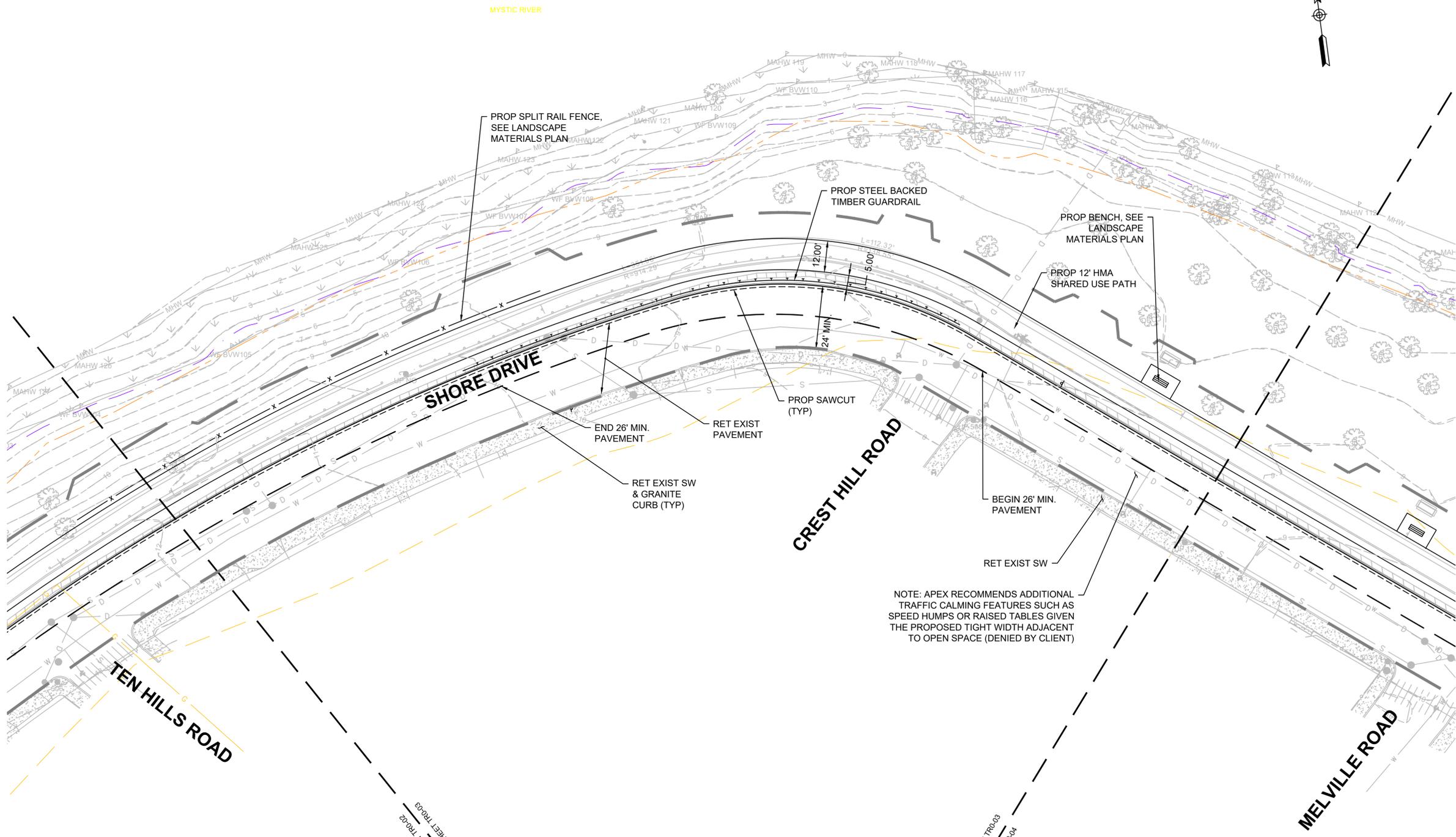
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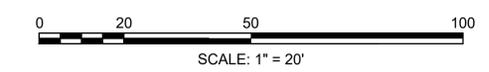
DRAFT  
PERMIT SET  
SHEET 9 of 42  
MAY 30, 2025

CONSTRUCTION  
PLAN 3

SHEET NUMBER  
**TR0-03**

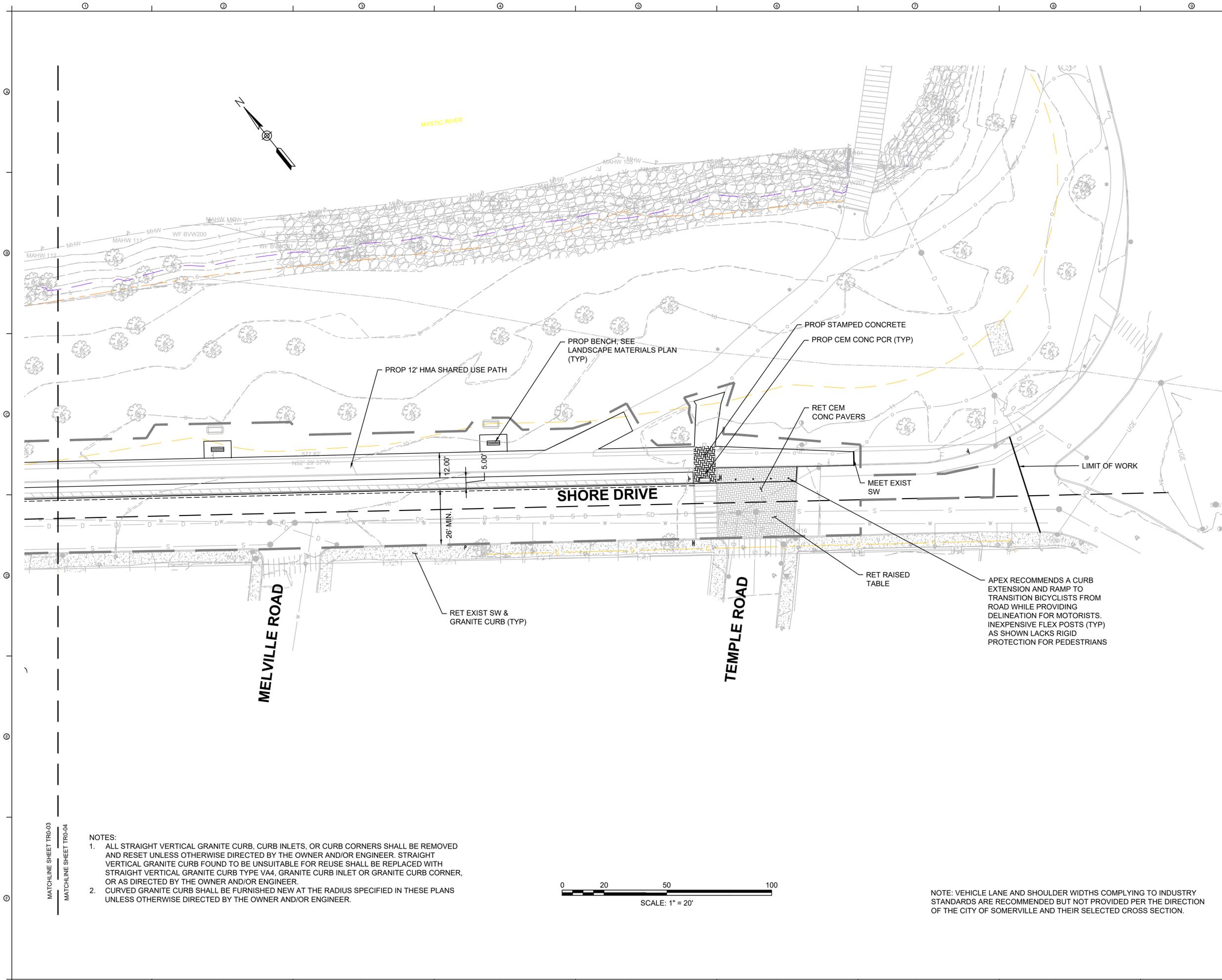


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NOTE: VEHICLE LANE AND SHOULDER WIDTHS COMPLYING TO INDUSTRY STANDARDS ARE RECOMMENDED BUT NOT PROVIDED PER THE DIRECTION OF THE CITY OF SOMERVILLE AND THEIR SELECTED CROSS SECTION.

May 20, 2025 - 5:11pm  
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Client:  
**Mystic River**  
 WATERSHED ASSOCIATION  
 Mystic River Watershed Association

Land Owners:  
   
 City of Somerville DCR

Landscape Architect / Project Prime:  
  
 Offshoots, Inc.

Civil Engineer:  
  
 Sustainable Environmental Solutions  
 Horsley Witten Group

Traffic Engineer:  
  
 Apex Companies, LLC

**SHORE DRIVE  
 GREENWAY**  
 SOMERVILLE,  
 MASSACHUSETTS

**DRAFT  
 NOT FOR  
 CONSTRUCTION**

STAMP:

ISSUE DATE: \_\_\_\_\_

REVISIONS

#	DATE	DESCRIPTION

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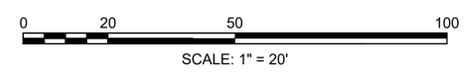
**DRAFT  
 PERMIT SET**  
 SHEET 10 of 42

MAY 30, 2025

**CONSTRUCTION  
 PLAN 4**

SHEET NUMBER  
**TR0-04**

- NOTES:
- ALL STRAIGHT VERTICAL GRANITE CURB, CURB INLETS, OR CURB CORNERS SHALL BE REMOVED AND RESET UNLESS OTHERWISE DIRECTED BY THE OWNER AND/OR ENGINEER. STRAIGHT VERTICAL GRANITE CURB FOUND TO BE UNSUITABLE FOR REUSE SHALL BE REPLACED WITH STRAIGHT VERTICAL GRANITE CURB TYPE VA4, GRANITE CURB INLET OR GRANITE CURB CORNER, OR AS DIRECTED BY THE OWNER AND/OR ENGINEER.
  - CURVED GRANITE CURB SHALL BE FURNISHED NEW AT THE RADIUS SPECIFIED IN THESE PLANS UNLESS OTHERWISE DIRECTED BY THE OWNER AND/OR ENGINEER.



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May 20, 2025: 5:11pm  
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**SHORE DRIVE GREENWAY**  
SOMERVILLE, MASSACHUSETTS

**DRAFT**  
NOT FOR CONSTRUCTION

STAMP:

ISSUE DATE: \_\_\_\_\_

REVISIONS

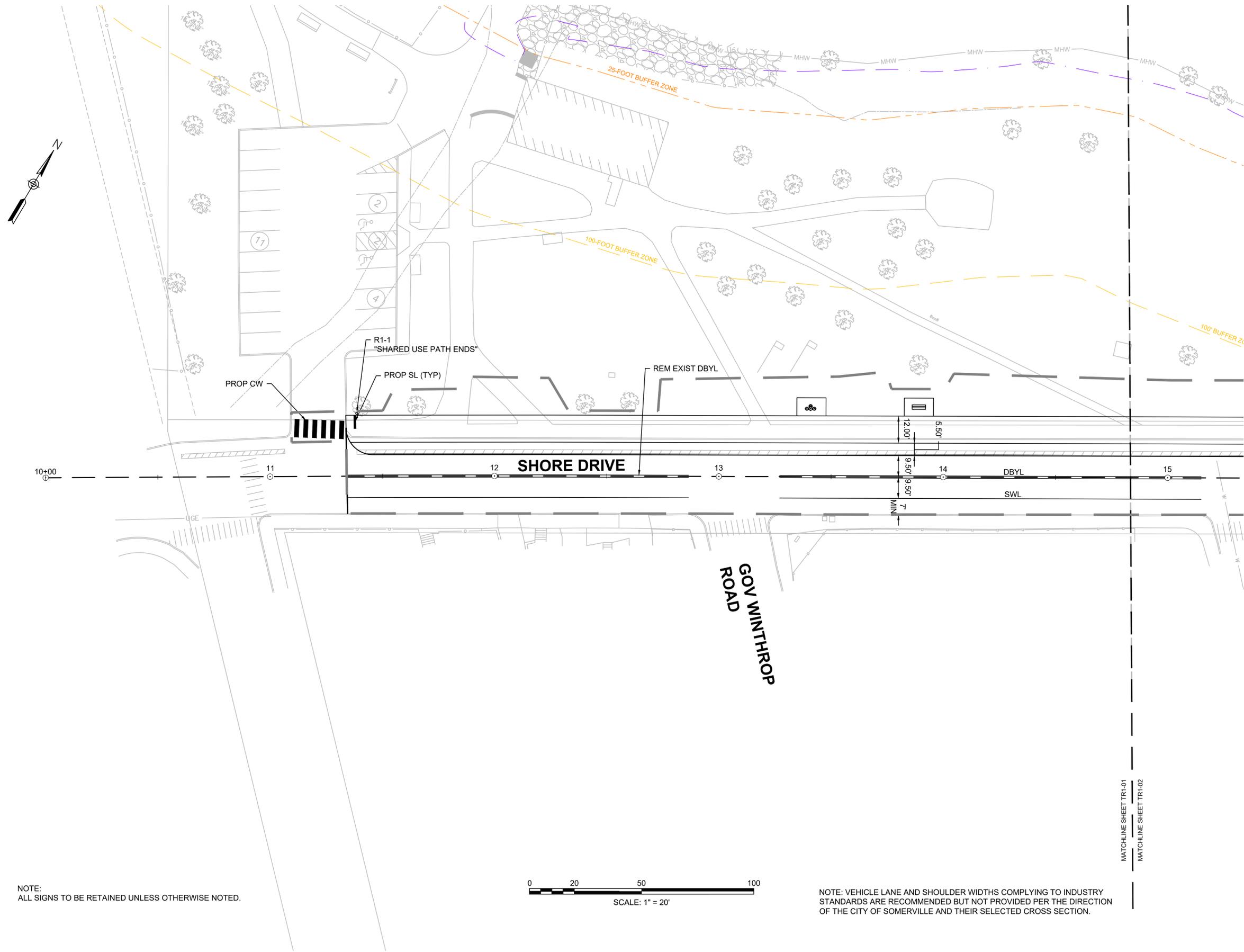
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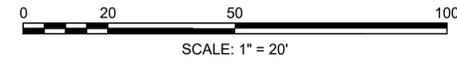
**DRAFT PERMIT SET**  
SHEET 11 of 42  
MAY 30, 2025

**SIGNS AND PAVEMENT MARKINGS PLAN 1**

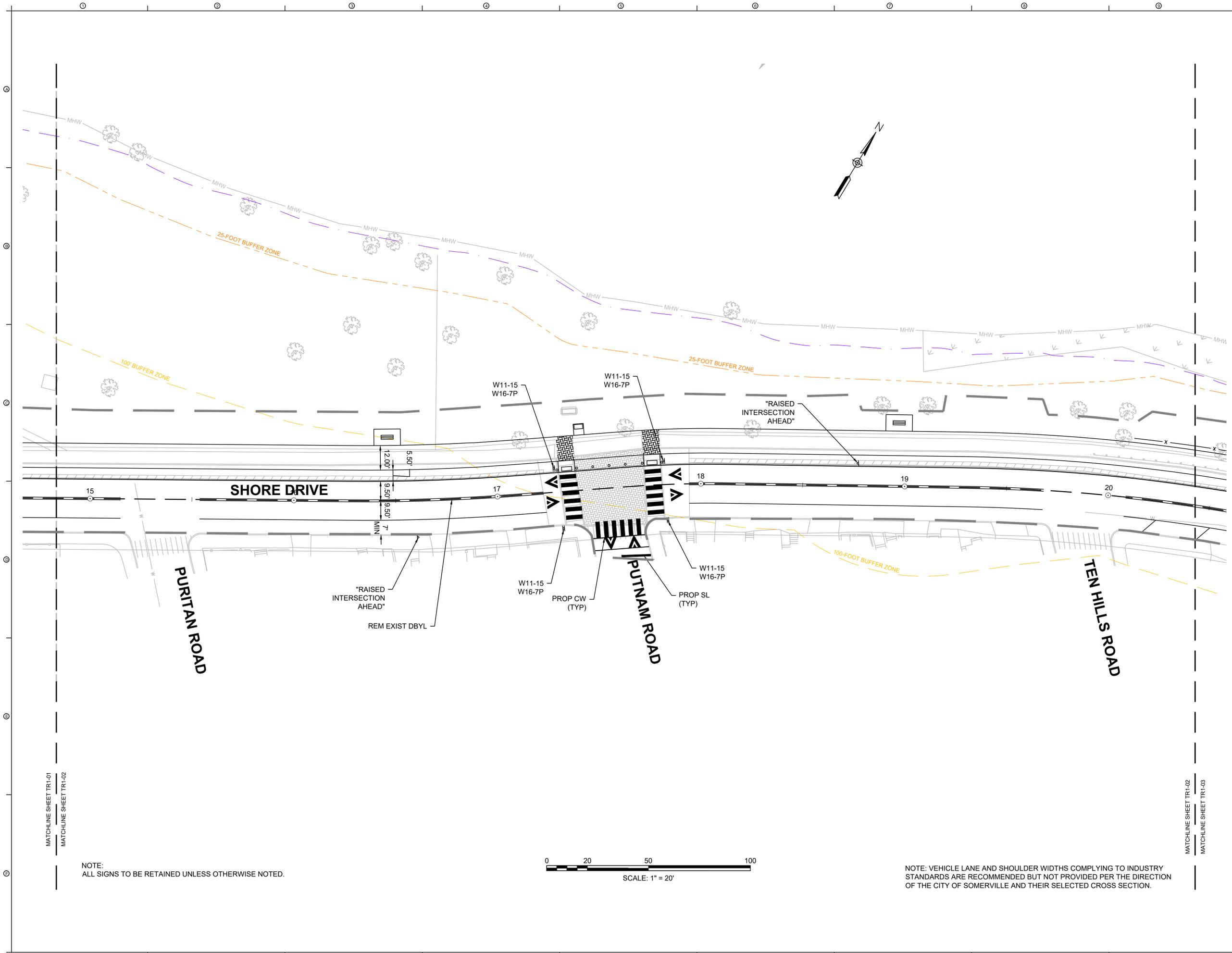
SHEET NUMBER  
**TR1-01**



NOTE: ALL SIGNS TO BE RETAINED UNLESS OTHERWISE NOTED.



NOTE: VEHICLE LANE AND SHOULDER WIDTHS COMPLYING TO INDUSTRY STANDARDS ARE RECOMMENDED BUT NOT PROVIDED PER THE DIRECTION OF THE CITY OF SOMERVILLE AND THEIR SELECTED CROSS SECTION.



Client: **Mystic River Watershed Association**  
 Mystic River Watershed Association

Land Owners: **City of Somerville** and **DCR**  
 City of Somerville DCR

Landscape Architect / Project Prime: **offshoots**  
 PRODUCTIVE LANDSCAPES  
 Offshoots, Inc.

Civil Engineer: **Horsley Witten Group**  
 Sustainable Environmental Solutions  
 Horsley Witten Group

Traffic Engineer: **APEX**  
 Apex Companies, LLC

# SHORE DRIVE GREENWAY

SOMERVILLE, MASSACHUSETTS

**DRAFT**  
 NOT FOR CONSTRUCTION

STAMP:

ISSUE DATE: \_\_\_\_\_

REVISIONS

#	DATE	DESCRIPTION

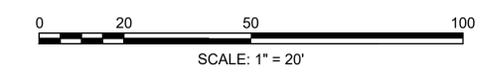
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**DRAFT PERMIT SET**  
 SHEET 12 of 42  
 MAY 30, 2025

**SIGNS AND PAVEMENT MARKINGS PLAN 2**

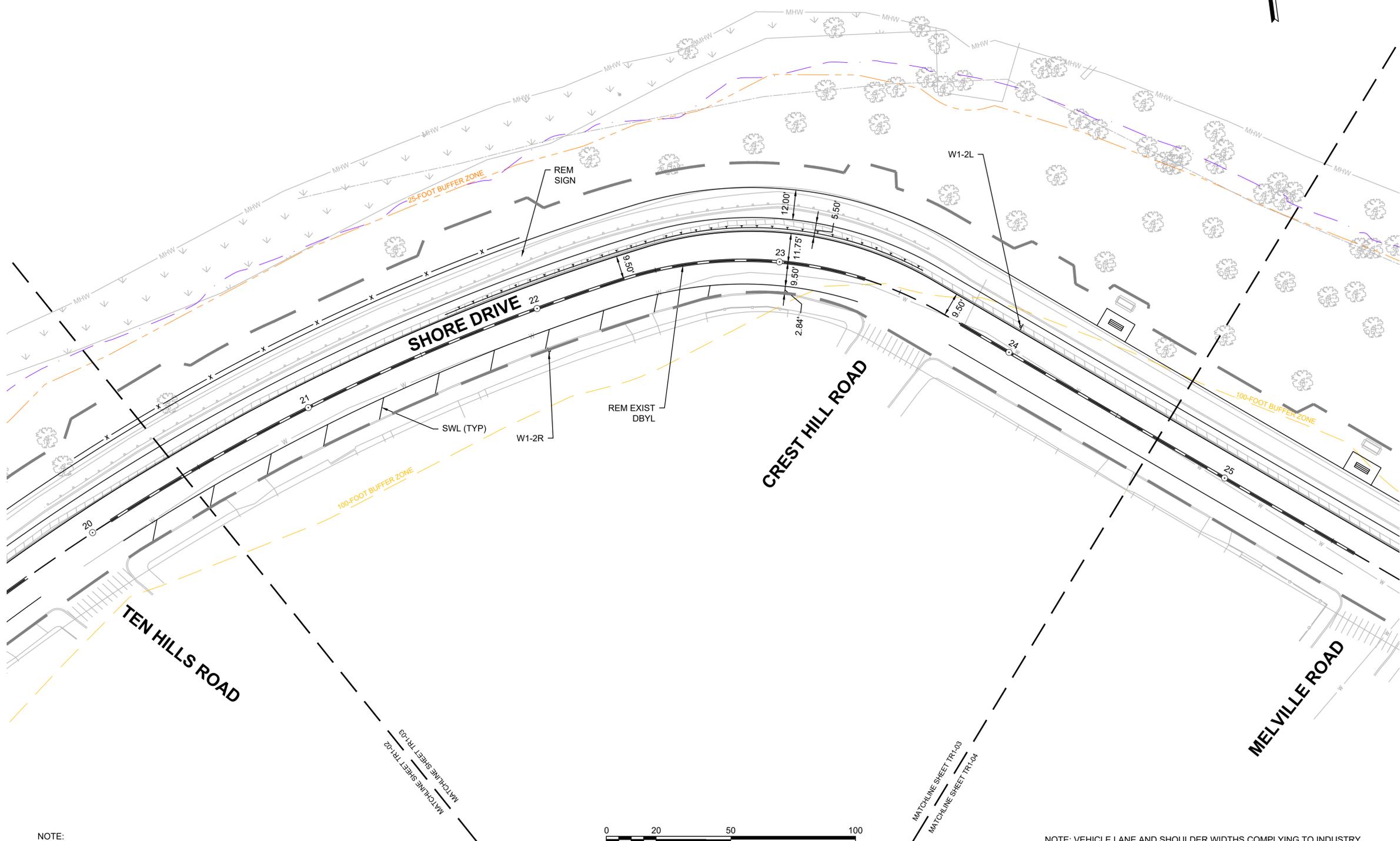
SHEET NUMBER  
**TR1-02**

NOTE:  
 ALL SIGNS TO BE RETAINED UNLESS OTHERWISE NOTED.

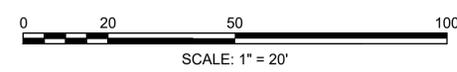


NOTE: VEHICLE LANE AND SHOULDER WIDTHS COMPLYING TO INDUSTRY STANDARDS ARE RECOMMENDED BUT NOT PROVIDED PER THE DIRECTION OF THE CITY OF SOMERVILLE AND THEIR SELECTED CROSS SECTION.

May 20, 2025 - 5:58pm  
 C:\Users\CAU\OneDrive\Documents\Projects\Shore Drive Greenway\Signs and Pavement Markings.dwg



NOTE:  
ALL SIGNS TO BE RETAINED UNLESS OTHERWISE NOTED.



NOTE: VEHICLE LANE AND SHOULDER WIDTHS COMPLYING TO INDUSTRY STANDARDS ARE RECOMMENDED BUT NOT PROVIDED PER THE DIRECTION OF THE CITY OF SOMERVILLE AND THEIR SELECTED CROSS SECTION.



Client: **Mystic River Watershed Association**  
Mystic River Watershed Association

Land Owners: **City of Somerville** and **DCR**

Landscape Architect / Project Prime: **offshoots**  
PRODUCTIVE LANDSCAPES  
Offshoots, Inc.

Civil Engineer: **Horsley Witten Group**  
Sustainable Environmental Solutions  
Horsley Witten Group

Traffic Engineer: **APEX**  
Apex Companies, LLC

# SHORE DRIVE GREENWAY

SOMERVILLE, MASSACHUSETTS

**DRAFT**  
NOT FOR CONSTRUCTION

STAMP:

ISSUE DATE: \_\_\_\_\_

REVISIONS #	DATE	DESCRIPTION

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**DRAFT PERMIT SET**

SHEET 13 of 42

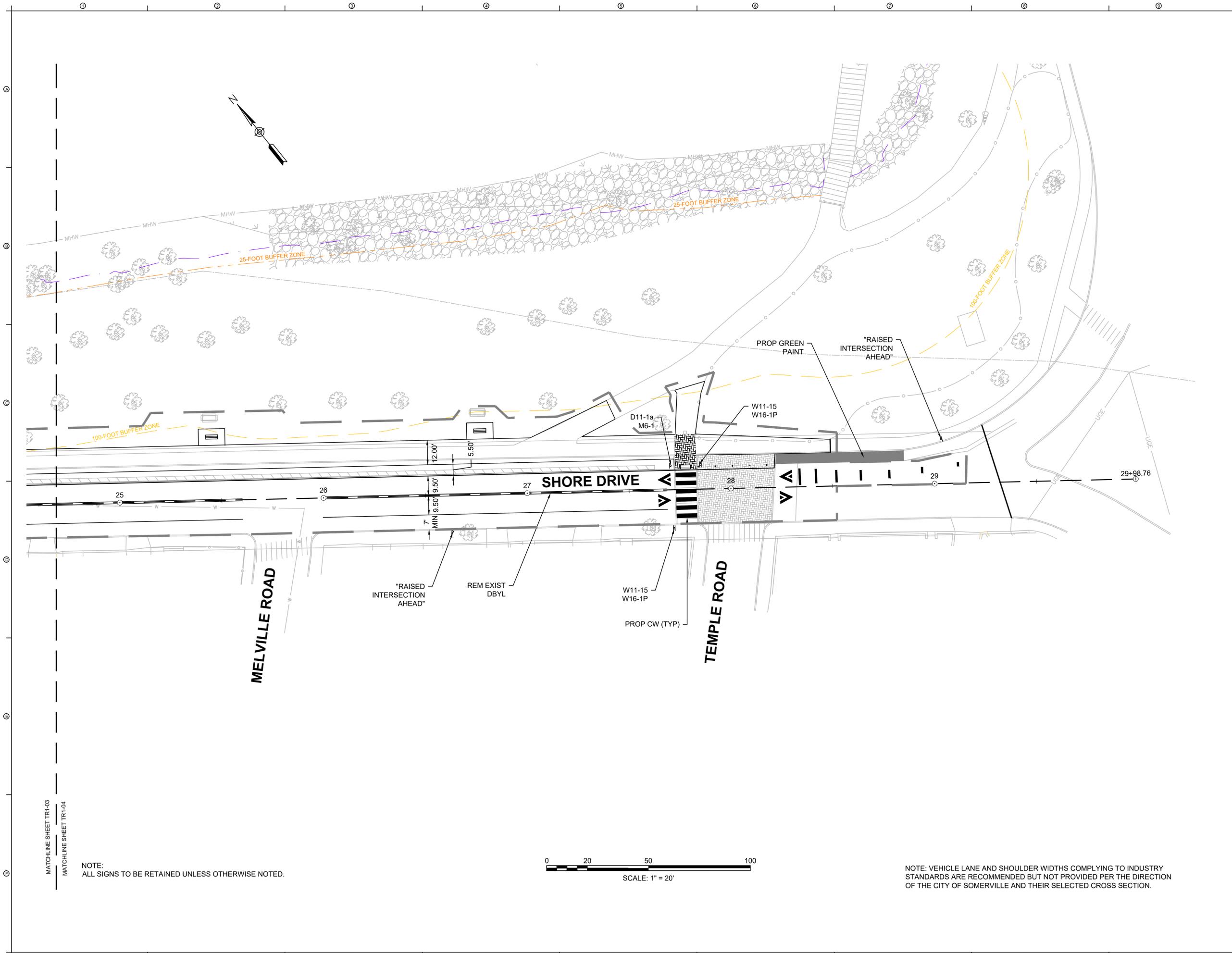
MAY 30, 2025

**SIGNS AND PAVEMENT MARKINGS PLAN 3**

SHEET NUMBER

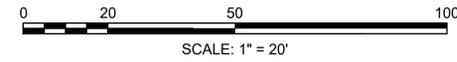
**TR1-03**

May 20, 2025 - 5:58pm  
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MATCHLINE SHEET TR1-03  
MATCHLINE SHEET TR1-04

NOTE:  
ALL SIGNS TO BE RETAINED UNLESS OTHERWISE NOTED.



NOTE: VEHICLE LANE AND SHOULDER WIDTHS COMPLYING TO INDUSTRY STANDARDS ARE RECOMMENDED BUT NOT PROVIDED PER THE DIRECTION OF THE CITY OF SOMERVILLE AND THEIR SELECTED CROSS SECTION.

Client: **Mystic River Watershed Association**  
Mystic River Watershed Association

Land Owners: **City of Somerville** and **DCR**  
City of Somerville DCR

Landscape Architect / Project Prime: **offshoots**  
PRODUCTIVE LANDSCAPES  
Offshoots, Inc.

Civil Engineer: **Horsley Witten Group**  
Sustainable Environmental Solutions  
Horsley Witten Group

Traffic Engineer: **APEX**  
Apex Companies, LLC

# SHORE DRIVE GREENWAY

SOMERVILLE, MASSACHUSETTS

**DRAFT**  
NOT FOR CONSTRUCTION

STAMP:

ISSUE DATE: \_\_\_\_\_

REVISIONS

#	DATE	DESCRIPTION

DRAWN: CAU REVIEWED: SCH

**DRAFT PERMIT SET**  
SHEET 14 of 42

MAY 30, 2025

**SIGNS AND PAVEMENT MARKINGS PLAN 4**

SHEET NUMBER  
**TR1-04**

May 20, 2025 - 5:58pm  
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**SHORE DRIVE GREENWAY**  
SOMERVILLE, MASSACHUSETTS

**DRAFT**  
NOT FOR CONSTRUCTION

STAMP:

ISSUE DATE: \_\_\_\_\_

REVISIONS

#	DATE	DESCRIPTION

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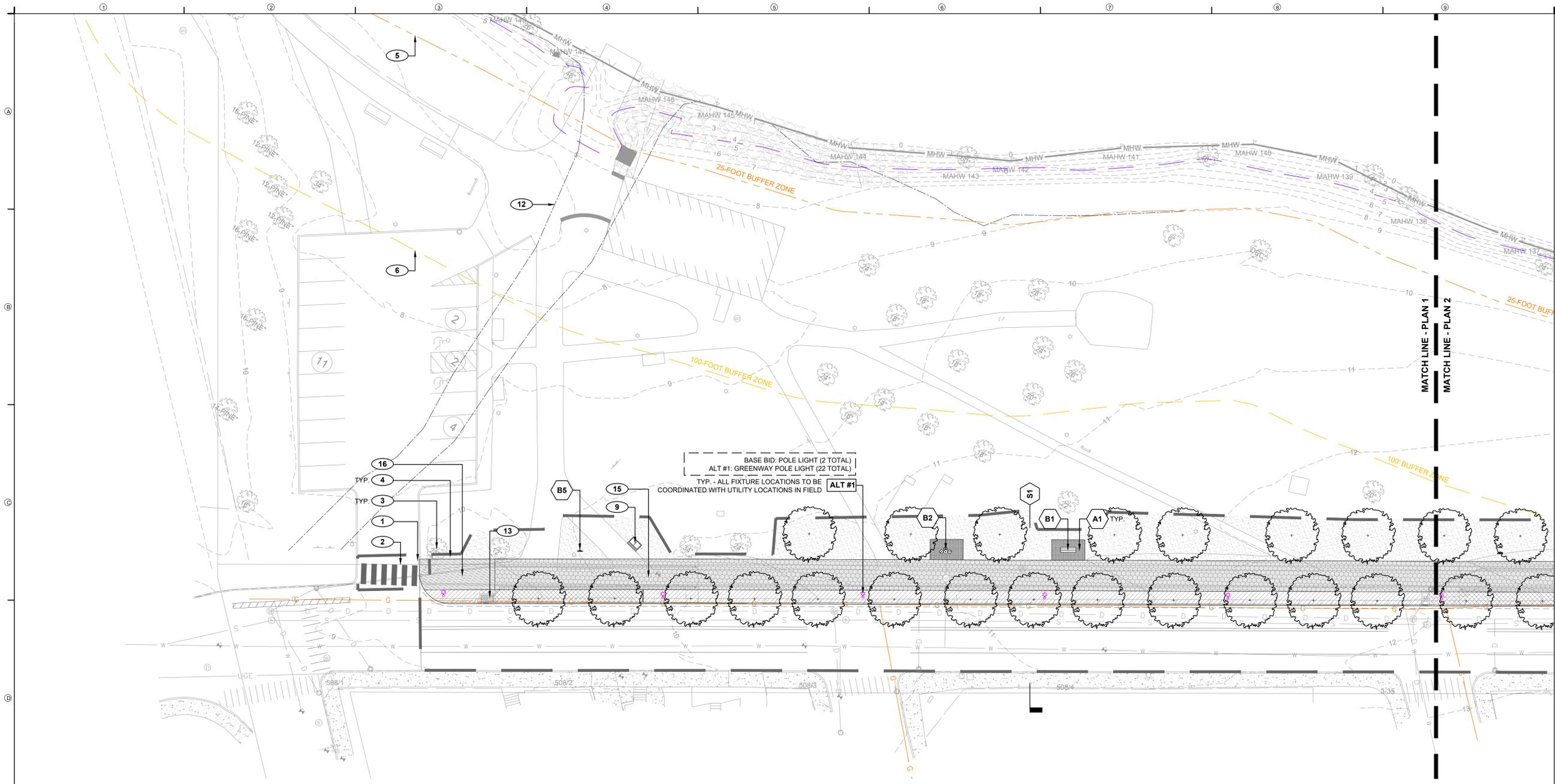
**DRAFT PERMIT SET**  
SHEET 17 of 42

MAY 30, 2025

**SITE PLAN 1**

SHEET NUMBER

**L1-01**



**LIGHTING NOTES:**

- LIGHTING LAYOUT AND FIXTURE SELECTION PROVIDED TO SHOW DESIGN INTENT ONLY.
- ALL EXTERIOR FIXTURES ARE TO BE DARK SKY COMPLIANT, 3000 KELVIN, AND FULL CUTOFF.
- ALL COMPONENTS SHALL BE BLACK.
- ALL SOLAR-POWERED FIXTURES ARE TO USE ENERGY-EFFICIENT LED BULBS. ALL FIXTURES THAT ARE FOOTING-POWERED ARE NOTED AS SUCH IN THE LIGHTING SYMBOL LEGEND AND SPECIFICATIONS.
- REFER TO UTILITIES PLANS FOR STORM WATER, SEWER, GAS, ELECTRIC, AND OTHER UTILITY IMPROVEMENTS.
- CONTRACTOR SHALL PROVIDE SUBMITTALS FOR REVIEW PRIOR TO PROCUREMENT OF MATERIALS.
- CONTRACTOR SHALL PROVIDE MARKED IN-FIELD LAYOUT FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- CONCRETE FOOTINGS SHALL NOT BE VISIBLE AT FINISHED GRADE AT FINAL INSTALLATION. ANY FOOTINGS VISIBLE SHALL BE REPAIRED BY CONTRACTOR PRIOR TO PROJECT COMPLETION.

**LIGHTING SYMBOL LEGEND:**

- POLE LIGHT
- GREENWAY POLE LIGHT (ADD ALTERNATE #1)

**SITE DETAIL / KEYNOTES:**

A#	HARDSCAPE MATERIALS	QTY	DATE
A1	TRAIL SURFACE AGGREGATE	1	1/L4-03
A2	CRUSHED STONE PAVING	2	1/L4-03
B#	FURNISHINGS & SITE ELEMENTS		
B1	BENCH - 6 TOTAL	3	1/L4-03
B2	WATER STATION - 1 TOTAL	4	1/L4-03
B3	FENCE - SPLIT RAIL	5	1/L4-03
B4	STEEL BOLLARD - 7 TOTAL	6	1/L4-03
B5	INTERPRETIVE SIGNAGE - 3 TOTAL	7	1/L4-03
C#	LIGHTING		
C1	POLE LIGHT - 2 TOTAL	1,3	1/L4-01

**LANDSCAPE ALTERNATIVES:**

ALT #1	DESCRIPTION	DATE
ALT #1	GREENWAY POLE LIGHT (QTY: 22) GREENWAY POLE LIGHTS, INSTALLED (QTY: 2) POLE LIGHTS (C1), DEDUCTED	2,3/14-01

**SITE SECTION KEYNOTES:**

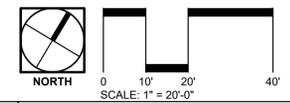
S#	SITE SECTIONS	DATE
S1	TYPICAL STREET SECTION AT LAWN AREA	1/L5-01
S2	TYPICAL STREET SECTION AT VEGETATED SLOPE	2/L5-01

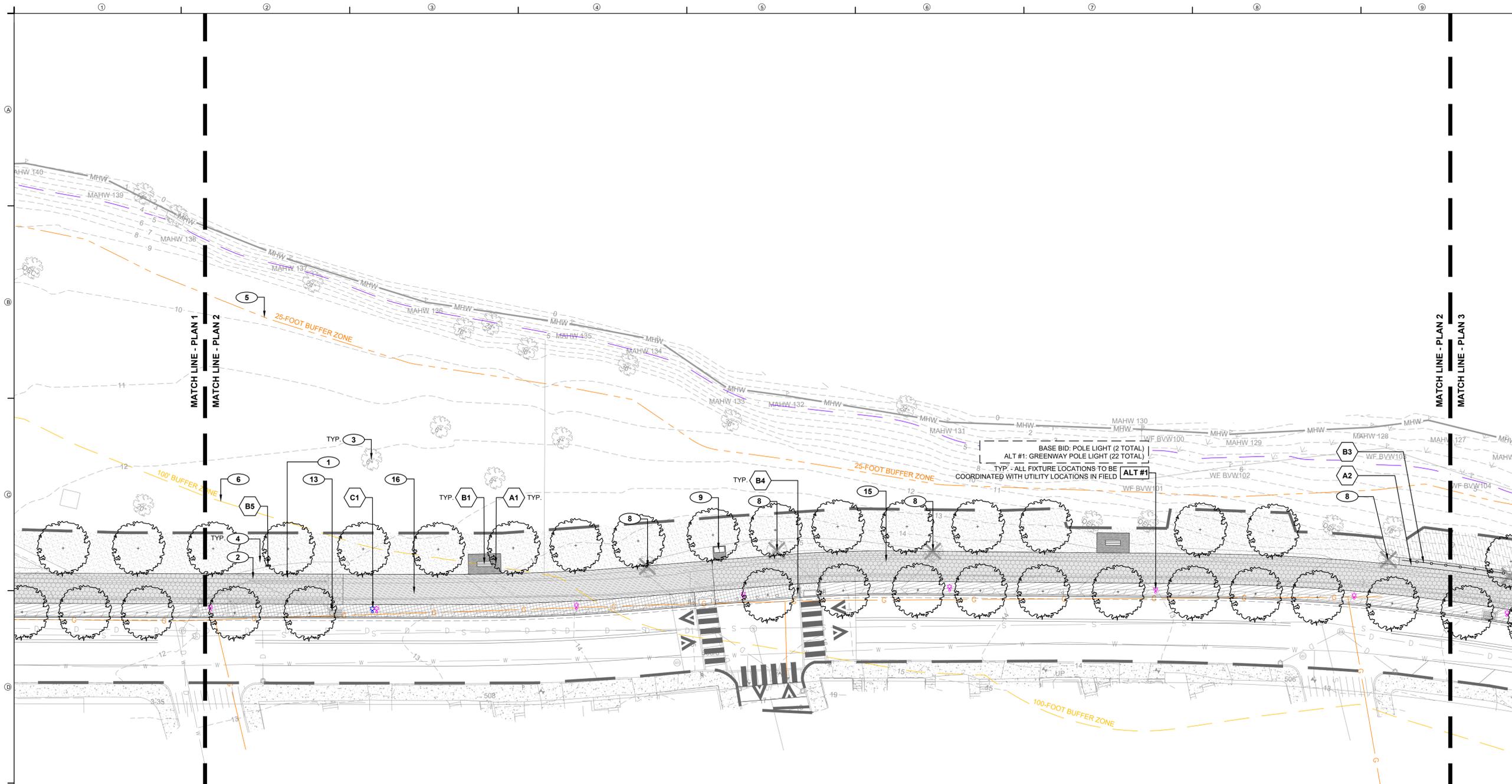
**SITE NOTES:**

- LIMIT OF WORK
- PROPERTY LINE
- EXISTING TREE TO REMAIN - SEE EROSION AND SEDIMENT CONTROL PLANS FOR PROTECTION
- DISTURBED AREAS OF EXISTING LAWN TO BE REPLACED IN KIND WITH LOAM AND LAWN SEED TO MATCH CURRENT CONDITION, TYP.
- MHW 25' BUFFER
- MHW 100' BUFFER
- PROPOSED SHORELINE PATH, BY OTHERS
- EXISTING TREE TO BE REMOVED - SEE DEMOLITION PLANS
- EXISTING TRASH RECEPTACLE TO BE RELOCATED, LOCATION TO BE REVIEWED BY OWNER
- TIMBER GUARDRAIL - SEE CONSTRUCTION PLAN
- PROPOSED INTERPRETATIVE SIGN LOCATION
- EXTENTS OF CHAPTER 91 JURISDICTION
- SEDIMENT FOREBAY AND TREE TRENCH, SEE CIVIL PLANS
- FLEXIBLE BOLLARD, SEE TRAFFIC PLANS
- MULTI-USE PATH WITH SAND BASED STRUCTURAL SOIL, SEE TRAFFIC PLANS, TYP.
- MULTI-USE PATH, TYP.

**HATCH LEGEND:**

- TRAIL SURFACE AGGREGATE
- CRUSHED STONE PAVING
- MULTI-USE PATH  
SEE TRAFFIC ENGINEER DRAWINGS
- MULTI-USE PATH WITH STRUCTURAL SOIL  
SEE TRAFFIC ENGINEER DRAWINGS
- POLLINATOR PATCH  
SEE PLANTING PLANS AND DETAILS
- POLYCULTURE LAWN  
SEE PLANTING PLANS AND DETAILS
- VEGETATED SLOPE RESTORATION MIX  
SEE PLANTING PLANS AND DETAILS
- LOAM AND SEED LAWN  
SEE PLANTING PLANS AND DETAILS





**LIGHTING NOTES:**

- LIGHTING LAYOUT AND FIXTURE SELECTION PROVIDED TO SHOW DESIGN INTENT ONLY.
- ALL EXTERIOR FIXTURES ARE TO BE DARK SKY COMPLIANT, 3000 KELVIN, AND FULL CUTOFF.
- ALL COMPONENTS SHALL BE BLACK.
- ALL SOLAR-POWERED FIXTURES ARE TO USE ENERGY-EFFICIENT LED BULBS. ALL FIXTURES THAT ARE SOLAR-POWERED ARE NOTED AS SUCH IN THE LIGHTING SYMBOL LEGEND AND SPECIFICATIONS.
- REFER TO UTILITIES PLANS FOR STORM WATER, SEWER, GAS, ELECTRIC, AND OTHER UTILITY IMPROVEMENTS.
- CONTRACTOR SHALL PROVIDE SUBMITTALS FOR REVIEW PRIOR TO PROCUREMENT OF MATERIALS.
- CONTRACTOR SHALL PROVIDE MARKED IN-FIELD LAYOUT FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- CONCRETE FOOTINGS SHALL NOT BE VISIBLE AT FINISHED GRADE AT FINAL INSTALLATION. ANY FOOTINGS VISIBLE SHALL BE REPAIRED BY CONTRACTOR PRIOR TO PROJECT COMPLETION.

**LIGHTING SYMBOL LEGEND:**

- POLE LIGHT
- GREENWAY POLE LIGHT (ADD ALTERNATE #1)

**SITE DETAIL / KEYNOTES:**

A#	HARDSCAPE MATERIALS	
A1	TRAIL SURFACE AGGREGATE	1/L4-03
A2	CRUSHED STONE PAVING	2/L4-03
B#	FURNISHINGS & SITE ELEMENTS	
B1	BENCH - 6 TOTAL	3/L4-03
B2	WATER STATION - 1 TOTAL	4/L4-03
B3	FENCE - SPLIT RAIL	5/L4-03
B4	STEEL BOLLARD - 7 TOTAL	6/L4-03
B5	INTERPRETIVE SIGNAGE - 3 TOTAL	7/L4-03
C#	LIGHTING	
C1	POLE LIGHT - 2 TOTAL	1,3/L4-01

**LANDSCAPE ALTERNATIVES:**

ALT #1	GREENWAY POLE LIGHT	
(QTY: 22) GREENWAY POLE LIGHTS, INSTALLED		2,3/L4-01
(QTY: 2) POLE LIGHTS (C1), DEDUCTED		

**SITE SECTION KEYNOTES:**

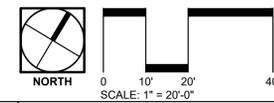
S#	SITE SECTIONS	
S1	TYPICAL STREET SECTION AT LAWN AREA	1/L5-01
S2	TYPICAL STREET SECTION AT VEGETATED SLOPE	2/L5-01

**SITE NOTES:**

- LIMIT OF WORK
- PROPERTY LINE
- EXISTING TREE TO REMAIN - SEE EROSION AND SEDIMENT CONTROL PLANS FOR PROTECTION
- DISTURBED AREAS OF EXISTING LAWN TO BE REPLACED IN KIND WITH LOAM AND LAWN SEED TO MATCH CURRENT CONDITION, TYP.
- MHW 25' BUFFER
- MHW 100' BUFFER
- PROPOSED SHORELINE PATH, BY OTHERS
- EXISTING TREE TO BE REMOVED - SEE DEMOLITION PLANS
- EXISTING TRASH RECEPTACLE TO BE RELOCATED, LOCATION TO BE REVIEWED BY OWNER
- TIMBER GUARDRAIL - SEE CONSTRUCTION PLAN
- PROPOSED INTERPRETATIVE SIGN LOCATION
- EXTENTS OF CHAPTER 91 JURISDICTION
- SEDIMENT FOREBAY AND TREE TRENCH, SEE CIVIL PLANS
- FLEXIBLE BOLLARD, SEE TRAFFIC PLANS
- MULTI-USE PATH WITH SAND BASED STRUCTURAL SOIL, SEE TRAFFIC PLANS, TYP.
- MULTI-USE PATH, TYP.

**HATCH LEGEND:**

- TRAIL SURFACE AGGREGATE
- CRUSHED STONE PAVING
- MULTI-USE PATH  
SEE TRAFFIC ENGINEER DRAWINGS
- MULTI-USE PATH WITH STRUCTURAL SOIL  
SEE TRAFFIC ENGINEER DRAWINGS
- POLLINATOR PATCH  
SEE PLANTING PLANS AND DETAILS
- POLYCULTURE LAWN  
SEE PLANTING PLANS AND DETAILS
- VEGETATED SLOPE RESTORATION MIX  
SEE PLANTING PLANS AND DETAILS
- LOAM AND SEED LAWN  
SEE PLANTING PLANS AND DETAILS



Client: **Mystic River Watershed Association**  
Mystic River Watershed Association

Land Owners: **City of Somerville** and **DCR**  
City of Somerville, Massachusetts DCR

Landscape Architect / Project Prime: **offshoots**  
PRODUCTIVE LANDSCAPES  
Offshoots, Inc.

Civil Engineer: **Horsley Witten Group**  
Sustainable Environmental Solutions  
Horsley Witten Group

Traffic Engineer: **APEX**  
Apex Companies, LLC

**SHORE DRIVE GREENWAY**  
SOMERVILLE, MASSACHUSETTS

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NOT FOR CONSTRUCTION

STAMP:

ISSUE DATE: \_\_\_\_\_

REVISIONS

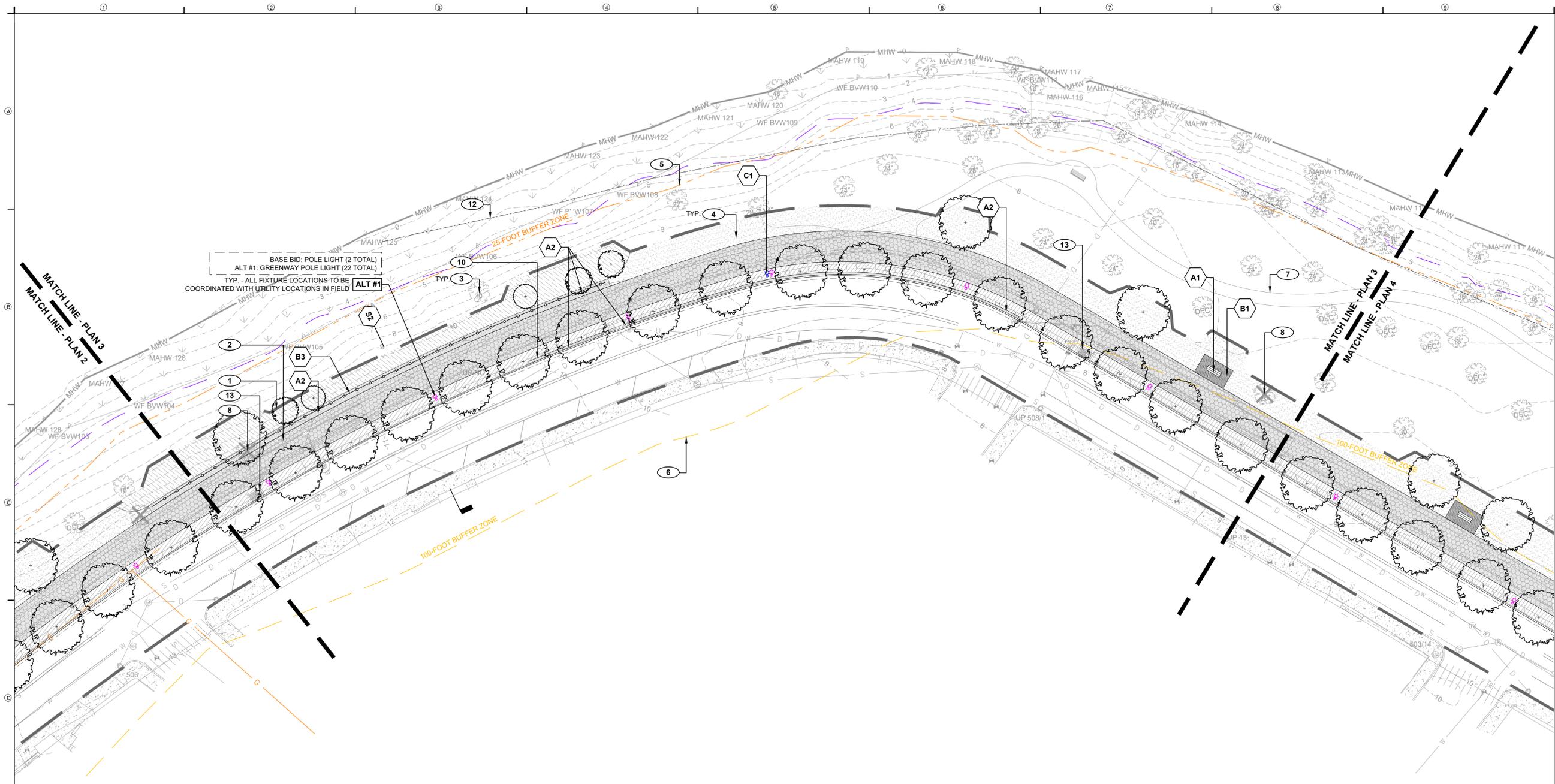
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**DRAFT PERMIT SET**  
SHEET 18 of 42  
MAY 30, 2025

**SITE PLAN 2**

SHEET NUMBER  
**L1-02**



BASE BID: POLE LIGHT (2 TOTAL)  
 ALT #1: GREENWAY POLE LIGHT (22 TOTAL)  
 TYP. - ALL FIXTURE LOCATIONS TO BE COORDINATED WITH UTILITY LOCATIONS IN FIELD

**LIGHTING NOTES:**

- LIGHTING LAYOUT AND FIXTURE SELECTION PROVIDED TO SHOW DESIGN INTENT ONLY.
- ALL EXTERIOR FIXTURES ARE TO BE DARK SKY COMPLIANT, 3000 KELVIN, AND FULL CUTOFF.
- ALL COMPONENTS SHALL BE BLACK.
- ALL SOLAR-POWERED FIXTURES ARE TO USE ENERGY-EFFICIENT LED BULBS. ALL FIXTURES THAT ARE SOLAR-POWERED ARE NOTED AS SUCH IN THE LIGHTING SYMBOL LEGEND AND SPECIFICATIONS.
- REFER TO UTILITIES PLANS FOR STORM WATER, SEWER, GAS, ELECTRIC, AND OTHER UTILITY IMPROVEMENTS.
- CONTRACTOR SHALL PROVIDE SUBMITTALS FOR REVIEW PRIOR TO PROCUREMENT OF MATERIALS.
- CONTRACTOR SHALL PROVIDE MARKED IN-FIELD LAYOUT FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- CONCRETE FOOTINGS SHALL NOT BE VISIBLE AT FINISHED GRADE AT FINAL INSTALLATION. ANY FOOTINGS VISIBLE SHALL BE REPAIRED BY CONTRACTOR PRIOR TO PROJECT COMPLETION.

**LIGHTING SYMBOL LEGEND:**

- POLE LIGHT
- GREENWAY POLE LIGHT (ADD ALTERNATE #1)

**SITE DETAIL / KEYNOTES:**

A#	HARDSCAPE MATERIALS	
A1	TRAIL SURFACE AGGREGATE	1/L4-03
A2	CRUSHED STONE PAVING	2/L4-03

B#	FURNISHINGS & SITE ELEMENTS	
B1	BENCH - 6 TOTAL	3/L4-03
B2	WATER STATION - 1 TOTAL	4/L4-03
B3	FENCE - SPLIT RAIL	5/L4-03
B4	STEEL BOLLARD - 7 TOTAL	6/L4-03
B5	INTERPRETIVE SIGNAGE - 3 TOTAL	7/L4-03

C#	LIGHTING	
C1	POLE LIGHT - 2 TOTAL	1,3/L4-01

**LANDSCAPE ALTERNATIVES:**

ALT #1	GREENWAY POLE LIGHT	
	(QTY: 22) GREENWAY POLE LIGHTS, INSTALLED	2,3/L4-01
	(QTY: 2) POLE LIGHTS (C1), DEDUCTED	

**SITE SECTION KEYNOTES:**

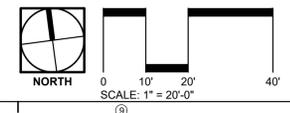
S#	SITE SECTIONS	
S1	TYPICAL STREET SECTION AT LAWN AREA	1/L5-01
S2	TYPICAL STREET SECTION AT VEGETATED SLOPE	2/L5-01

**SITE NOTES:**

- LIMIT OF WORK
- PROPERTY LINE
- EXISTING TREE TO REMAIN - SEE EROSION AND SEDIMENT CONTROL PLANS FOR PROTECTION
- DISTURBED AREAS OF EXISTING LAWN TO BE REPLACED IN KIND WITH LOAM AND LAWN SEED TO MATCH CURRENT CONDITION, TYP.
- MHW 25' BUFFER
- MHW 100' BUFFER
- PROPOSED SHORELINE PATH, BY OTHERS
- EXISTING TREE TO BE REMOVED - SEE DEMOLITION PLANS
- EXISTING TRASH RECEPTACLE TO BE RELOCATED, LOCATION TO BE REVIEWED BY OWNER
- TIMBER GUARDRAIL - SEE CONSTRUCTION PLAN
- PROPOSED INTERPRETATIVE SIGN LOCATION
- EXTENTS OF CHAPTER 91 JURISDICTION
- SEDIMENT FOREBAY AND TREE TRENCH, SEE CIVIL PLANS
- FLEXIBLE BOLLARD, SEE TRAFFIC PLANS
- MULTI-USE PATH WITH SAND BASED STRUCTURAL SOIL, SEE TRAFFIC PLANS, TYP.
- MULTI-USE PATH, TYP.

**HATCH LEGEND:**

- TRAIL SURFACE AGGREGATE
- CRUSHED STONE PAVING
- MULTI-USE PATH  
SEE TRAFFIC ENGINEER DRAWINGS
- MULTI-USE PATH WITH STRUCTURAL SOIL  
SEE TRAFFIC ENGINEER DRAWINGS
- POLLINATOR PATCH  
SEE PLANTING PLANS AND DETAILS
- POLYCULTURE LAWN  
SEE PLANTING PLANS AND DETAILS
- VEGETATED SLOPE RESTORATION MIX  
SEE PLANTING PLANS AND DETAILS
- LOAM AND SEED LAWN  
SEE PLANTING PLANS AND DETAILS



Client: **Mystic River Watershed Association**  
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**SHORE DRIVE GREENWAY**  
 SOMERVILLE, MASSACHUSETTS

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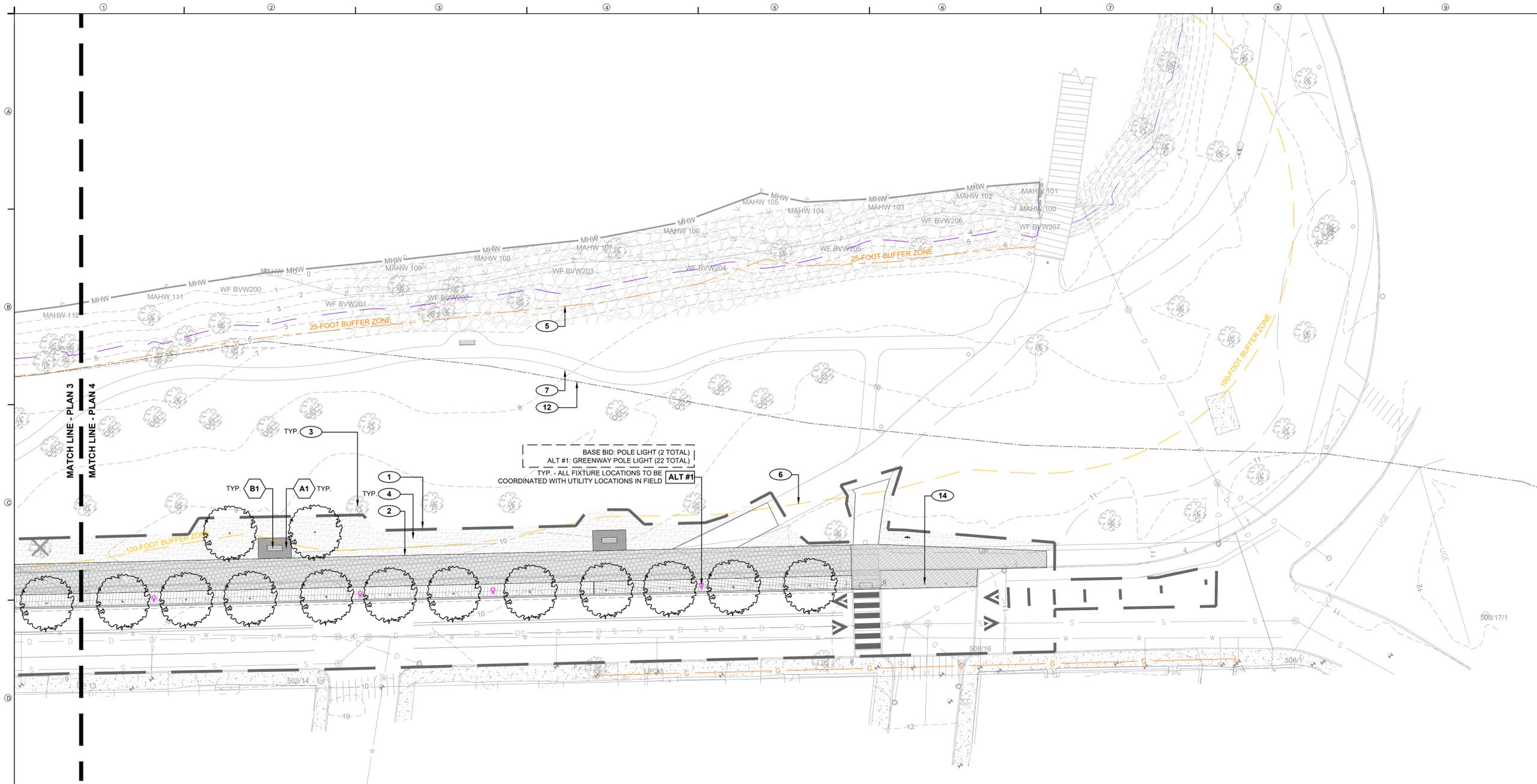
**DRAFT PERMIT SET**  
 SHEET 19 of 42

MAY 30, 2025

**SITE PLAN 3**

SHEET NUMBER

**L1-03**



**LIGHTING NOTES:**

- LIGHTING LAYOUT AND FIXTURE SELECTION PROVIDED TO SHOW DESIGN INTENT ONLY.
- ALL EXTERIOR FIXTURES ARE TO BE DARK SKY COMPLIANT, 3000 KELVIN, AND FULL CUTOFF.
- ALL COMPONENTS SHALL BE BLACK.
- ALL SOLAR-POWERED FIXTURES ARE TO USE ENERGY-EFFICIENT LED BULBS. ALL FIXTURES THAT ARE SOLAR-POWERED ARE NOTED AS SUCH IN THE LIGHTING SYMBOL LEGEND AND SPECIFICATIONS.
- REFER TO UTILITIES PLANS FOR STORM WATER, SEWER, GAS, ELECTRIC, AND OTHER UTILITY IMPROVEMENTS.
- CONTRACTOR SHALL PROVIDE SUBMITTALS FOR REVIEW PRIOR TO PROCUREMENT OF MATERIALS.
- CONTRACTOR SHALL PROVIDE MARKED IN-FIELD LAYOUT FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- CONCRETE FOOTINGS SHALL NOT BE VISIBLE AT FINISHED GRADE AT FINAL INSTALLATION. ANY FOOTINGS VISIBLE SHALL BE REPAIRED BY CONTRACTOR PRIOR TO PROJECT COMPLETION.

**LIGHTING SYMBOL LEGEND:**

- ☼ POLE LIGHT
- ☼ GREENWAY POLE LIGHT (ADD ALTERNATE #1)

**SITE DETAIL / KEYNOTES:**

<b>A# HARDSCAPE MATERIALS</b>		
A1 TRAIL SURFACE AGGREGATE	1/14-03	
A2 CRUSHED STONE PAVING	2/14-03	
<b>B# FURNISHINGS &amp; SITE ELEMENTS</b>		
B1 BENCH - 6 TOTAL	3/14-03	
B2 WATER STATION - 1 TOTAL	4/14-03	
B3 FENCE - SPLIT RAIL	5/14-03	
B4 STEEL BOLLARD - 7 TOTAL	6/14-03	
B5 INTERPRETIVE SIGNAGE - 3 TOTAL	7/14-03	
<b>C# LIGHTING</b>		
C1 POLE LIGHT - 2 TOTAL	1,3/14-01	

**LANDSCAPE ALTERNATIVES:**

<b>ALT #1</b> GREENWAY POLE LIGHT	2,3/14-01
(QTY: 22) GREENWAY POLE LIGHTS, INSTALLED	
(QTY: 2) POLE LIGHTS (C1), DEDUCTED	

**SITE SECTION KEYNOTES:**

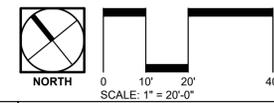
<b>S# SITE SECTIONS</b>		
S1 TYPICAL STREET SECTION AT LAWN AREA	1/15-01	
S2 TYPICAL STREET SECTION AT VEGETATED SLOPE	2/15-01	

**SITE NOTES:**

- LIMIT OF WORK
- PROPERTY LINE
- EXISTING TREE TO REMAIN - SEE EROSION AND SEDIMENT CONTROL PLANS FOR PROTECTION
- DISTURBED AREAS OF EXISTING LAWN TO BE REPLACED IN KIND WITH LOAM AND LAWN SEED TO MATCH CURRENT CONDITION, TYP.
- MHW 25' BUFFER
- MHW 100' BUFFER
- PROPOSED SHORELINE PATH, BY OTHERS
- EXISTING TREE TO BE REMOVED - SEE DEMOLITION PLANS
- EXISTING TRASH RECEPTACLE TO BE RELOCATED, LOCATION TO BE REVIEWED BY OWNER
- TIMBER GUARDRAIL - SEE CONSTRUCTION PLAN
- PROPOSED INTERPRETATIVE SIGN LOCATION
- EXTENTS OF CHAPTER 91 JURISDICTION
- SEDIMENT FOREBAY AND TREE TRENCH, SEE CIVIL PLANS
- FLEXIBLE BOLLARD, SEE TRAFFIC PLANS
- MULTI-USE PATH WITH SAND BASED STRUCTURAL SOIL, SEE TRAFFIC PLANS, TYP.
- MULTI-USE PATH, TYP.

**HATCH LEGEND:**

- TRAIL SURFACE AGGREGATE
- CRUSHED STONE PAVING
- MULTI-USE PATH  
SEE TRAFFIC ENGINEER DRAWINGS
- MULTI-USE PATH WITH STRUCTURAL SOIL  
SEE TRAFFIC ENGINEER DRAWINGS
- POLLINATOR PATCH  
SEE PLANTING PLANS AND DETAILS
- POLYCULTURE LAWN  
SEE PLANTING PLANS AND DETAILS
- VEGETATED SLOPE RESTORATION MIX  
SEE PLANTING PLANS AND DETAILS
- LOAM AND SEED LAWN  
SEE PLANTING PLANS AND DETAILS



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**SHORE DRIVE GREENWAY**  
SOMERVILLE, MASSACHUSETTS

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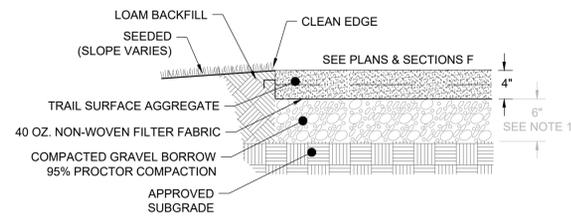
SHEET 20 of 42  
MAY 30, 2025

**SITE PLAN 4**

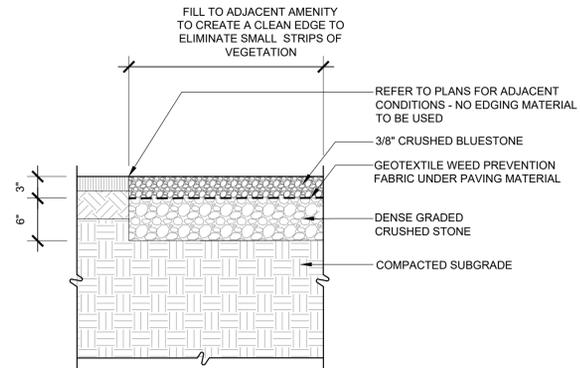
SHEET NUMBER  
**L1-04**



1 2 3 4 5 6 7 8 9



- NOTES:
- DESIGNED FOR PEDESTRIAN USE ONLY. ADJUST DEPTH OF BASE AS NECESSARY TO AVOID EXCESSIVE TREE ROOT DAMAGE.
  - REMOVE TOPSOIL AND SUBSOIL PRIOR TO COMPACTED GRAVEL BASE INSTALLATION.
  - SEE PLAN AND APPLICABLE DETAILS FOR PATH LAYOUT AND CROSS SLOPES.
  - FILTER FABRIC SHALL BE TUCKED INTO SIDE MATERIAL 2-INCHES BELOW FINISH GRADE @ BOTH ENDS.



**SITE DETAIL / KEYNOTES:**

A#	HARDSCAPE MATERIALS	
A1	TRAIL SURFACE AGGREGATE	1/L4-03
A2	CRUSHED STONE PAVING	2/L4-03

B#	FURNISHINGS & SITE ELEMENTS	
B1	BENCH - 6 TOTAL	3/L4-03
B2	WATER STATION - 1 TOTAL	4/L4-03
B3	FENCE - SPLIT RAIL	5/L4-03
B4	STEEL BOLLARD - 7 TOTAL	6/L4-03
B5	INTERPRETIVE SIGNAGE - 3 TOTAL	7/L4-03

C#	LIGHTING	
C1	POLE LIGHT - 2 TOTAL	1,3/L4-01

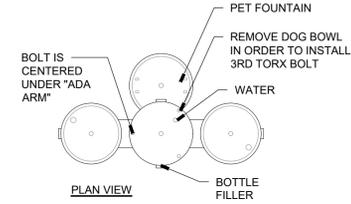
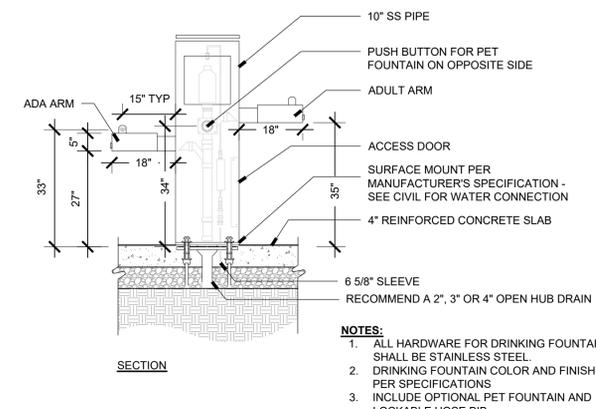
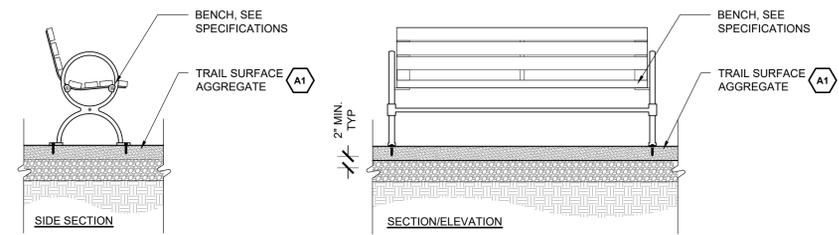
**LANDSCAPE ALTERNATIVES:**

[A1] T #1	GREENWAY POLE LIGHT	2,3/L4-01
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**1 TRAIL SURFACE AGGREGATE**  
SCALE: 1" = 1'-0"

**2 CRUSHED STONE PAVING**  
SCALE: 1" = 1'-0"

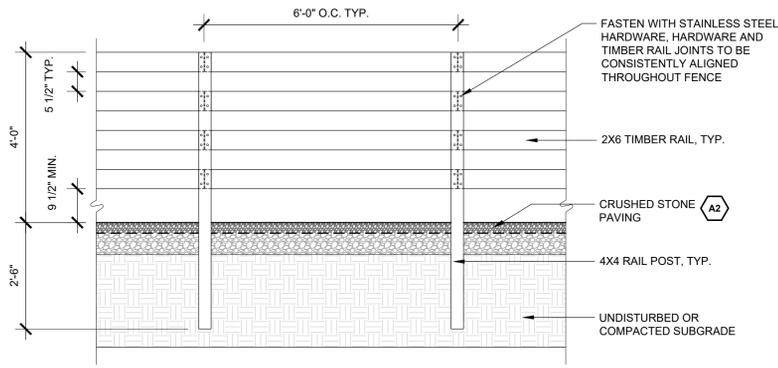
- NOTES:
- BENCH COLOR AND FINISH PER SPECIFICATIONS
  - SEE LANDSCAPE MATERIALS PLANS FOR BENCH LOCATIONS - ALL BENCHES TO BE INSTALLED WITH ADEQUATE CLEARANCE FOR ACCESSIBILITY, PER PLANS.
  - FINAL BENCH DIMENSIONS TO BE APPROVED BY OWNER THROUGH SHOP DRAWING SUBMITTALS
  - SURFACE BELOW AND SURROUNDING BENCHES TO BE <math>2\%</math> SLOPE IN ALL DIRECTIONS (3" MINIMUM) TO MAINTAIN ACCESSIBILITY, REFER TO GRADING PLAN



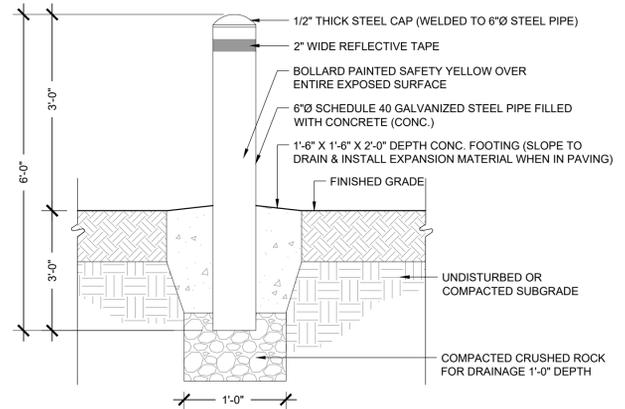
- NOTES:
- ALL HARDWARE FOR DRINKING FOUNTAIN SHALL BE STAINLESS STEEL.
  - DRINKING FOUNTAIN COLOR AND FINISH PER SPECIFICATIONS
  - INCLUDE OPTIONAL PET FOUNTAIN AND LOCKABLE HOSE BIB

**3 BENCH**  
SCALE: NOT TO SCALE

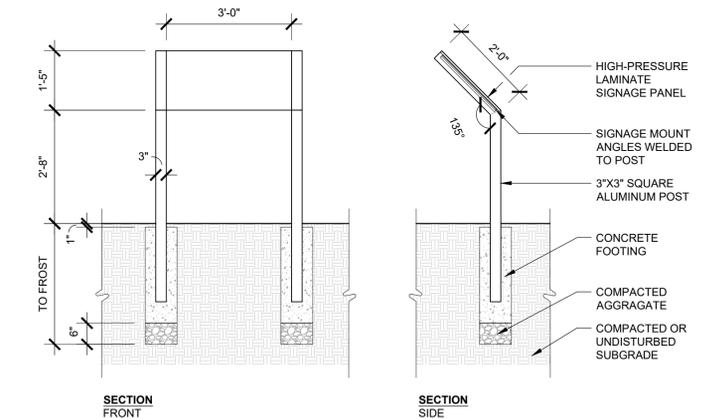
**4 WATER STATION**  
SCALE: NOT TO SCALE



- NOTE:
- ALL WOOD SHALL BE WESTERN RED CEDAR, CLEAR GRAIN, AND FREE OF WARPING, CRACKS, OR SPLINTERED EDGES
  - ALL HARDWARE SHALL BE STAINLESS STEEL
  - INSTALL HARDWARE TO BE ALIGNED VERTICALLY WITHIN A POST AND AT A CONSISTENT HORIZONTAL DIMENSION THROUGHOUT FENCE.
  - FENCE SHALL BE LEVEL. NO STEPPING
  - CONTRACTOR SHALL SUBMIT WOOD SAMPLE FOR APPROVAL PRIOR TO FABRICATION
  - SHOP DRAWINGS TO BE SUBMITTED SHOWING FENCE LAYOUT, POST SPACING AND MOUNTING.



NOTE: ALL PIPE SECTIONS WILL BE CONSTRUCTED OF SCHEDULE 40 GALVANIZED STEEL PIPE.



**5 FENCE - SPLIT RAIL**  
SCALE: 1/2" = 1'-0"

**6 STEEL BOLLARD**  
SCALE: 1" = 1'-0"

**6 INTERPRETIVE SIGNAGE**  
SCALE: 1" = 1'-0"

**SHORE DRIVE GREENWAY**  
SOMERVILLE, MASSACHUSETTS

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**DRAFT PERMIT SET**  
SHEET 22 of 42  
MAY 30, 2025

**GENERAL DETAILS**  
SHEET NUMBER  
**L4-03**

1 2 3 4 5 6 7 8 9





# SHORE DRIVE GREENWAY

SOMERVILLE, MASSACHUSETTS

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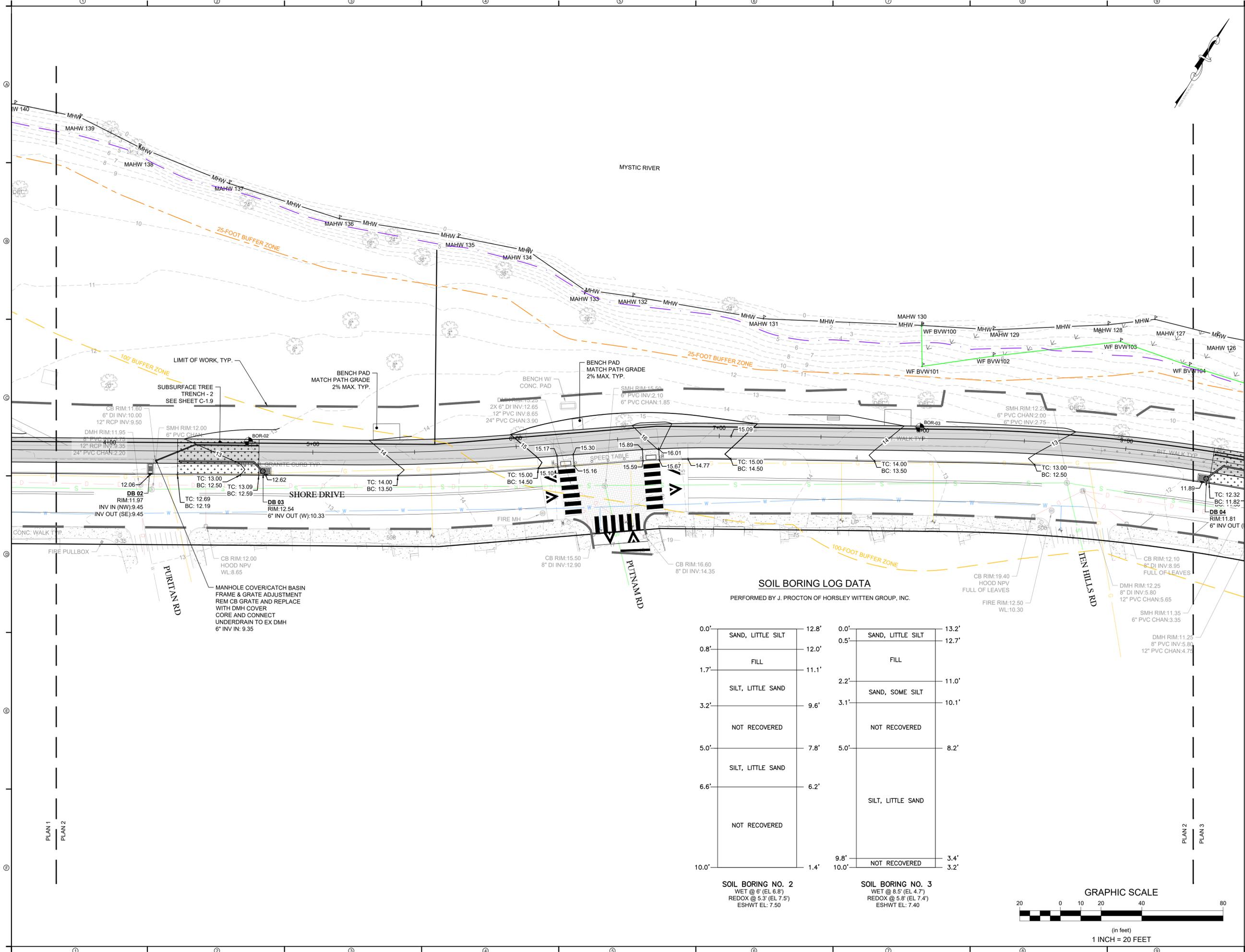
SHEET 25 of 42

MAY 30, 2025

GRADING AND DRAINAGE PLAN 2

SHEET NUMBER

**C-1.6**

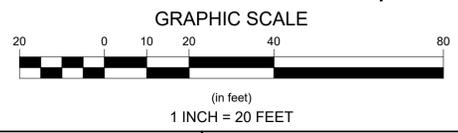


**SOIL BORING LOG DATA**  
PERFORMED BY J. PROCTON OF HORSLEY WITTEN GROUP, INC.

SOIL BORING NO. 2	DEPTH (ft)	SOIL BORING NO. 3	DEPTH (ft)
SAND, LITTLE SILT	12.8'	SAND, LITTLE SILT	13.2'
FILL	12.0'	FILL	12.7'
SILT, LITTLE SAND	11.1'	SAND, SOME SILT	11.0'
NOT RECOVERED	9.6'	NOT RECOVERED	10.1'
SILT, LITTLE SAND	7.8'	NOT RECOVERED	8.2'
NOT RECOVERED	6.2'	SILT, LITTLE SAND	6.2'
NOT RECOVERED	1.4'	NOT RECOVERED	3.4'
		NOT RECOVERED	3.2'

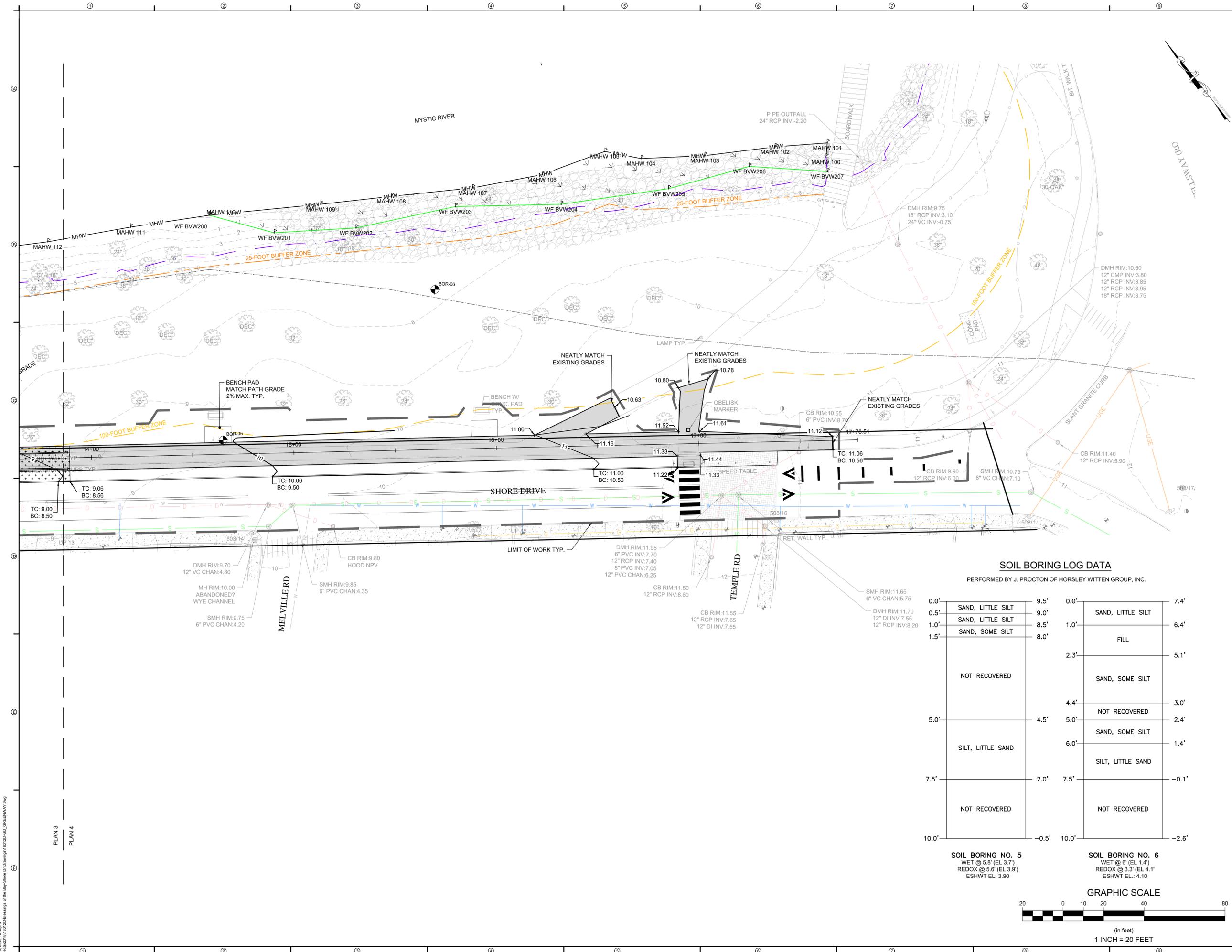
SOIL BORING NO. 2  
WET @ 6' (EL 6.8')  
REDOX @ 5.3' (EL 7.5')  
ESHWT EL: 7.50

SOIL BORING NO. 3  
WET @ 8.5' (EL 4.7')  
REDOX @ 5.8' (EL 7.4')  
ESHWT EL: 7.40



May 20, 2025 - 3:50pm  
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Client: **Mystic River Watershed Association**  
 Mystic River Watershed Association

Land Owners: **City of Somerville**  
 City of Somerville

Landscape Architect / Project Prime: **offshoots**  
 Offshoots, Inc.

Civil Engineer: **Horsley Witten Group**  
 Sustainable Environmental Solutions  
 Horsley Witten Group

Traffic Engineer: **APEX**  
 Apex Companies, LLC

# SHORE DRIVE GREENWAY

SOMERVILLE, MASSACHUSETTS

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**DRAFT 75% CD / PERMIT SET**

SHEET 27 of 42

MAY 30, 2025

**GRADING AND DRAINAGE PLAN 4**

SHEET NUMBER

# C-1.8

**SOIL BORING LOG DATA**  
PERFORMED BY J. PROCTON OF HORSLEY WITTEN GROUP, INC.

SOIL BORING NO. 5 WET @ 5.8' (EL 3.7') REDOX @ 5.6' (EL 3.9') ESHWL EL.: 3.90	SOIL BORING NO. 6 WET @ 6' (EL 1.4') REDOX @ 3.3' (EL 4.1') ESHWL EL.: 4.10
0.0' - 0.5' SAND, LITTLE SILT	0.0' - 1.0' SAND, LITTLE SILT
0.5' - 1.0' SAND, LITTLE SILT	1.0' - 2.3' FILL
1.0' - 1.5' SAND, SOME SILT	2.3' - 4.4' SAND, SOME SILT
1.5' - 5.0' NOT RECOVERED	4.4' - 5.0' NOT RECOVERED
5.0' - 7.5' SILT, LITTLE SAND	5.0' - 6.0' SAND, SOME SILT
7.5' - 10.0' NOT RECOVERED	6.0' - 7.5' SILT, LITTLE SAND
	7.5' - 10.0' NOT RECOVERED

**GRAPHIC SCALE**  
(in feet)  
1 INCH = 20 FEET

May 20, 2025 - 3:50pm  
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# SHORE DRIVE GREENWAY

SOMERVILLE, MASSACHUSETTS

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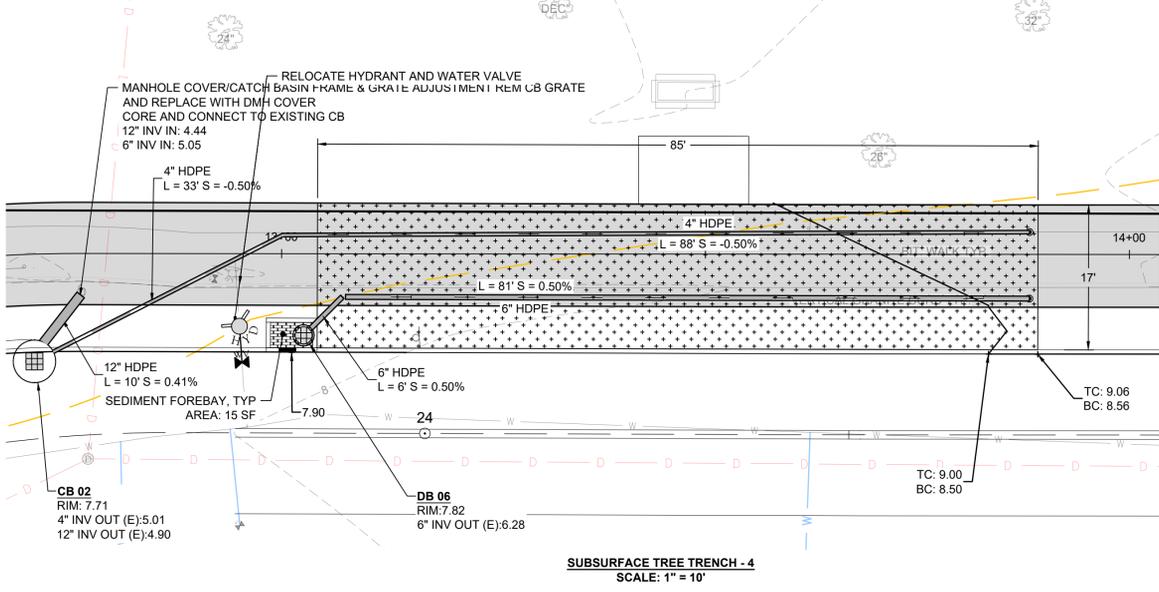
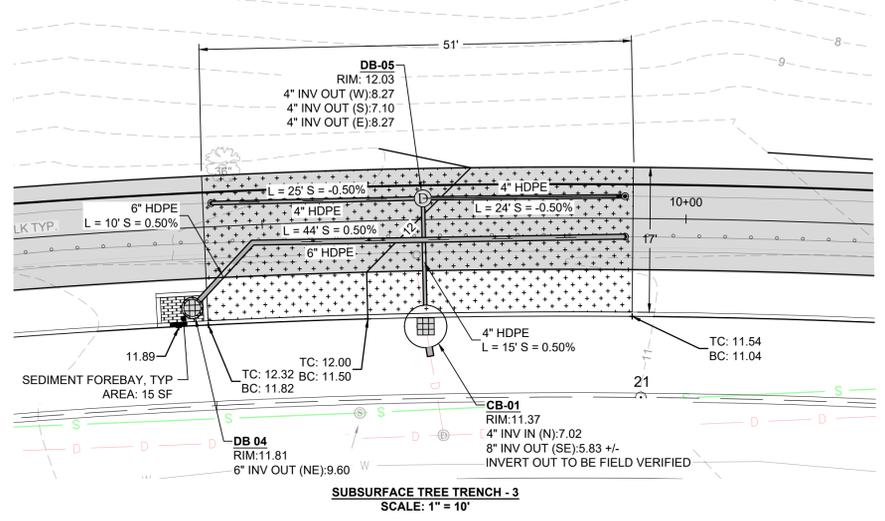
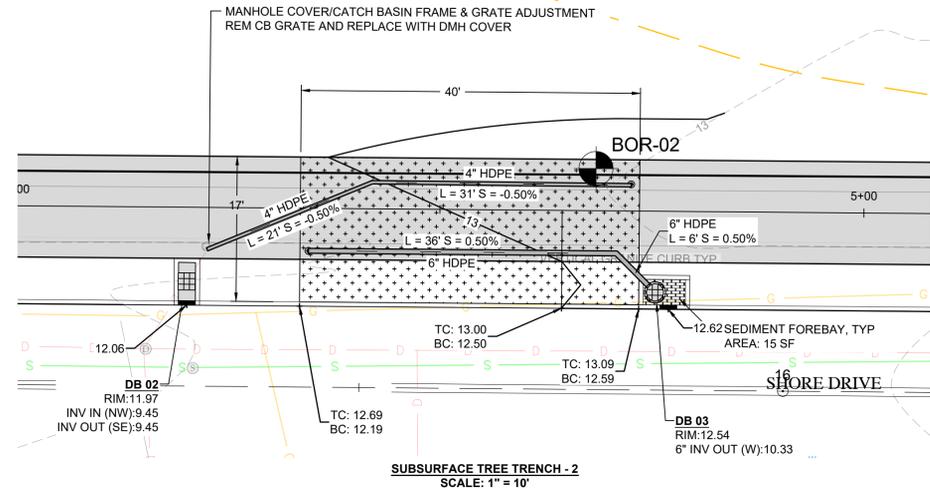
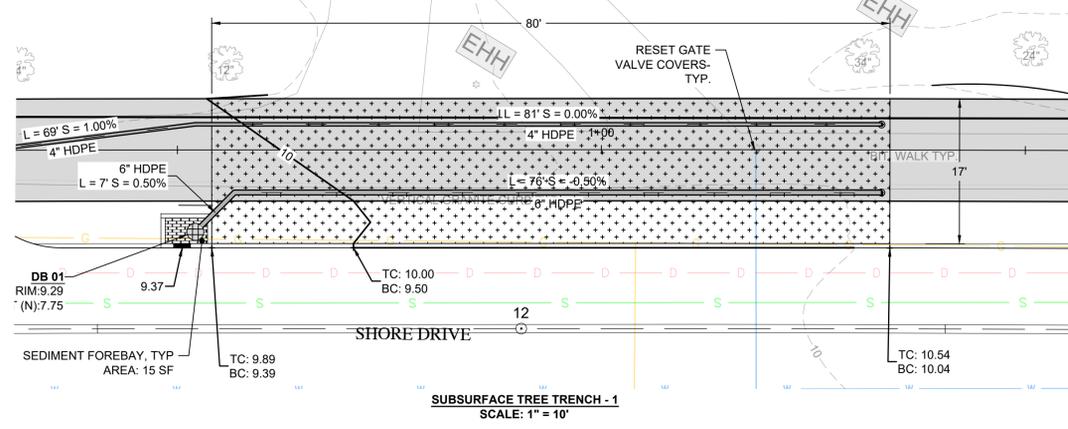
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 SHEET 28 of 42  
 MAY 30, 2025

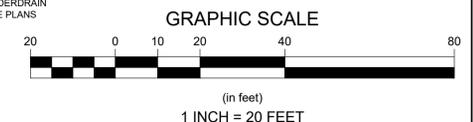
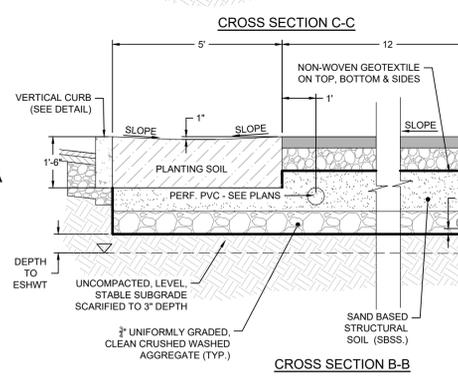
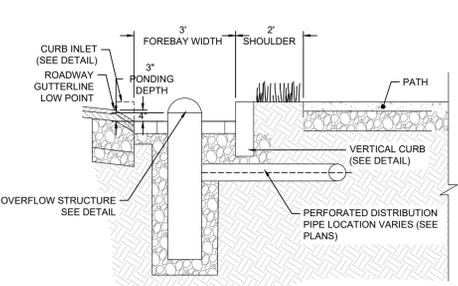
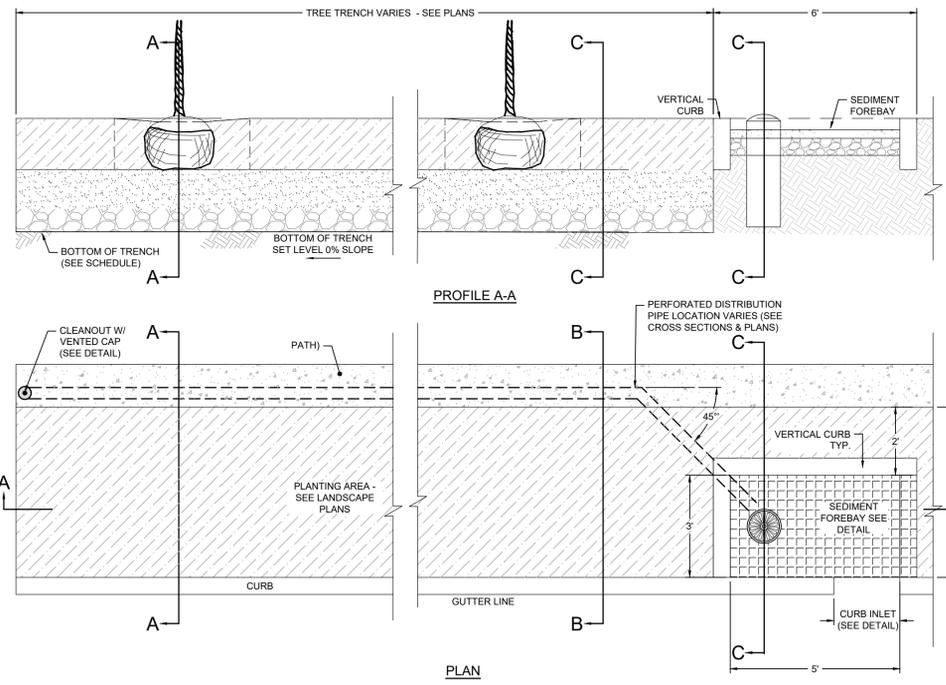
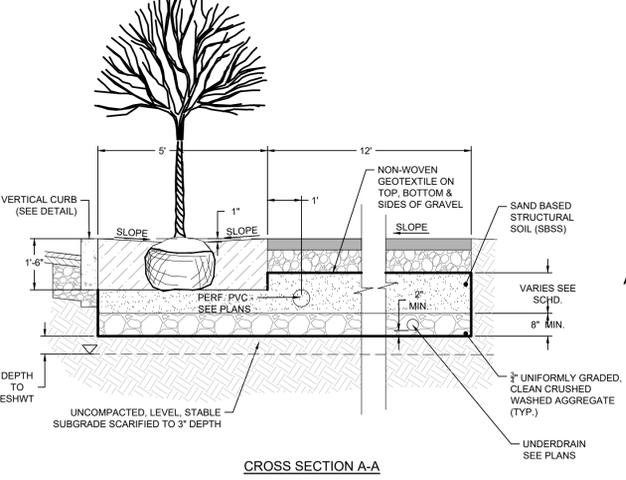
TREE TRENCH LAYOUTS

SHEET NUMBER  
**C-1.9**

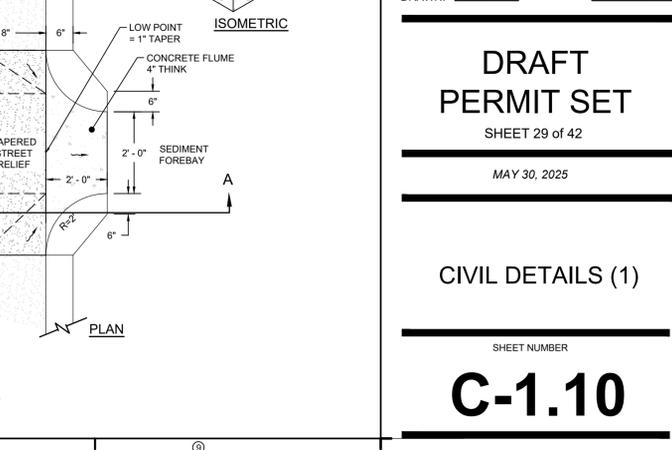
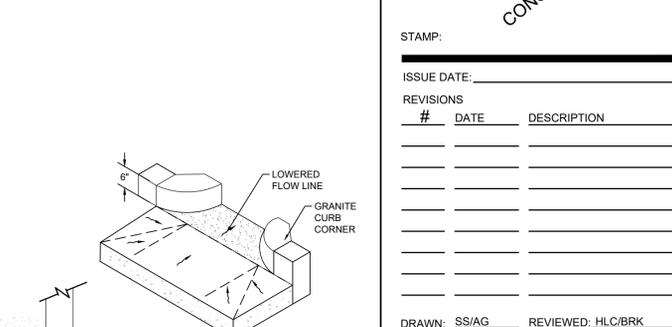
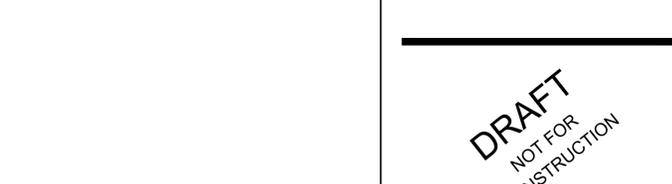
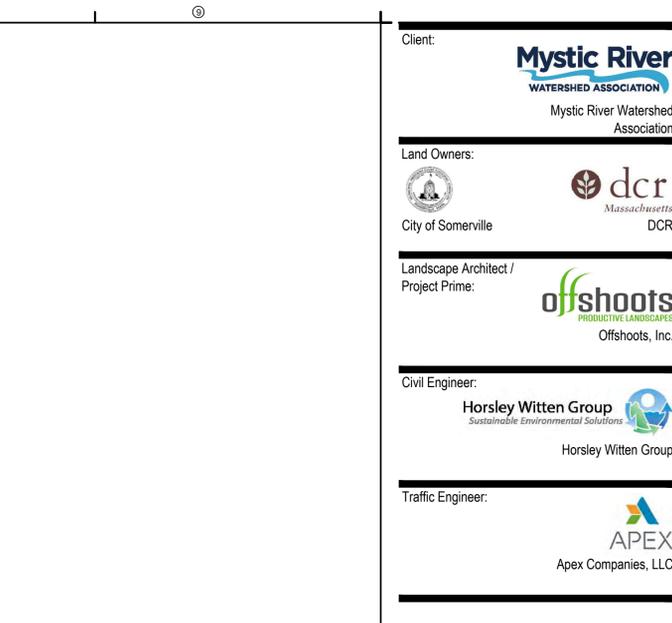
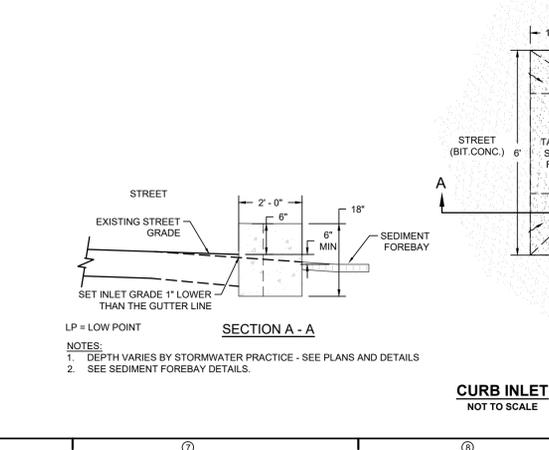
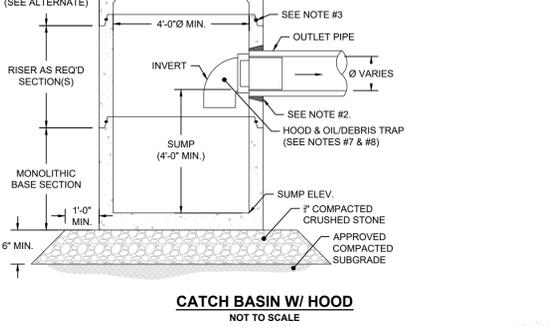
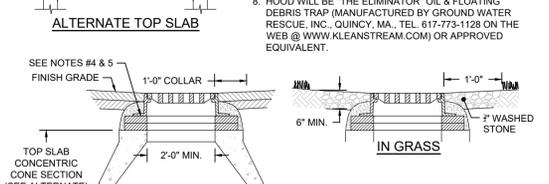
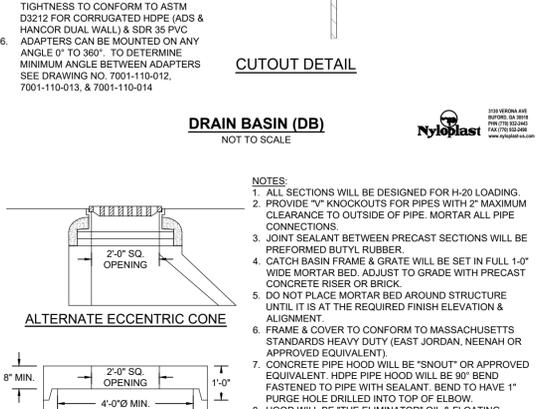
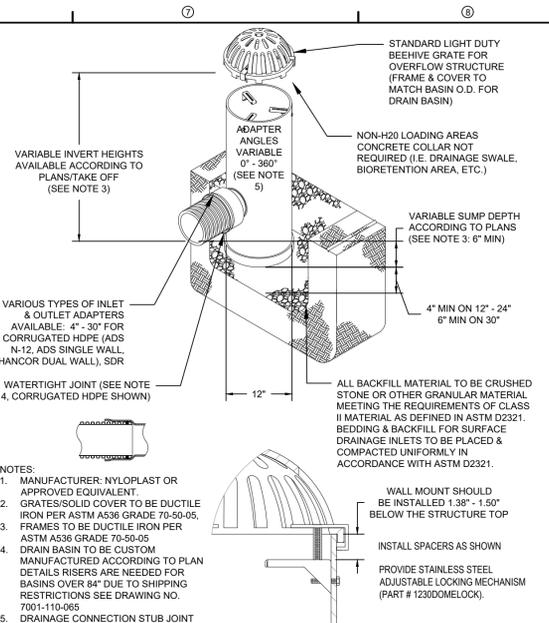
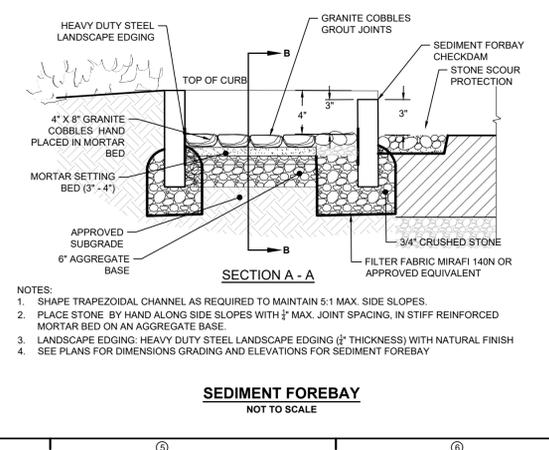
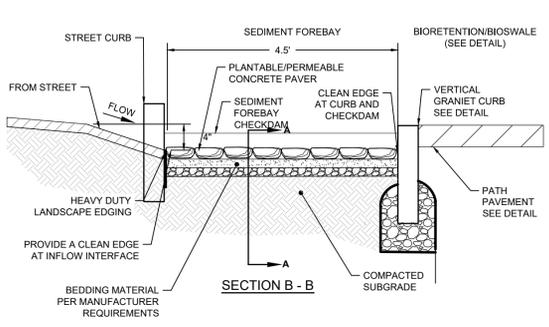
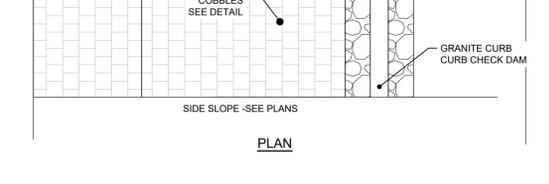
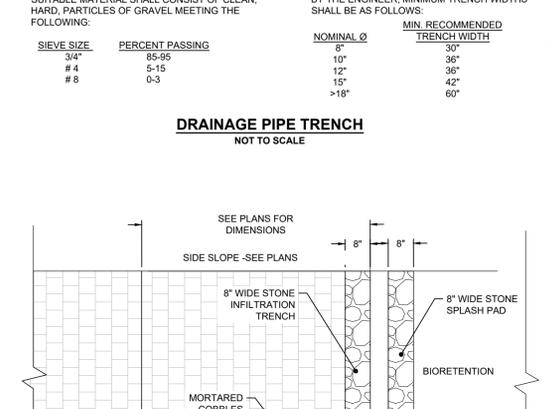
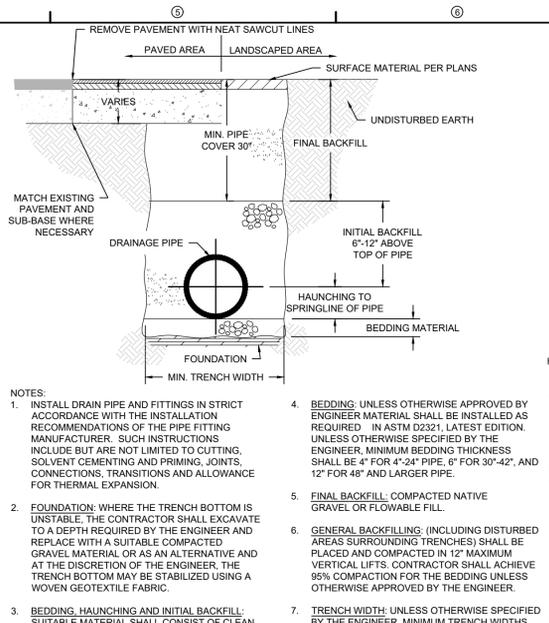
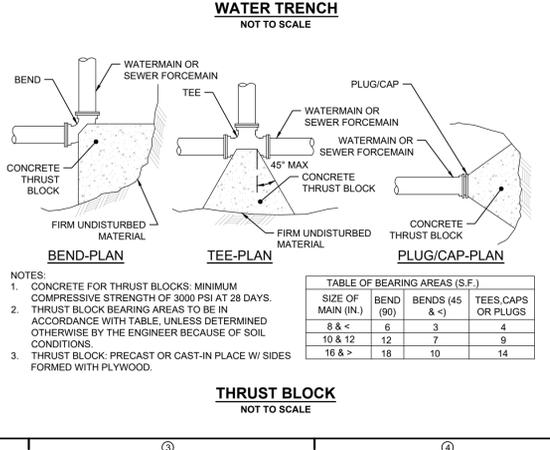
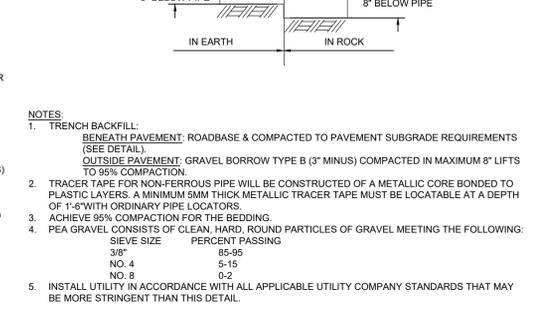
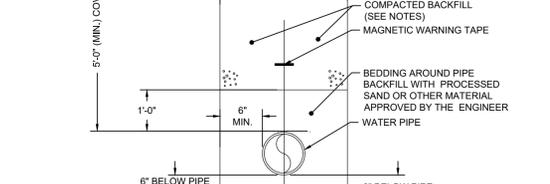
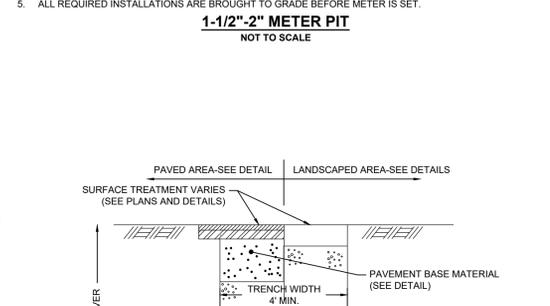
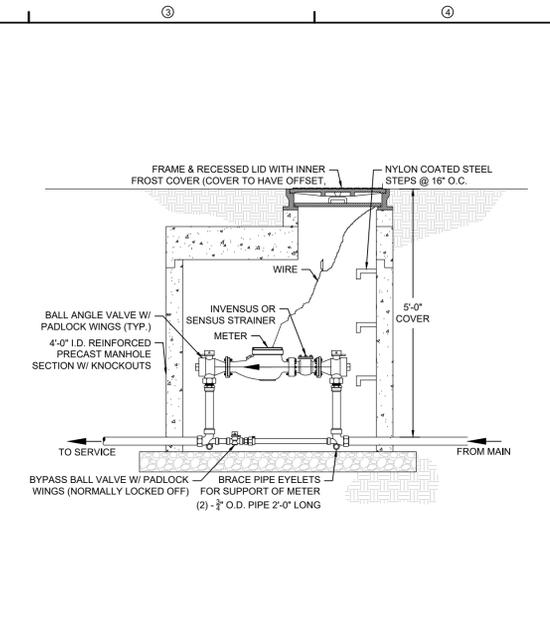
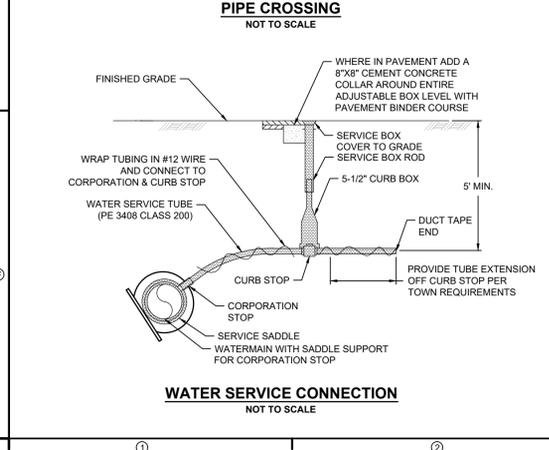
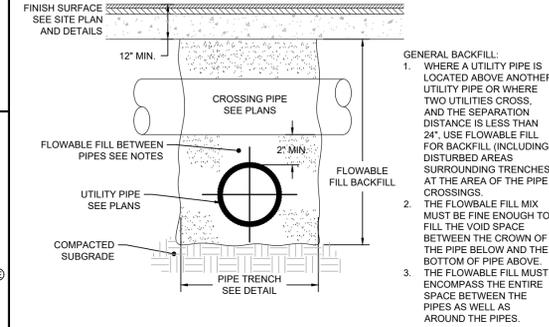
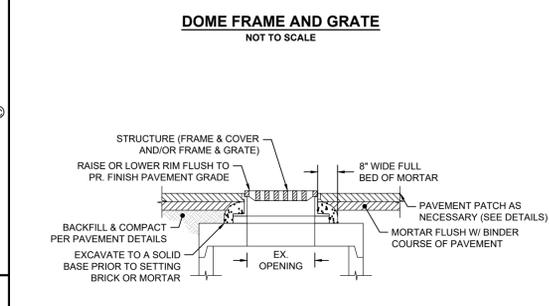
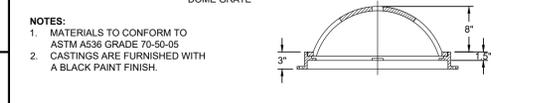
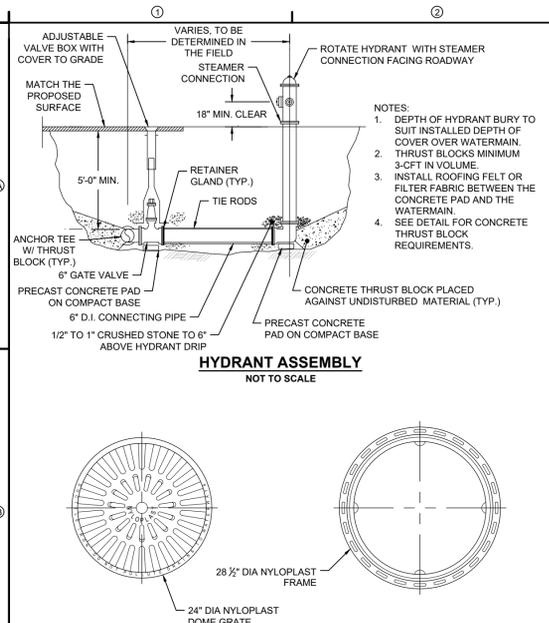


NOTES:  
 1. SAND BASED STRUCTURAL SOIL DEPTH VARIES BASED UPON PATH/ROAD GRADES.

TREE TRENCH #	TEST PIT	ESHW (ft)	Separation from ESHWT (ft)	Bottom of Trench (ft)	Min. SBSS Depth (ft)	Max. SBSS Depth (ft)	Infiltration Rate
1	1	7.20	1.00	7.12	1.11	1.76	2.41
2	2	7.50	26.35	9.53	1.49	1.89	0.27
3	3	3.10	62.00	8.10	1.77	2.63	0.27
4	4	3.50	24.00	5.33	1.42	2.00	1.02



May 20, 2025 - 3:51pm  
 H:\Projects\2025\1811022-Bleasings of the Bay Shore Drive\Drawings\1811022-GD\_GREENWAY.dwg



Client: **Mystic River Watershed Association**  
Mystic River Watershed Association

Land Owners: **dcr**  
City of Somerville  
DCR

Landscape Architect / Project Prime: **offshoots**  
Offshoots, Inc.

Civil Engineer: **Horsley Witten Group**  
Sustainable Environmental Solutions  
Horsley Witten Group

Traffic Engineer: **APEX**  
Apex Companies, LLC

**SHORE DRIVE GREENWAY**  
SOMERVILLE, MASSACHUSETTS

**DRAFT**  
NOT FOR CONSTRUCTION

STAMP:  
ISSUE DATE:  
REVISIONS  
# DATE DESCRIPTION

DRAWN: **SS/AG** REVIEWED: **HLC/BRK**

**DRAFT PERMIT SET**  
SHEET 29 of 42  
MAY 30, 2025

**CIVIL DETAILS (1)**  
SHEET NUMBER  
**C-1.10**



**GENERAL NOTES**

1. THE ELECTRICAL SUBCONTRACTOR SHALL CAREFULLY EXAMINE THE DRAWINGS AND SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THIS WORK.
2. VERIFY EXACT LOCATION OF EXISTING EQUIPMENT IN FIELD.
3. COORDINATE PROJECT PHASING WITH OWNER AND ARCHITECT.
4. TO THE GREATEST EXTENT POSSIBLE, THE ELECTRICAL CONTRACTOR SHALL MAINTAIN EXISTING SITE LIGHTING THROUGHOUT THE CONSTRUCTION PHASE.
5. EXISTING UNDERGROUND UTILITIES TO REMAIN. SHOWN FOR COORDINATION PURPOSES.
6. ALL NEW SITE LIGHTING FIXTURES INCLUDING HANDHOLE, CONDUIT, AND WIRE SHALL BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR.
7. THE WIRING METHOD SHOWN FOR THE EXTERIOR LIGHTING IS INTENDED TO LIMIT THE VOLTAGE DROP TO ENSURE PROPER DRIVER/LAMP OPERATION. THE ELECTRICAL CONTRACTOR SHALL NOT EXCEED THE NUMBER OF FIXTURES SHOWN ON EACH RUN OF CONDUIT AND WIRE.
8. ALL UNDERGROUND CONDUITS SHALL BE SCHEDULE 40 PVC CONDUITS.
9. ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL ALL HANDHOLES, CONDUIT, AND WIRING AS REQUIRED FOR SITE LIGHTING CABLING. FURNISH AND INSTALL MAGNETIC WARNING TAPE ABOVE ALL CONDUITS. COORDINATE EXACT LOCATION WITH ENGINEER. REFER TO HANDHOLE NOTES AND DETAILS. HANDHOLES TO BE IN LOCATED GRASSY AREAS.
10. COORDINATE WITH CIVIL ENGINEER AND OWNER EXACT ROUTING OF ALL TRENCHING TO AVOID ALL TREES AND ROOTS AS REQUIRED. ANY WORK WITHIN DRIP-LINE OF PROTECTED TREES TO BE DONE BY HAND, UNDER SUPERVISION OF CERTIFIED ARBORIST. REFER TO CIVIL DRAWINGS FOR AREAS OF SITE PREPARATION AND TREES TO BE PROTECTED. COORDINATE WITH CIVIL.
11. FOR SITE LIGHTING SYSTEM, THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL TWO UNDERGROUND PVC SCHEDULE 40 CONDUITS (ONE FOR SITE LIGHTING FEEDER AND ONE SPARE CONDUIT) BETWEEN EVERY HANDHOLE. REFER TO UNDERGROUND LIGHTING CONDUIT DETAIL ON DRAWING E-5.
12. ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL TWO 4" SCHEDULE 40 PVC CONDUITS AT THE LOCATIONS SHOWN ON DRAWINGS. CONDUITS TO BE TERMINATED 1'-0" PAST THE EDGE OF PAVEMENT IN GRASS AREA. PROVIDE MAGNETIC WARNING TAPE PER DETAIL ON DWG E-5. FURNISH AND INSTALL A STEEL BOLT OR NAIL IN PAVEMENT DIRECTLY OVER CONDUITS NEAR GRASS. COORDINATE INSTALLATION WITH OWNER AND SITE ENGINEER.

POLE MOUNTED LIGHTING FIXTURE WITH POLE BASE AND UNDERGROUND BRANCH CIRCUIT WIRING FURNISHED AND INSTALLED UNDER ALT#1. REFER TO ALTERNATE NOTES IN LANDSCAPE DRAWINGS. TYPICAL FOR TWENTY-TWO TOTAL.

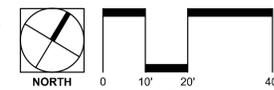
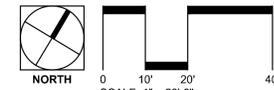
FURNISH AND INSTALL NEW LIGHTING HANDHOLE. REFER TO DETAILS ON DRAWING E1-01.

UNDERGROUND 2" CONDUIT WITH FEEDER 3/4" AND 1#6 GRD. REFER TO DETAILS ON DRAWING E1-01. TYPICAL.

FURNISH AND INSTALL NEW LIGHTING HANDHOLE. REFER TO DETAILS ON DRAWING E1-01.

NEW LIGHTING FIXTURE. FURNISH AND INSTALL UNDER BASE BID. REFER TO LIGHTING FIXTURE DETAILS ON LANDSCAPE DRAWING L4-01.

POLE MOUNTED LIGHTING FIXTURE WITH POLE BASE AND UNDERGROUND BRANCH CIRCUIT WIRING FURNISHED AND INSTALLED UNDER ALT#1. REFER TO ALTERNATE NOTES IN LANDSCAPE DRAWINGS. TYPICAL FOR TWENTY-TWO TOTAL.



Client: **Mystic River Watershed Association**  
Mystic River Watershed Association

Land Owners: **City of Somerville** and **dcr Massachusetts DCR**

Landscape Architect / Project Prime: **offshoots PRODUCTION LANDSCAPES Offshoots, Inc.**

Civil Engineer: **Horsley Witten Group Sustainable Environmental Solutions Horsley Witten Group**

Electrical Engineer: **thompson engineering company CONSULTING ENGINEERS 88 NEWBURY STREET • DANVERS • MASSACHUSETTS 01923**

**SHORE DRIVE GREENWAY**  
SOMERVILLE, MASSACHUSETTS

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REVISIONS

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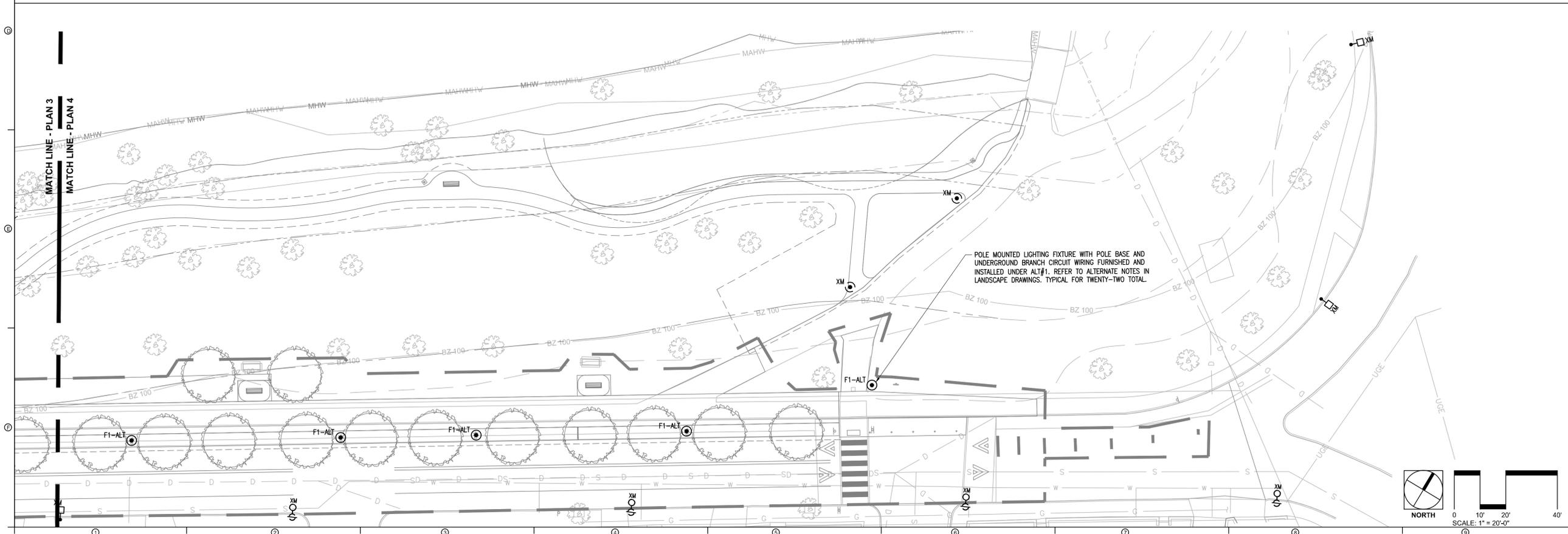
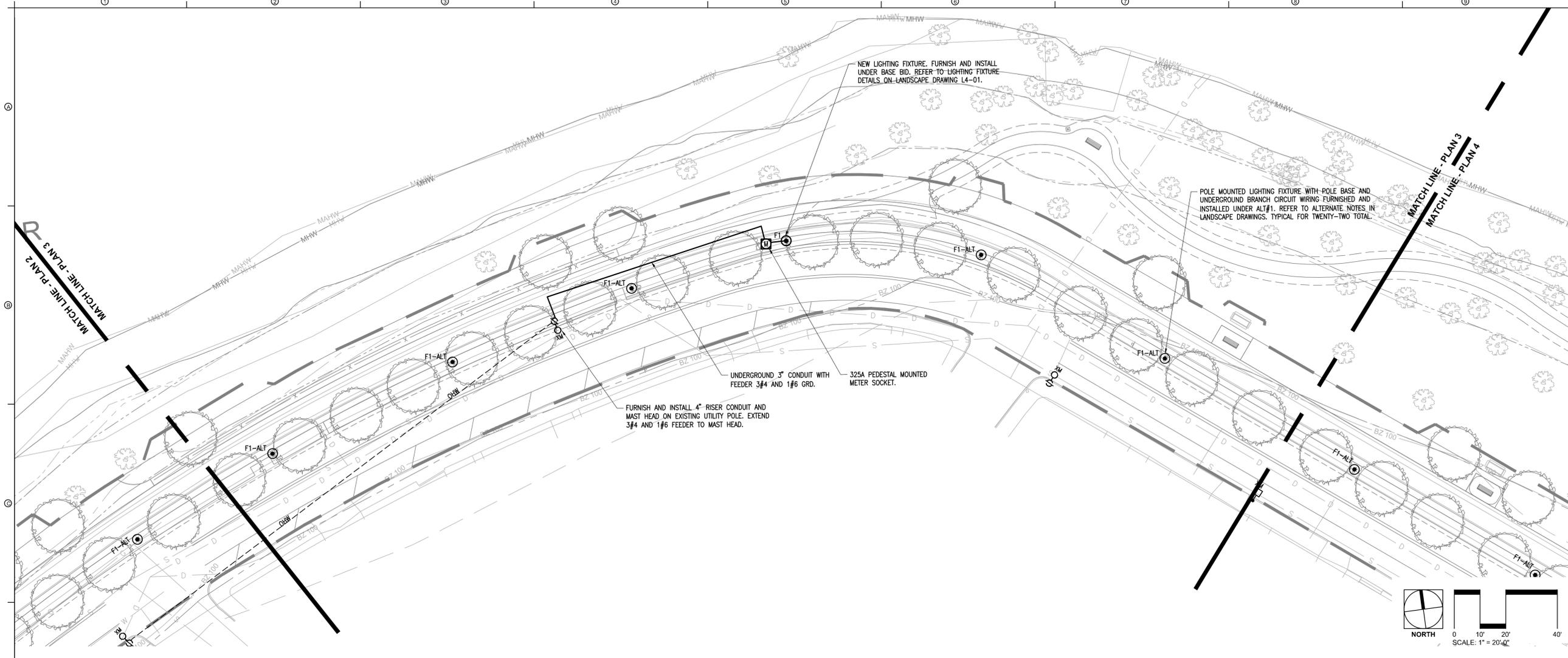
SHEET 31 of 42

MAY 30, 2025

**SITE ELECTRICAL PLAN**

SHEET NUMBER

**E2-01**



Client: **Mystic River Watershed Association**

Land Owners: **City of Somerville** and **DCR**

Landscape Architect / Project Prime: **offshoots**

Civil Engineer: **Horsley Witten Group**

Electrical Engineer: **thompson engineering company**

# SHORE DRIVE GREENWAY

SOMERVILLE, MASSACHUSETTS

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NOT FOR CONSTRUCTION

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ISSUE DATE: \_\_\_\_\_

REVISIONS #	DATE	DESCRIPTION

DRAWN: CAU REVIEWED: SCH

**DRAFT PERMIT SET**  
SHEET 32 of 42  
MAY 30, 2025

**SITE ELECTRICAL PLAN**  
SHEET NUMBER  
**E2-02**

May 30, 2025 - 4:53pm  
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# SHORE DRIVE GREENWAY

SOMERVILLE, MASSACHUSETTS

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REVISIONS

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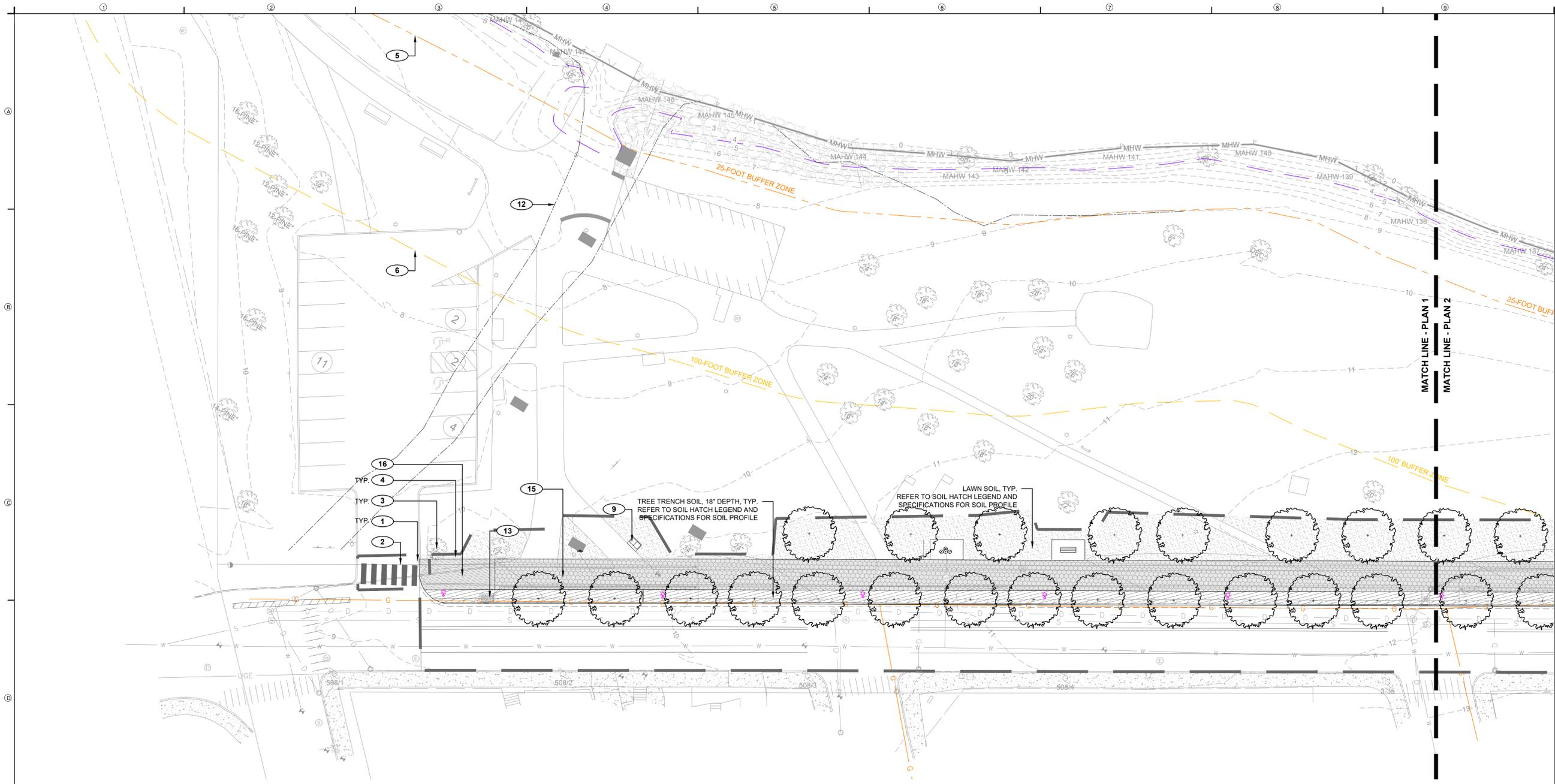
SHEET 33 of 42

MAY 30, 2025

**SOIL PLAN 1**

SHEET NUMBER

**L2-01**



**SOIL NOTES:**

- REFER TO SOIL HATCH LEGEND FOR SOIL PROFILES.
- VERIFY ALL EXISTING TREES TO REMAIN IN FIELD WITH LANDSCAPE ARCHITECT PRIOR TO START OF ANY WORK.
- SEE CIVIL PLANS FOR ALL GRADING AND DRAINAGE AND EROSION CONTROL.
- MATERIALS AND EQUIPMENT CAN NOT BE STORED OR DRIVEN WITHIN CANOPY OF ANY EXISTING TREES TO REMAIN EXCEPT WHERE APPROVED BY LANDSCAPE ARCHITECT IN FIELD.
- PROVIDE 3" OF MULCH AT ALL PLANT BEDS. PROVIDE 3" OF MULCH AT TREE MULCH CIRCLES IN LAWN AREA. ALL MULCH SHALL BE COMPOSTED LEAF MULCH, OBTAINED FROM A LOCAL SOURCE.
- ALL TREES IN LAWN SOIL SHALL RECEIVE PLANTING SOIL IN 6" DIAMETER AROUND TREE TO DEPTH OF ROOTBALL. ALL TREES IN LAWN SHALL HAVE 4'-0" DIAMETER COMPOSTED LEAF MULCH CIRCLE AT BASE. MULCH TO BE 3" DEPTH.
- NO RE-GRADING OR SOIL WORK SHALL BE COMPLETED WITHIN THE CANOPY OF EXISTING TREES TO REMAIN. HAND DIG AND AMEND PLANTING NOTES FOR VEGETATION INSTALLED UNDER EXISTING CANOPIES.

**SOIL HATCH LEGEND:**

	TREE TRENCH / TREE LAWN SOIL	18" TOTAL DEPTH: 12" HORTICULTURAL SOIL BLEND 6" HORTICULTURAL SUBSOIL, SEE CIVIL SPECS
	LAWN SOIL	6" TOTAL DEPTH: 6" LAWN SOIL
	VEGETATED SLOPE RESTORATION SOIL	18" TOTAL DEPTH: 6" HORTICULTURAL SOIL BLEND 12" HORTICULTURAL SUBSOIL

**SITE DETAIL / KEYNOTES:**

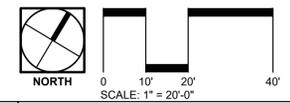
<b>A#</b>	<b>HARDSCAPE MATERIALS</b>	
A1	TRAIL SURFACE AGGREGATE	1/L4-03
A2	CRUSHED STONE PAVING	2/L4-03
<b>B#</b>	<b>FURNISHINGS &amp; SITE ELEMENTS</b>	
B1	BENCH - 6 TOTAL	3/L4-03
B2	WATER STATION - 1 TOTAL	4/L4-03
B3	FENCE - SPLIT RAIL	5/L4-03
B4	STEEL BOLLARD - 7 TOTAL	6/L4-03
B5	INTERPRETIVE SIGNAGE - 3 TOTAL	7/L4-03
<b>C#</b>	<b>LIGHTING</b>	
C1	POLE LIGHT - 2 TOTAL	1,3/L4-01

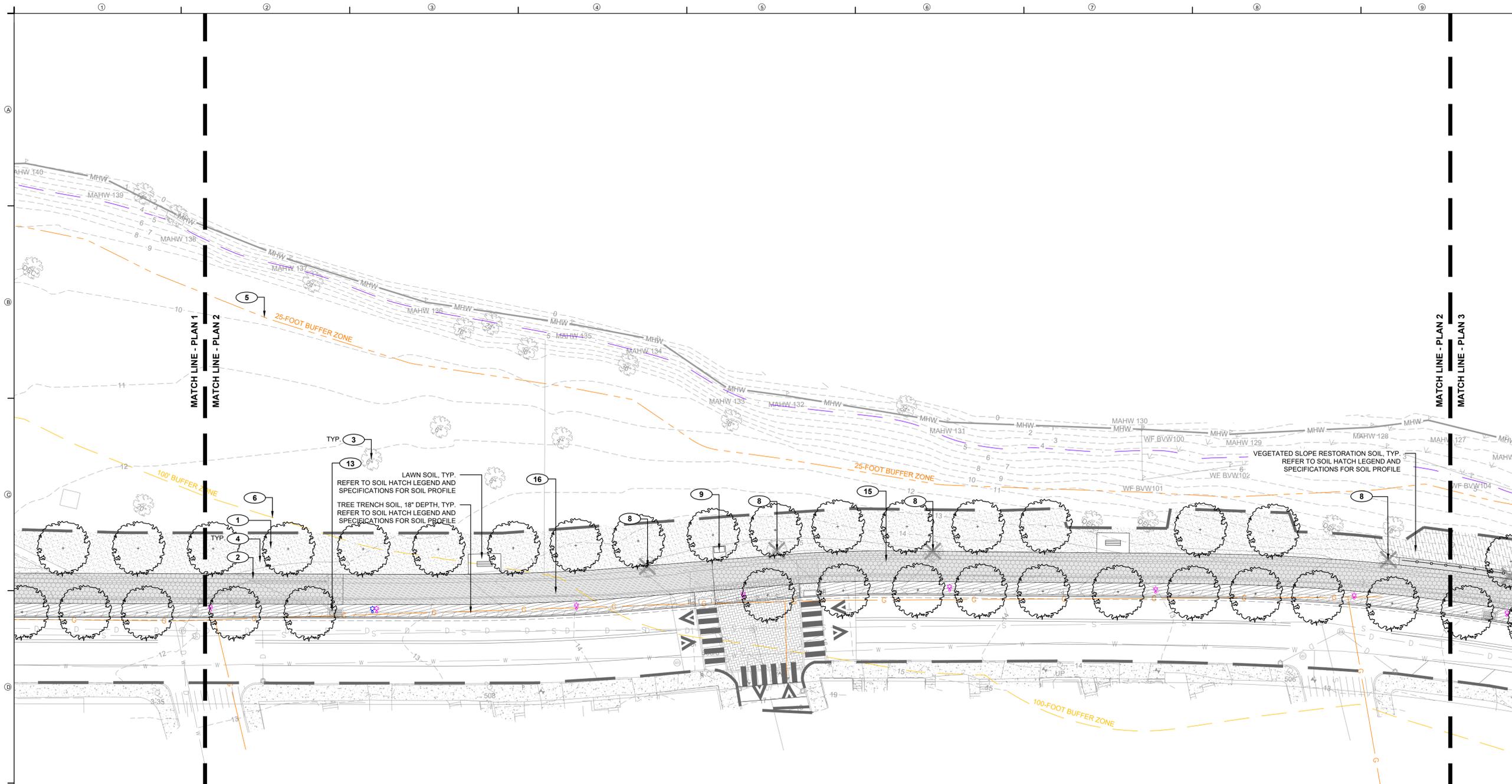
**LANDSCAPE ALTERNATIVES:**

<b>ALT #1</b>	GREENWAY POLE LIGHT (QTY: 2) GREENWAY POLE LIGHTS, INSTALLED (QTY: 2) POLE LIGHTS (C1), DEDUCTED	2,3/L4-01
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**SITE NOTES:**

- LIMIT OF WORK
- PROPERTY LINE
- EXISTING TREE TO REMAIN - SEE EROSION AND SEDIMENT CONTROL PLANS FOR PROTECTION
- DISTURBED AREAS OF EXISTING LAWN TO BE REPLACED IN KIND WITH LOAM AND LAWN SEED TO MATCH CURRENT CONDITION, TYP.
- MHW 25' BUFFER
- MHW 100' BUFFER
- PROPOSED SHORELINE PATH, BY OTHERS
- EXISTING TREE TO BE REMOVED - SEE DEMOLITION PLANS
- EXISTING TRASH RECEPTACLE TO BE RELOCATED, LOCATION TO BE REVIEWED BY OWNER
- TIMBER GUARDRAIL - SEE CONSTRUCTION PLAN
- PROPOSED INTERPRETATIVE SIGN LOCATION
- EXTENTS OF CHAPTER 91 JURISDICTION
- SEDIMENT FOREBAY AND TREE TRENCH, SEE CIVIL PLANS
- FLEXIBLE BOLLARD, SEE TRAFFIC PLANS
- MULTI-USE PATH WITH SAND BASED STRUCTURAL SOIL, SEE TRAFFIC PLANS, TYP.
- MULTI-USE PATH, TYP.





**SOIL NOTES:**

- REFER TO SOIL HATCH LEGEND FOR SOIL PROFILES.
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**SOIL HATCH LEGEND:**

	TREE TRENCH / TREE LAWN SOIL	18" TOTAL DEPTH: 12" HORTICULTURAL SOIL BLEND 6" HORTICULTURAL SUBSOIL, SEE CIVIL SPECS
	LAWN SOIL	6" TOTAL DEPTH: 6" LAWN SOIL
	VEGETATED SLOPE RESTORATION SOIL	18" TOTAL DEPTH: 6" HORTICULTURAL SOIL BLEND 12" HORTICULTURAL SUBSOIL

**SITE DETAIL / KEYNOTES:**

<b>A#</b>	<b>HARDSCAPE MATERIALS</b>	
A1	TRAIL SURFACE AGGREGATE	1/L4-03
A2	CRUSHED STONE PAVING	2/L4-03
<b>B#</b>	<b>FURNISHINGS &amp; SITE ELEMENTS</b>	
B1	BENCH - 6 TOTAL	3/L4-03
B2	WATER STATION - 1 TOTAL	4/L4-03
B3	FENCE - SPLIT RAIL	5/L4-03
B4	STEEL BOLLARD - 7 TOTAL	6/L4-03
B5	INTERPRETIVE SIGNAGE - 3 TOTAL	7/L4-03
<b>C#</b>	<b>LIGHTING</b>	
C1	POLE LIGHT - 2 TOTAL	1,3/L4-01

**LANDSCAPE ALTERNATIVES:**

<b>ALT #1</b>	GREENWAY POLE LIGHT (QTY: 2) GREENWAY POLE LIGHTS, INSTALLED (QTY: 2) POLE LIGHTS (C1), DEDUCTED	2,3/L4-01
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**SITE NOTES:**

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- PROPOSED INTERPRETATIVE SIGN LOCATION
- EXTENTS OF CHAPTER 91 JURISDICTION
- SEDIMENT FOREBAY AND TREE TRENCH, SEE CIVIL PLANS
- FLEXIBLE BOLLARD, SEE TRAFFIC PLANS
- MULTI-USE PATH WITH SAND BASED STRUCTURAL SOIL, SEE TRAFFIC PLANS, TYP.
- MULTI-USE PATH, TYP.

Client: **Mystic River Watershed Association**  
 Mystic River Watershed Association

Land Owners: **City of Somerville** **DCR**  
 City of Somerville Massachusetts DCR

Landscape Architect / Project Prime: **offshoots**  
 PRODUCTIVE LANDSCAPES Offshoots, Inc.

Civil Engineer: **Horsley Witten Group**  
 Sustainable Environmental Solutions Horsley Witten Group

Traffic Engineer: **APEX**  
 Apex Companies, LLC

**SHORE DRIVE GREENWAY**  
 SOMERVILLE, MASSACHUSETTS

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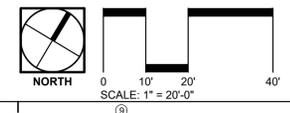
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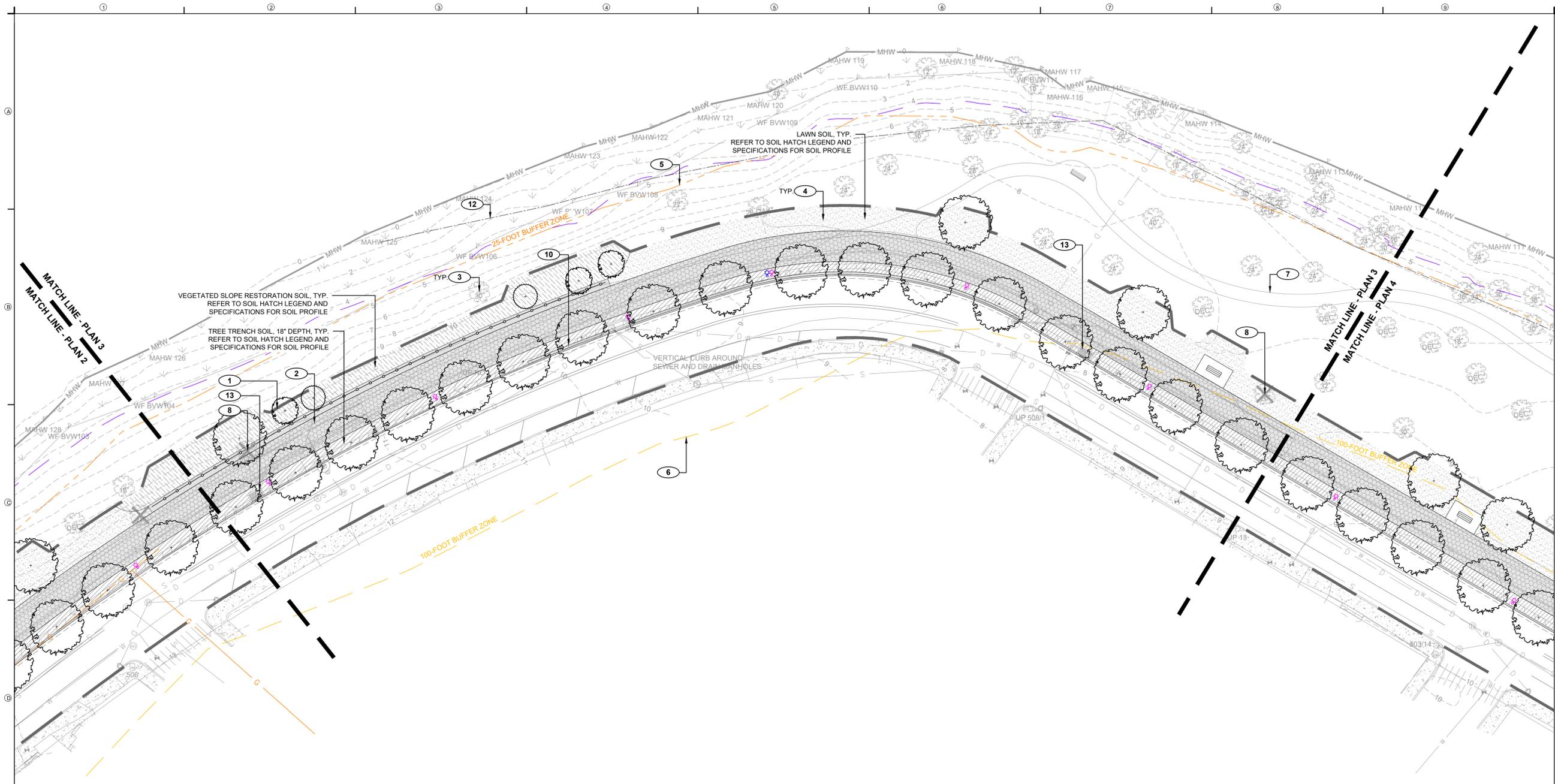
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**DRAFT PERMIT SET**  
 SHEET 34 of 42  
 MAY 30, 2025

**SOIL PLAN 2**  
 SHEET NUMBER  
**L2-02**





**SOIL NOTES:**

- REFER TO SOIL HATCH LEGEND FOR SOIL PROFILES.
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	TREE TRENCH / TREE LAWN SOIL	18" TOTAL DEPTH: 12" HORTICULTURAL SOIL BLEND 6" HORTICULTURAL SUBSOIL, SEE CIVIL SPECS
	LAWN SOIL	6" TOTAL DEPTH: 6" LAWN SOIL
	VEGETATED SLOPE RESTORATION SOIL	18" TOTAL DEPTH: 6" HORTICULTURAL SOIL BLEND 12" HORTICULTURAL SUBSOIL

**SITE DETAIL / KEYNOTES:**

<b>A#</b>	<b>HARDSCAPE MATERIALS</b>	
A1	TRAIL SURFACE AGGREGATE	1/4-03
A2	CRUSHED STONE PAVING	2/4-03
<b>B#</b>	<b>FURNISHINGS &amp; SITE ELEMENTS</b>	
B1	BENCH - 6 TOTAL	3/4-03
B2	WATER STATION - 1 TOTAL	4/4-03
B3	FENCE - SPLIT RAIL	5/4-03
B4	STEEL BOLLARD - 7 TOTAL	6/4-03
B5	INTERPRETIVE SIGNAGE - 3 TOTAL	7/4-03
<b>C#</b>	<b>LIGHTING</b>	
C1	POLE LIGHT - 2 TOTAL	1,3/4-01

**LANDSCAPE ALTERNATIVES:**

<b>ALT #1</b>	GREENWAY POLE LIGHT (QTY: 22) GREENWAY POLE LIGHTS, INSTALLED (QTY: 2) POLE LIGHTS (C1), DEDUCTED	2,3/4-01
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**SITE NOTES:**

- LIMIT OF WORK
- PROPERTY LINE
- EXISTING TREE TO REMAIN - SEE EROSION AND SEDIMENT CONTROL PLANS FOR PROTECTION
- DISTURBED AREAS OF EXISTING LAWN TO BE REPLACED IN KIND WITH LOAM AND LAWN SEED TO MATCH CURRENT CONDITION, TYP.
- MHW 25' BUFFER
- MHW 100' BUFFER
- PROPOSED SHORELINE PATH, BY OTHERS
- EXISTING TREE TO BE REMOVED - SEE DEMOLITION PLANS
- EXISTING TRASH RECEPTACLE TO BE RELOCATED, LOCATION TO BE REVIEWED BY OWNER
- TIMBER GUARDRAIL - SEE CONSTRUCTION PLAN
- PROPOSED INTERPRETATIVE SIGN LOCATION
- EXTENTS OF CHAPTER 91 JURISDICTION
- SEDIMENT FOREBAY AND TREE TRENCH, SEE CIVIL PLANS
- FLEXIBLE BOLLARD, SEE TRAFFIC PLANS
- MULTI-USE PATH WITH SAND BASED STRUCTURAL SOIL, SEE TRAFFIC PLANS, TYP.
- MULTI-USE PATH, TYP.

Client: **Mystic River Watershed Association**  
 Land Owners: **City of Somerville** (DCR)  
 Landscape Architect / Project Prime: **offshoots**  
 Civil Engineer: **Horsley Witten Group**  
 Traffic Engineer: **APEX**

**SHORE DRIVE GREENWAY**  
 SOMERVILLE, MASSACHUSETTS

**DRAFT NOT FOR CONSTRUCTION**

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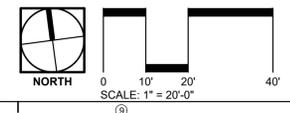
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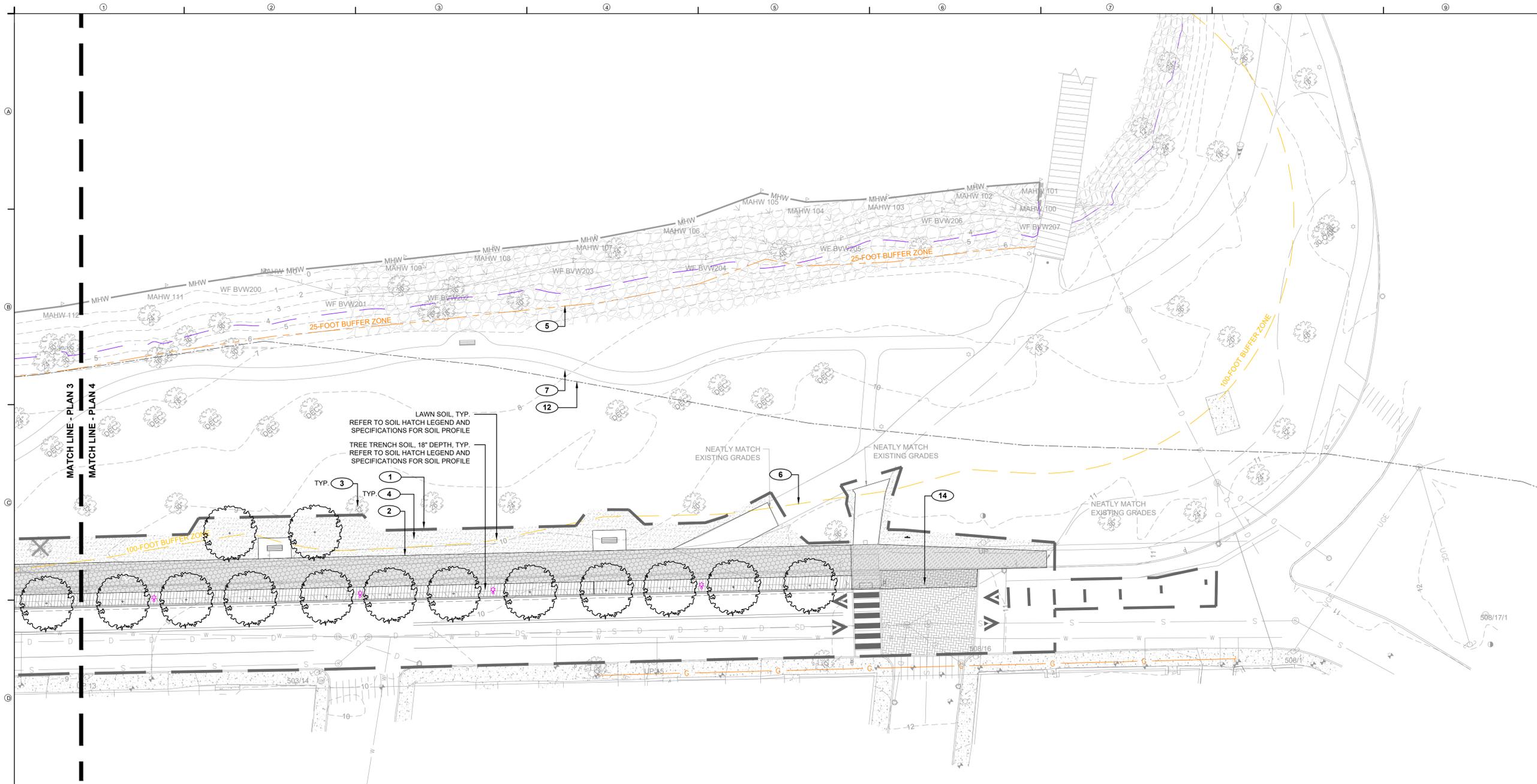
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**DRAFT PERMIT SET**  
 SHEET 35 of 42  
 MAY 30, 2025

**SOIL PLAN 3**  
 SHEET NUMBER  
**L2-03**





**SOIL NOTES:**

- REFER TO SOIL HATCH LEGEND FOR SOIL PROFILES.
- VERIFY ALL EXISTING TREES TO REMAIN IN FIELD WITH LANDSCAPE ARCHITECT PRIOR TO START OF ANY WORK.
- SEE CIVIL PLANS FOR ALL GRADING AND DRAINAGE AND EROSION CONTROL.
- MATERIALS AND EQUIPMENT CAN NOT BE STORED OR DRIVEN WITHIN CANOPY OF ANY EXISTING TREES TO REMAIN EXCEPT WHERE APPROVED BY LANDSCAPE ARCHITECT IN FIELD.
- PROVIDE 3" OF MULCH AT ALL PLANT BEDS. PROVIDE 3" OF MULCH AT TREE MULCH CIRCLES IN LAWN AREA. ALL MULCH SHALL BE COMPOSTED LEAF MULCH, OBTAINED FROM A LOCAL SOURCE.
- ALL TREES IN LAWN SOIL SHALL RECEIVE PLANTING SOIL IN 6" DIAMETER AROUND TREE TO DEPTH OF ROOTBALL. ALL TREES IN LAWN SHALL HAVE 4'-0" DIAMETER COMPOSTED LEAF MULCH CIRCLE AT BASE. MULCH TO BE 3" DEPTH.
- NO RE-GRADING OR SOIL WORK SHALL BE COMPLETED WITHIN THE CANOPY OF EXISTING TREES TO REMAIN. HAND DIG AND AMEND PLANTING NOTES FOR VEGETATION INSTALLED UNDER EXISTING CANOPIES.

**SOIL HATCH LEGEND:**

	TREE TRENCH / TREE LAWN SOIL	18" TOTAL DEPTH: 12" HORTICULTURAL SOIL BLEND 6" HORTICULTURAL SUBSOIL, SEE CIVIL SPECS
	LAWN SOIL	6" TOTAL DEPTH: 6" LAWN SOIL
	VEGETATED SLOPE RESTORATION SOIL	18" TOTAL DEPTH: 6" HORTICULTURAL SOIL BLEND 12" HORTICULTURAL SUBSOIL

**SITE DETAIL / KEYNOTES:**

<b>A#</b>	<b>HARDSCAPE MATERIALS</b>	
A1	TRAIL SURFACE AGGREGATE	1/L4-03
A2	CRUSHED STONE PAVING	2/L4-03
<b>B#</b>	<b>FURNISHINGS &amp; SITE ELEMENTS</b>	
B1	BENCH - 6 TOTAL	3/L4-03
B2	WATER STATION - 1 TOTAL	4/L4-03
B3	FENCE - SPLIT RAIL	5/L4-03
B4	STEEL BOLLARD - 7 TOTAL	6/L4-03
B5	INTERPRETIVE SIGNAGE - 3 TOTAL	7/L4-03
<b>C#</b>	<b>LIGHTING</b>	
C1	POLE LIGHT - 2 TOTAL	1,3/L4-01

**LANDSCAPE ALTERNATIVES:**

<b>ALT #1</b>	GREENWAY POLE LIGHT (QTY: 22) GREENWAY POLE LIGHTS, INSTALLED (QTY: 2) POLE LIGHTS (C1), DEDUCTED	2,3/L4-01
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**SITE NOTES:**

- LIMIT OF WORK
- PROPERTY LINE
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- DISTURBED AREAS OF EXISTING LAWN TO BE REPLACED IN KIND WITH LOAM AND LAWN SEED TO MATCH CURRENT CONDITION, TYP.
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- MHW 100' BUFFER
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- EXISTING TRASH RECEPTACLE TO BE RELOCATED, LOCATION TO BE REVIEWED BY OWNER
- TIMBER GUARDRAIL - SEE CONSTRUCTION PLAN
- PROPOSED INTERPRETATIVE SIGN LOCATION
- EXTENTS OF CHAPTER 91 JURISDICTION
- SEDIMENT FOREBAY AND TREE TRENCH, SEE CIVIL PLANS
- FLEXIBLE BOLLARD, SEE TRAFFIC PLANS
- MULTI-USE PATH WITH SAND BASED STRUCTURAL SOIL, SEE TRAFFIC PLANS, TYP.
- MULTI-USE PATH, TYP.

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**SHORE DRIVE GREENWAY**  
SOMERVILLE, MASSACHUSETTS

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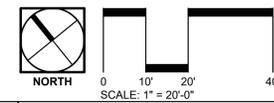
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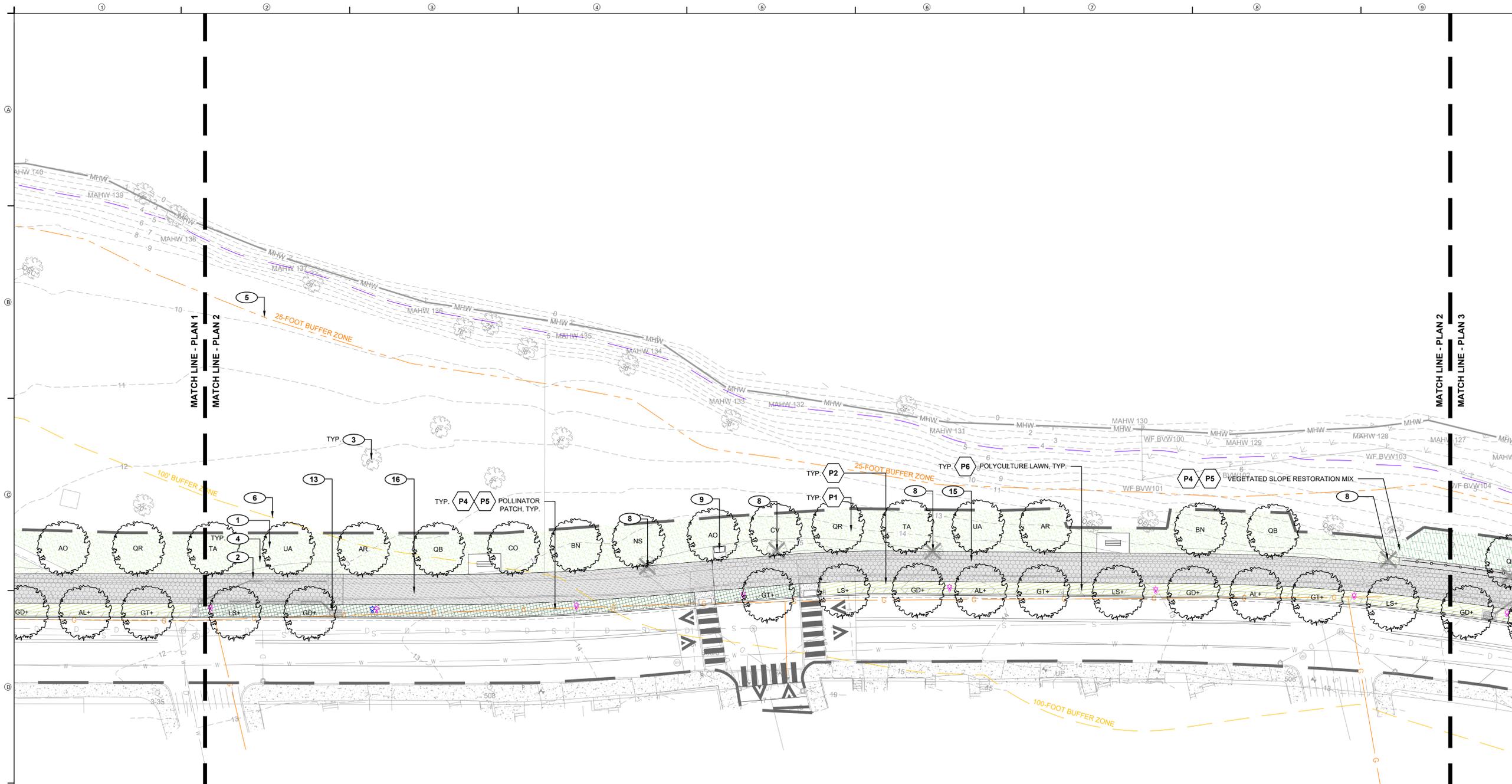
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**DRAFT PERMIT SET**  
SHEET 36 of 42  
MAY 30, 2025

**SOIL PLAN 4**  
SHEET NUMBER  
**L2-04**







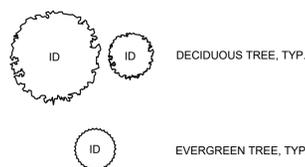
**PLANTING NOTES:**

- REFER TO L3-05 PLANTING SCHEDULE FOR SPECIFIED PLANT SPECIES, SIZES, AND QUANTITIES.
- VERIFY ALL EXISTING TREES TO REMAIN IN FIELD WITH LANDSCAPE ARCHITECT AND LAND OWNER PRIOR TO START OF ANY WORK.
- CONTRACTOR SHALL CARRY AN ALLOWANCE TO REPLACE 15% OF PLANTS DUE TO HERBIVORY DURING WARRANTY PERIOD.
- PROVIDE TWO STAKES AND TWO TREE GATOR WATER BAGS ON EACH NEW TREE AND COORDINATE FUTURE FILLING OF BAGS WITH MAINTENANCE TEAM. CONTRACTOR RESPONSIBLE FOR FILLING BAGS AND WATERING DURING WARRANTY PERIOD.
- LANDSCAPE ARCHITECT TO APPROVE PLANT MATERIAL PRIOR TO DELIVERY TO SITE AND AGAIN AT SITE PRIOR TO PLANTING. NO SUBSTITUTIONS OF PLANT SPECIES OR VARIETIES WITHOUT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
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- THE CONTRACTOR SHALL SUPPLY ALL NEW PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS.
- IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR BETWEEN THE PLANT MATERIALS LIST AND THE DRAWINGS, THE HIGHER NUMBER OF PLANTS SHALL GOVERN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL STAKE OR LAYOUT THE LOCATIONS OF ALL PROPOSED PLANTING FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF PLANTING. ANY PLANT LOCATIONS NOT INDICATED ON THE DRAWINGS SHALL BE LAID OUT IN FIELD BY LANDSCAPE ARCHITECT.
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- PLANT UNDER FULL SUPERVISION OF CERTIFIED ARBORIST, MCH, OR APPROVED EQUAL DESCRIBED IN THE SPECIFICATIONS. PROVIDE WRITTEN VERIFICATION OF CERTIFICATION AND/OR LICENSE FOR OWNER'S REPRESENTATIVE APPROVAL.
- INSTALL ALL PLANT MATERIAL PER SPECIFICATIONS. REFER TO PLANTING DETAILS ON L4-02.
- WATER PLANTS THOROUGHLY AFTER INSTALLATION. A MINIMUM OF TWICE WITHIN THE FIRST 24 HOURS. RAISE AND REPLANT ANY PLANTS THAT SETTLE AFTER PLANTING AND WATERING.
- APPLY MULCH ONLY AROUND TREES (4" DIAMETER) AND IN PLANT BEDS WHERE NO SEED IS INSTALLED. PROVIDE 3" OF MULCH AT PLANT BEDS, AND PROVIDE 3" OF MULCH IN A 4'-0" DIAMETER AT TREE MULCH CIRCLES IN LAWN AREA. ALL MULCH SHALL BE COMPOSTED LEAF MULCH, OBTAINED FROM A LOCAL SOURCE.
- CONTRACTOR TO REPAIR ANY DAMAGE TO ADJACENT AREAS DUE TO OPERATIONS INSIDE AND/OR OUTSIDE OF LIMIT OF WORK.
- DRAINAGE SYSTEMS IN BIOSHALE AREAS BY CIVIL, SEE CIVIL DRAWINGS
- REFER TO L2-00 SERIES FOR SOIL PLANS.
- INCLUDE 1 YEAR OF LANDSCAPE MAINTENANCE AND WARRANTY IN CONTRACT TO ENSURE PLANT ESTABLISHMENT. THIS CONTRACT INCLUDES ONE YEAR OF INVASIVE PLANT MANAGEMENT TO ERADICATE ALL INVASIVE SPECIES WITHIN THE LIMIT OF WORK AS DESCRIBED IN THE PLAN AND SPECIFICATIONS. IT ALSO INCLUDES LANDSCAPE MAINTENANCE (INCLUDING WATERING AND FULL CARE) OF NEW PLANTINGS AND SEEDED AREAS FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE. IN ADDITION, IT ALSO INCLUDES PLANT MONITORING AND WEED MANAGEMENT BY A MASSACHUSETTS CERTIFIED HORTICULTURIST OR EQUAL AT ALL TIMES DURING MAINTENANCE PERIOD. ALL AREAS ON THE PROPERTY SHALL BE MONITORED AND MAINTAINED TO ELIMINATE WEEDS TO ENSURE THAT WEEDS DO NOT ESTABLISH IN ANY PLANTED AREAS. SEE SPECIFICATIONS.

**PLANTING HATCH LEGEND:**

	POLLINATOR PATCH
	POLYCULTURE LAWN
	VEGETATED SLOPE RESTORATION MIX
	LOAM AND SEED LAWN

**PLANTING SYMBOL LEGEND:**

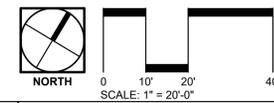


**PLANTING DETAIL / KEYNOTES:**

P#	PLANTING	
P1	TREE PLANTING	1/L4-02
P2	TREE PLANTING IN TREE TRENCH / TREE LAWN	2/L4-02
P3	SHRUB PLANTING	3/L4-02
P4	PERENNIAL PLANTING - CONTAINER	4/L4-02
P5	PERENNIAL PLANTING - PLUG	5/L4-02
P6	SEEDED LAWN	6/L4-02

**SITE NOTES:**

- LIMIT OF WORK
- PROPERTY LINE
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 Sustainable Environmental Solutions  
 Horsley Witten Group

Traffic Engineer: **APEX**  
 Apex Companies, LLC

**SHORE DRIVE GREENWAY**  
 SOMERVILLE, MASSACHUSETTS

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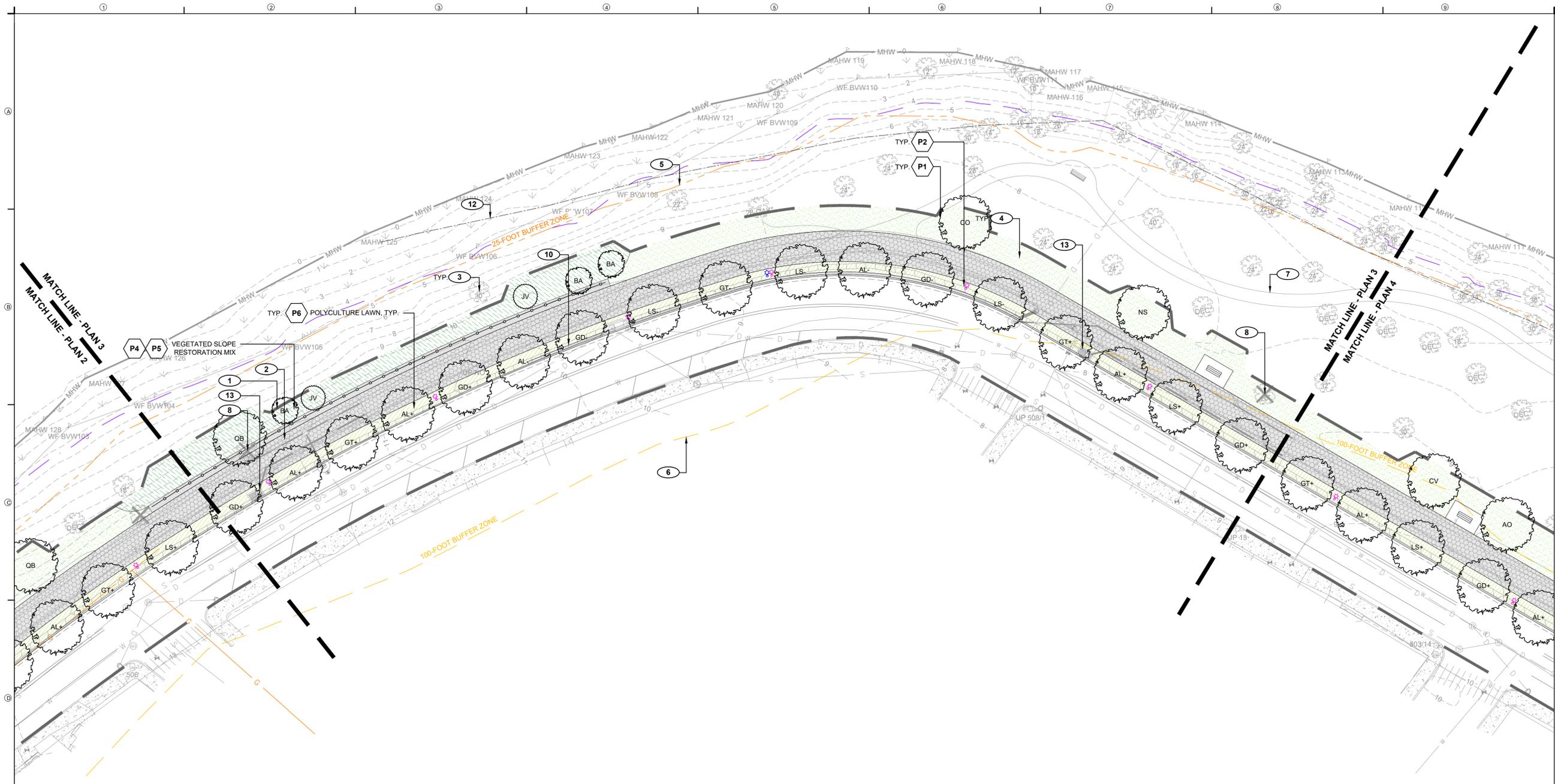
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SHEET 38 of 42  
 MAY 30, 2025

**PLANTING PLAN 2**

SHEET NUMBER

**L3-02**



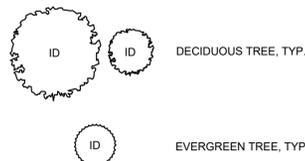
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- INSTALL ALL PLANT MATERIAL PER SPECIFICATIONS. REFER TO PLANTING DETAILS ON L4-02.
- WATER PLANTS THOROUGHLY AFTER INSTALLATION. A MINIMUM OF TWICE WITHIN THE FIRST 24 HOURS. RAISE AND REPLANT ANY PLANTS THAT SETTLE AFTER PLANTING AND WATERING.
- APPLY MULCH ONLY AROUND TREES (4" DIAMETER) AND IN PLANT BEDS WHERE NO SEED IS INSTALLED. PROVIDE 3" OF MULCH AT PLANT BEDS, AND PROVIDE 3" OF MULCH IN A 4'-0" DIAMETER AT TREE MULCH CIRCLES IN LAWN AREA. ALL MULCH SHALL BE COMPOSTED LEAF MULCH, OBTAINED FROM A LOCAL SOURCE.
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**PLANTING HATCH LEGEND:**

	POLLINATOR PATCH
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**PLANTING SYMBOL LEGEND:**

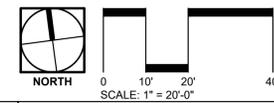


**PLANTING DETAIL / KEYNOTES:**

P#	PLANTING	
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P3	SHRUB PLANTING	3/L4-02
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P6	SEEDED LAWN	6/L4-02

**SITE NOTES:**

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**SHORE DRIVE GREENWAY**  
 SOMERVILLE, MASSACHUSETTS

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REVISIONS #	DATE	DESCRIPTION

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**DRAFT PERMIT SET**  
 SHEET 39 of 42  
 MAY 30, 2025

**PLANTING PLAN 3**  
 SHEET NUMBER  
**L3-03**



**PLANTING SCHEDULE:**

KEY / HATCH	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING	DESIGN NOTES	SOMERVILLE SPECIES	SOIL SALT TOLERANCE	SALT SPRAY TOLERANCE	CONSIDERED NATIVE
<b>BLESSING OF THE BAY PARK TREES (MODERATE TO HIGH SALT SPRAY TOLERANCE)</b>										
AR	2	ACER RUBRUM 'RED SUNSET'	RED MAPLE	2-2.5" CAL. B&B	PER PLAN		UFMP, SPAP	S	M	MIDDLESEX NATIVAR
AO	3	ACER RUBRUM 'OCTOBER GLORY'	RED MAPLE	2-2.5" CAL. B&B	PER PLAN		UFMP, SPAP	S	M	MIDDLESEX NATIVAR
BA	3	BETULA ALLEGHENIENSIS	YELLOW BIRCH	7-8' HT. B&B	PER PLAN	LOCATED ONLY IN RESTORATION AREA	SPAP	T	T	MIDDLESEX
BN	3	BETULA NIGRA	RIVER BIRCH	2-2.5" CAL. B&B	PER PLAN	SINGLESTEM	UFMP, SPAP	M	M	MIDDLESEX
CO	3	CELTIS OCCIDENTALIS	COMMON HACKBERRY	2-2.5" CAL. B&B	PER PLAN		UFMP, SPAP	M	T	MIDDLESEX
CV	3	CRATAEGUS VIRIDIS 'WINTER KING'	GREEN HAWTHORN	2-2.5" CAL.	PER PLAN	SINGLESTEM	UFMP, SPAP	T	M	USA SOUTHEAST NATIVAR
JV	2	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	7-8' HT. B&B	PER PLAN	LOCATED ONLY IN RESTORATION AREA	UFMP, SPAP	T	T	MIDDLESEX
NS	3	NYSSA SYLVATICA	BLACK TUPELO	2-2.5" CAL.	PER PLAN		UFMP, SPAP	T	M	MIDDLESEX
QB	4	QUERCUS BICOLOR	SWAMP WHITE OAK	2-2.5" CAL. B&B	PER PLAN		UFMP, SPAP	S	M	MIDDLESEX
QR	2	QUERCUS RUBRA	RED OAK	2-2.5" CAL. B&B	PER PLAN		UFMP, SPAP	M	T	MIDDLESEX
TA	2	TILIA AMERICANA 'REDMOND'	AMERICAN BASSWOOD	2-2.5" CAL. B&B	PER PLAN		UFMP, SPAP	S	M	MIDDLESEX NATIVAR
UA	2	ULMUS AMERICANA 'JEFFERSON'	AMERICAN ELM	2-2.5" CAL. B&B	PER PLAN		UFMP, SPAP	M	T	MIDDLESEX NATIVAR
<b>GREENWAY TREE TRENCH / TREE LAWN TREES (HIGH SOIL SALT AND SALT SPRAY TOLERANCE)</b>										
AL+	11	AMELANCHIER LAEVIS 'SPRING FLURRY'	SERVICEBERRY	2-2.5" CAL.	PER PLAN	SINGLESTEM	UFMP, SPAP	T	T	MIDDLESEX NATIVAR
GD+	12	GYMNOCLADUS DIOICUS	KENTUCKY COFFEETREE	2-2.5" CAL.	PER PLAN		UFMP	T	T	USA MIDATLANTIC MIDWEST NATIVAR
GT+	11	GLEDITSIA TRIACANTHOS VAR. INERMIS 'HALKA'	HONEY LOCUST	2-2.5" CAL.	PER PLAN		UFMP	T	T	USA MIDATLANTIC MIDWEST
LS+	11	LIQUIDAMBAR STYRACIFLUA 'HAPPIDAZE'	AMERICAN SWEETGUM	2-2.5" CAL.	PER PLAN		UFMP	T	T	MASSACHUSETTS NATIVAR
<b>GREENWAY TREE TRENCH / TREE LAWN TREES AT GUARD RAIL (HIGH SOIL SALT AND SALT SPRAY TOLERANCE)</b>										
AL-	2	AMELANCHIER LAEVIS 'SPRING FLURRY'	SERVICEBERRY	1.5-2" CAL.	PER PLAN	SINGLESTEM	UFMP, SPAP	T	T	MIDDLESEX NATIVAR
GD-	2	GYMNOCLADUS DIOICUS	KENTUCKY COFFEETREE	1.5-2" CAL.	PER PLAN		UFMP	T	T	USA MIDATLANTIC MIDWEST NATIVAR
GT-	1	GLEDITSIA TRIACANTHOS VAR. INERMIS 'HALKA'	HONEY LOCUST	1.5-2" CAL.	PER PLAN		UFMP	T	T	USA MIDATLANTIC MIDWEST NATIVAR
LS-	3	LIQUIDAMBAR STYRACIFLUA 'HAPPIDAZE'	AMERICAN SWEETGUM	1.5-2" CAL.	PER PLAN		UFMP	T	T	NATIVAR
<b>POLLINATOR PATCH 1,952 SQ FT</b>										
GRAMINOIDES - PLANT AS A MATRIX THROUGHOUT AREA										
500		SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	LANDSCAPE PLUGS	24" OC					
FORBS - PLANT IN SWATHS WITHIN GRAMINOID MATRIX TO BE FIELD LOCATED WITH L.A. PRIOR TO INSTALLATION										
65		ACHILLEA MILLEFOLIUM	COMMON YARROW	1 GALLON	24" OC		SPAP	M/T	M/T	MIDDLESEX
100		ASCLEPIAS TUBEROSA	BUTTERFLY WEED	1 GALLON	24" OC		SPAP	M	S	MIDDLESEX
30		COREOPSIS LANCEOLATA	LANCE-LEAF TICKSEED	1 GALLON	24" OC		SPAP	M	M	USA MIDATLANTIC SOUTHERN
50		EUTHAMIA GRAMINIFOLIA	GRASS LEAF GOLDENROD	1 GALLON	24" OC		SPAP	S/M	S/M	MIDDLESEX
30		HELIENIUM AUTUMNALE	COMMON SNEEZEWEED	1 GALLON	24" OC		SPAP	S/M	S	MIDDLESEX
50		PENSTEMON DIGITALIS	BEARDTONGUE FOXGLOVE	1 GALLON	24" OC		SPAP	M	M	MIDDLESEX
65		PYCANTHEMUM TENUIFOLIUM	NARROW LEAVED MOUNTAIN MINT	1 GALLON	24" OC		SPAP	M	M	MIDDLESEX
30		RUDBECKIA FULGIDA	BLACK-EYED SUSAN	1 GALLON	24" OC		SPAP	M	M	USA MIDATLANTIC MIDWEST
30		RUDBECKIA HIRTA	BLACK-EYED SUSAN	1 GALLON	24" OC		SPAP	M	M	MASSACHUSETTS
50		ZIZA AUREA	GOLDEN ALEXANDER	1 GALLON	24" OC		SPAP	M	M	MIDDLESEX
<b>POLYLCULTURE LAWN (LOW-MOW MIX OF GRASSES AND FORBS) 5,900 SQ FT</b>										
SEED MIX										
5900 SF		ACHILLEA MILLEFOLIUM	COMMON YARROW	SEED			SPAP	M/T	M/T	MIDDLESEX
		CAREX SPP.	CAREX	SEED		*LIMITED AVAILABILITY	SPAP	M/T	M/T	NO - EUROPE
		ERAGROSTIS SPECTABILIS	PURPLE LOVEGRASS	SEED			SPAP	T	M	MIDDLESEX
		FESTUCA SPP.	FESCUES	SEED			SPAP	M/T	M/T	NO - EUROPE
		FRAGARIA VIRGINIANA	WILD STRAWBERRY	SEED			SPAP	S	S	MIDDLESEX
		JUNCUS TENUIS	PATH RUSH	SEED			SPAP	M	M	MIDDLESEX
		VIOLA SORORIA	COMMON BLUE VIOLET	SEED			SPAP	S	S	MIDDLESEX
<b>VEGETATED SLOPE RESTORATION MIX 2,125 SQ FT</b>										
SHRUBS - 80% OF AREA (TO BE LOCATED IN FIELD BY LA)										
15		ARONIA MELANOCARPA	BLACK CHOKEBERRY	3 GALLON	5' OC		SPAP	M	M	MIDDLESEX NATIVAR
15		CEANOTHUS AMERICANUS	NEW JERSEY TEA	3 GALLON	5' OC		SPAP	S	T	MIDDLESEX
20		CLETHRA ALNIFOLIA	SWEET PEPPERBUSH	3 GALLON	5' OC		SPAP	M	M/T	MIDDLESEX NATIVAR
15		CORNUS SERICEA	REDTWIG DOGWOOD	3 GALLON	5' OC		SPAP	M	M/T	MIDDLESEX NATIVAR
PERENNIALS - 20% OF AREA (TO BE LOCATED IN FIELD BY LA)										
20		DENNSTAEDIA PUNCTILOBULA	HAY SCENTED FERN	1 GALLON	18" OC		SPAP	M	M	MIDDLESEX
20		DRYOPTERIS MARGINALIS	MARGINAL WOOD FERN	1 GALLON	18" OC		SPAP	M	M	MIDDLESEX
20		EURYBIA DIVARICATA	WHITE WOOD ASTER	1 GALLON	18" OC		SPAP	M	M	MIDDLESEX
35		GERANIUM MACULATUM	WILD CRANESBILL	1 GALLON	18" OC		SPAP	S/M	S/M	MIDDLESEX
35		PYCANTHEMUM MUTICUM	MOUNTAIN MINT	1 GALLON	18" OC		SPAP	M	M	MIDDLESEX
20		SOLIDAGO FLEXICAULIS	ZIGZAG GOLDENROD	1 GALLON	18" OC		SPAP	M	S/M	MIDDLESEX
20		ZIZA AUREA	GOLDEN ALEXANDER	1 GALLON	18" OC		SPAP	M	M	MIDDLESEX
<b>LOAM AND SEED LAWN 18,484 SQ FT</b>										
SEED MIX										
18484 SF		SEEDED LAWN - TO MATCH EXISTING DCR PARK LAWN			LAWN SEED					

NOTE:  
 \*SALT TOLERANCE INFORMATION FROM "RHODE ISLAND DEPARTMENT OF TRANSPORTATION (RIDOT) SALT TOLERANT TREE AND SHRUB GUIDE"  
 IF SALT TOLERANCE INFORMATION WAS UNAVAILABLE AT THE SOURCE ABOVE, ONLY THEN WERE THE FOLLOWING SOURCES REFERENCED: "PLANT FACT SHEETS FROM ENVIRONMENTAL HORTICULTURE DEPARTMENT, FLORIDA COOPERATIVE EXTENSION SERVICE, INSTITUTE OF FOOD AND AGRICULTURAL SCIENCES, UNIVERSITY OF FLORIDA," AND "SOUTHEAST WISCONSIN REGIONAL PLANNING COMMISSION - TECHNICAL REPORT NO. 62, APPENDIX C. RELATIVE SALT (NaCl) TOLERANCE OF SELECTED PLANTS" AND "NEW ENGLAND WETLAND PLANTS - NEWP.COM) AND "MENUNKATUCK AUDUBON SOCIETY WEBSITE"

UFMP - URBAN FORESTRY MANAGEMENT PLAN  
 SPAP - SOMERVILLE POLLINATOR ACTION PLAN  
 S - SENSITIVE  
 M - MODERATE  
 T - TOLERANT  
 S - SENSITIVE  
 M - MODERATE  
 T - TOLERANT

Client: **Mystic River Watershed Association**  
 Mystic River Watershed Association  
 Land Owners: **City of Somerville** and **DCR**  
 Landscape Architect / Project Prime: **offshoots**  
 Offshoots, Inc.  
 Civil Engineer: **Horsley Witten Group**  
 Sustainable Environmental Solutions  
 Horsley Witten Group  
 Traffic Engineer: **APEX**  
 Apex Companies, LLC

**SHORE DRIVE GREENWAY**  
 SOMERVILLE, MASSACHUSETTS

**DRAFT NOT FOR CONSTRUCTION**

STAMP:

ISSUE DATE: \_\_\_\_\_

REVISIONS

#	DATE	DESCRIPTION

DRAWN: CAU REVIEWED: SCH

**DRAFT PERMIT SET**  
 SHEET 41 of 42  
 MAY 30, 2025

**PLANTING SCHEDULE**  
 SHEET NUMBER  
**L3-05**



# Blessing of the Bay Park Schematic Design Report

Prepared for: Mystic River Watershed Association, December 13, 2018  
Draft Report Version 3 By: Offshoots, Inc.



Photo provided by Julian Tryba, 2018



Massachusetts Department of  
Conservation & Recreation



City of  
Somerville



Somerville  
Community  
Preservation Act

The Mystic  
Tenant  
Association



Groundwork  
Somerville



The Lawrence &  
Lillian Solomon  
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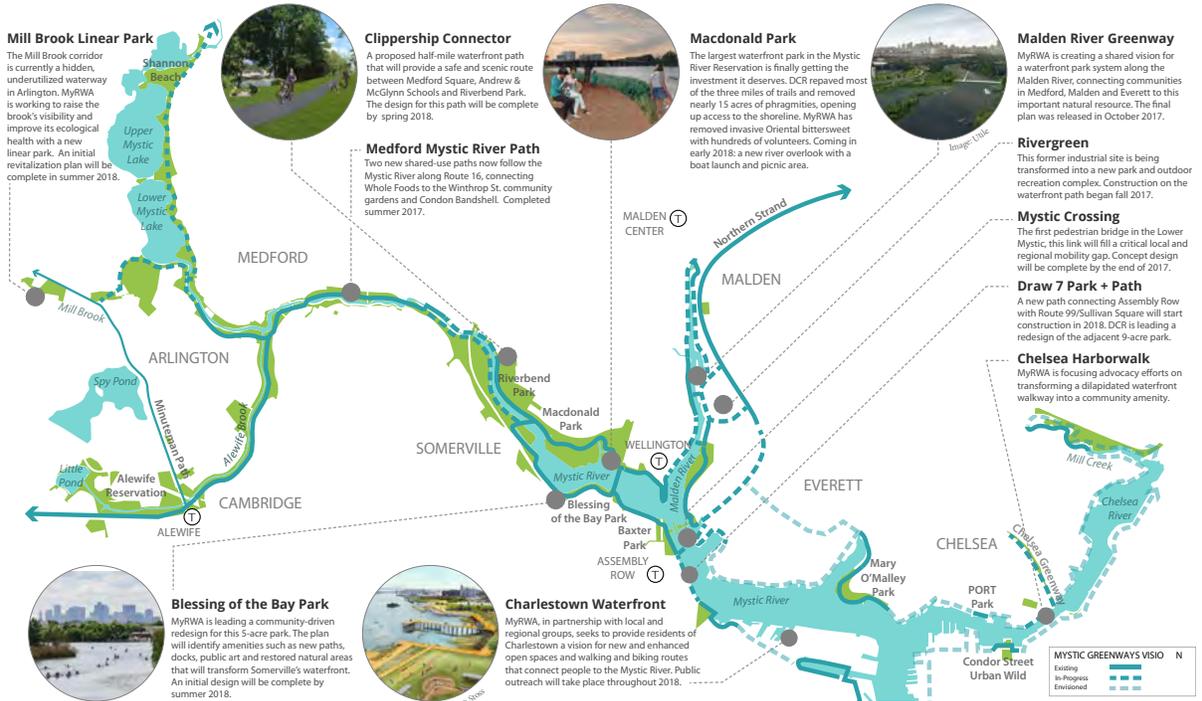
Horsley Witten Group  
Sustainable Environmental Solutions



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LEARN MORE  
[mysticriver.org/greenways-progress](http://mysticriver.org/greenways-progress)

## MYSTIC GREENWAYS PROGRESS



The Blessing of the Bay Park Redesign is part of a series of open space projects being completed along the river by MyRWA.

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# Introduction

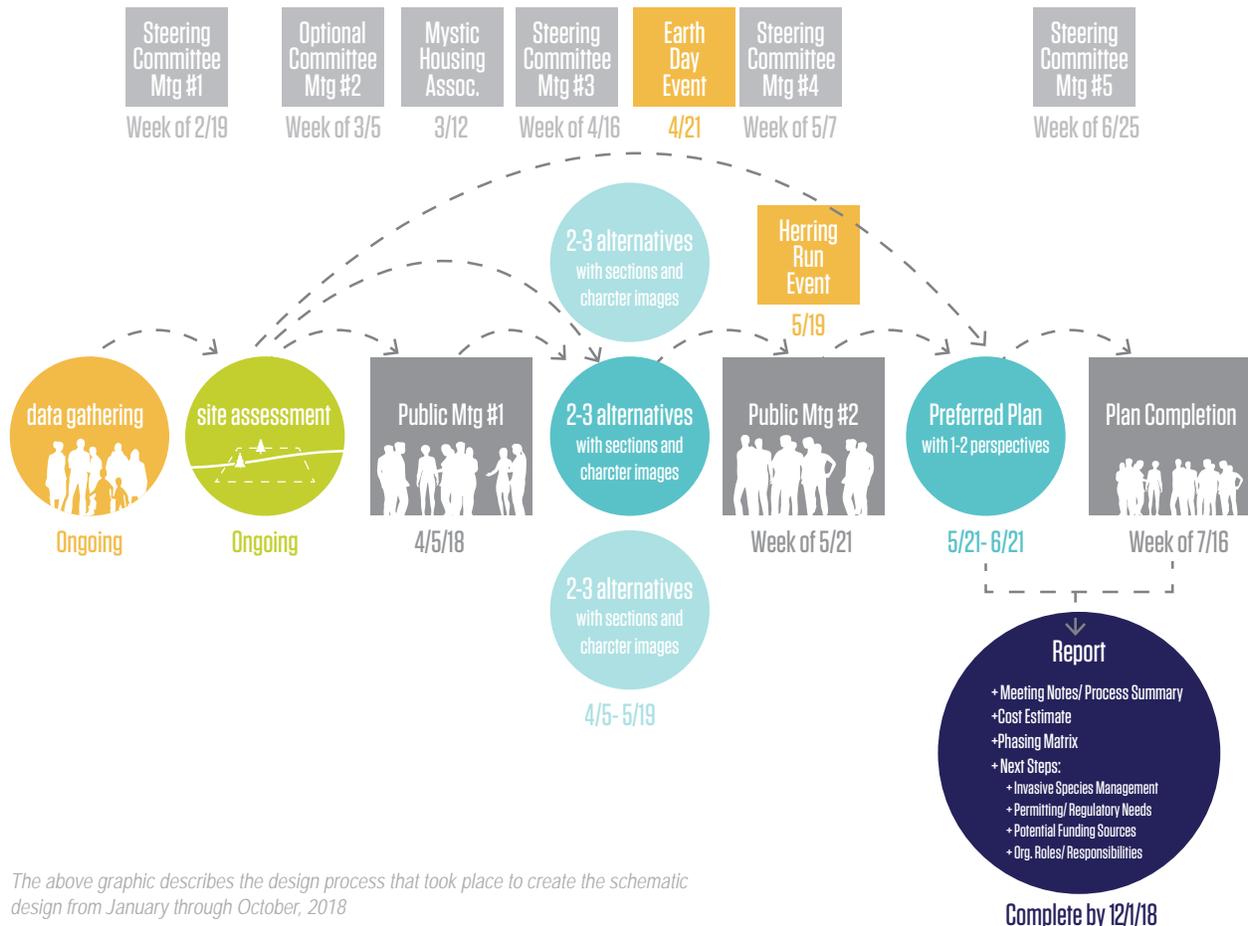
Offshoots and Horsley Witten Group were hired by The Mystic River Watershed Association in January 2018 to create a schematic design and revitalization plan for The Blessing of the Bay Park in Somerville, MA.

This report documents the schematic park design that was completed over an eight-month period in collaboration with stakeholders and the public. The preferred schematic design plan promotes the ecological enhancement of this neighborhood park while also broadening programming, access to the river, and creating better connectivity to the larger park network and community.

community played an integral role in the design process. The public process included six steering committee meetings with representatives from various stakeholder groups including the Mystic River Watershed Association (MyRWA), Massachusetts Department of Conservation and Recreation (DCR), The City of Somerville, the Somerville Community Preservation Committee, The Somerville Conservation Commission, Groundwork Somerville, The Solomon Foundation, and the Mystic Tenants Association. In addition, meetings were held with the landowner (DCR), boathouse management (City of Somerville, Gentle Giant Rowing, and Paddle Boston), and maintenance staff (DCR and City of Somerville DPW) to ensure the proposed schematic designs were feasible and could continue to be maintained by park staff (see appendix for complete meeting notes). Two public meetings were held on April

## Design Process: Community Engagement

The engagement of stakeholders and the



The above graphic describes the design process that took place to create the schematic design from January through October, 2018

06, 2018 and May 24, 2018 which were followed by extensive digital outreach to solicit comments on the designs presented ([www.mysticriver.org/blissingofthebay](http://www.mysticriver.org/blissingofthebay)). Prior to the start of the design process, MyRWA and Groundwork Somerville conducted an extensive community engagement process in 2017; the results of that work can be found in the Appendix.

The first public meeting focused on site analysis, environmental opportunities, programming opportunities, and identity. This meeting was a charrette-style workshop in which community members had the opportunity to weigh in on programming elements to inform the schematic design. Offshoots provided base maps and highlighted opportunities and constraints to kick-off the workshop. Community members worked in interactive focus groups and generated ideas for the site and desired character. Specific opportunity areas were highlighted including paths, viewsheds, design features, lighting, ecological restoration, access points, neighborhood connection corridors, and circulation routes. This was a continuation of the previous public outreach efforts by MyRWA and Groundwork Somerville.

A key component of this workshop was an exercise in identifying unique brand/ identity ideas for the park. The identity ideas prioritized by the community during the meeting were the following:

- 1) The Herring Run and the Mystic River's Natural Environment
- 2) Boating and the history of the 'Blessing of the Bay' Clippership.

These ideas informed the schematic design process, and ideally will be used in the future for the creation of a park logo, marketing, and fund-raising materials. A unique identity helps raise awareness and coalesce energy around the project.

Programming for the park was determined by the findings of the public outreach as well as the steering committee with guidance and precedent

research conducted by Offshoots. During the public meeting, community members also generated a list of desired seasonal programming that could take place at the re-imagined park.

Based on the findings, there appears to be a great interest in enhancing natural areas and views, providing more water access points (potential for swimming or water access along the shore), a range of circulation options, and open programmable space that could be used for outdoor concerts, festivals and/or public art. These programs can all be designed to coordinate with each other and natural systems improvements, in a manner that allows for flexible integration with the boathouse area that is subject to change. While outside the scope of this project, ideas for integrating the boathouse into the public realm were also shared.

*A summary of public outreach conducted by MyRWA and Groundwork Somerville in 2017 and 2018 for the Blessing of the Bay Park Project.*

+ 492 Surveys (online and in person)  
 + 307 People Engaged in on-site events  
 + 150 Mystic Housing Outreach  
 + 460 Households (door to door)  
 + 75 Public Meeting Attendees  
 + 118 Design Alternatives Survey

**1,602 Engagements to date**



## CULTURAL GOALS & ECOLOGICAL GOALS

*Public outreach indicated that the new park design should consider both cultural goals with ecological goals.*



**DESIRED FUTURE PARK PROGRAMS/ AMENITIES:**



## Existing Conditions Summary

The design team conducted a comprehensive existing conditions inventory and analysis of the site to inform the schematic design process.

### Data Collection Methods

Prior to beginning the field assessment, wetlands flagging and a ground field survey were conducted to create an existing conditions plan. In addition to the survey, the plan was assembled using GIS mapping data from the City of Somerville to determine parcel boundaries, topography, and utility locations.

To gather supplemental information on the site conditions, Horsley Witten and Offshoots conducted a field assessment. This assessment included an inventory of points, lines, and areas of interest using both field notes and iPads with GIS Collector pre-defined data entry forms to collect geo-referenced information, photos, and field observation notes about the identified items. The mapped information was refined as needed using high resolution aerial photography. Attributes that were collected include: desire lines, site furnishings, signs, plant communities, invasive species, unique trees, areas with revetment, gathering spaces, land type edges, views, drainage patterns, and water access points. Locations of nearby stormwater outfalls and the EPA's water quality monitoring buoy were also documented.

The physical data collected during the existing conditions inventory and analysis was layered onto the data from the community outreach, already gathered by MyRWA and Groundwork Somerville, to develop an understanding of the dynamics of the site, the discrete user groups, and the stakeholder's desires.

Further analysis included site context and connections, circulation, climate change implications, flooding conditions, vegetation inventory and analysis, an analysis of park functions, uses, and an inventory of the many user groups (both people and wildlife) that use the park and/or river. The bathymetry of the river, aquatic species and opportunity for shoreline improvements were also considered along with permitting implications.



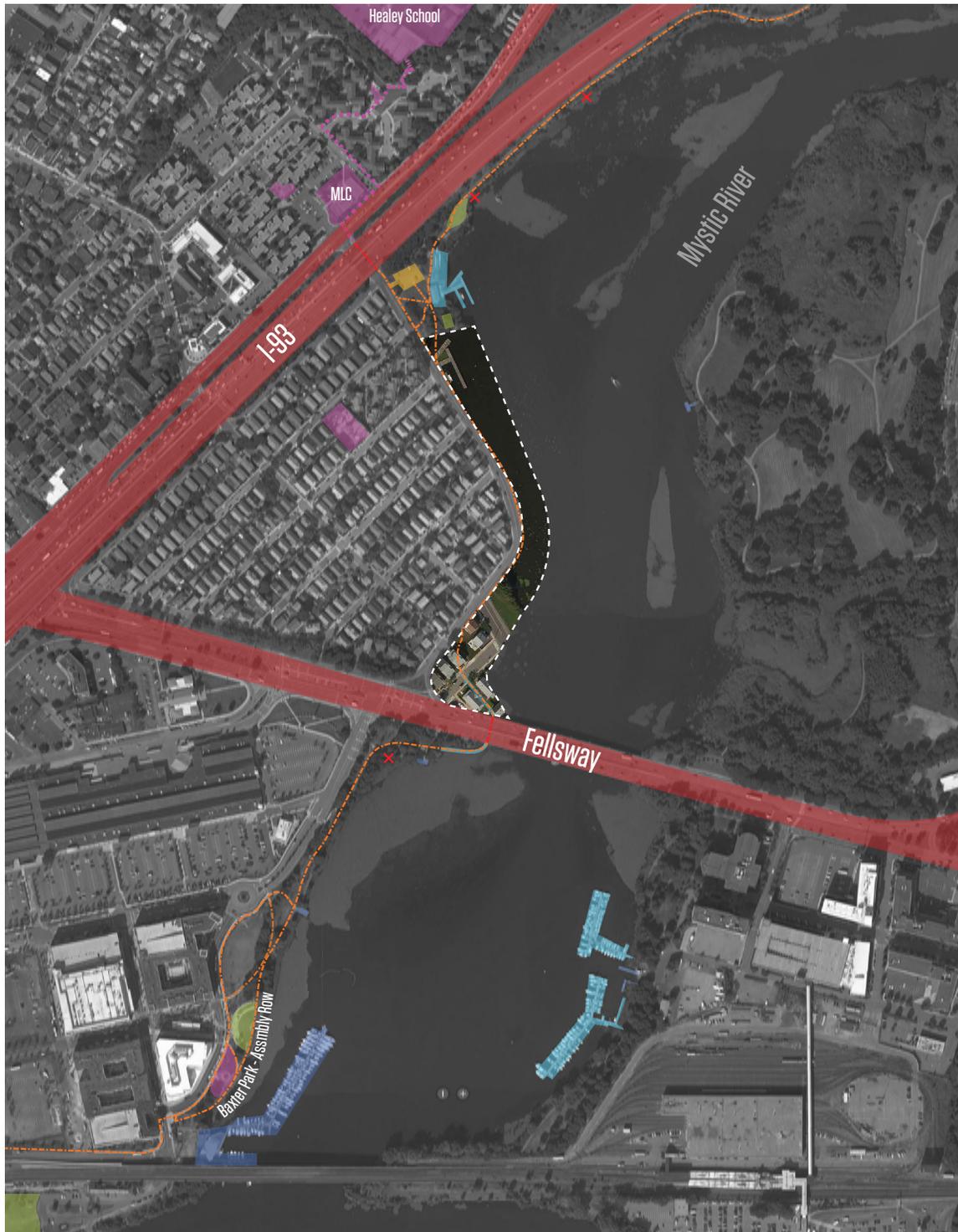
*Existing park conditions at Blessing of the Bay Park, May 2018*



Blessing of the Bay Park is part of a larger park system comprising the Mystic River Greenway. Blessing of the Bay Park offers unique amenities from other parks in the watershed, including boating access, public facilities, and the start location of the annual 5k race. An opportunity exists to consider Blessing of the Bay as a nature-oriented park, providing a new kind of amenity in the otherwise lawn-dominated park system (Graphic provided by the Mystic River Watershed Association, Icons from the Noun Project)



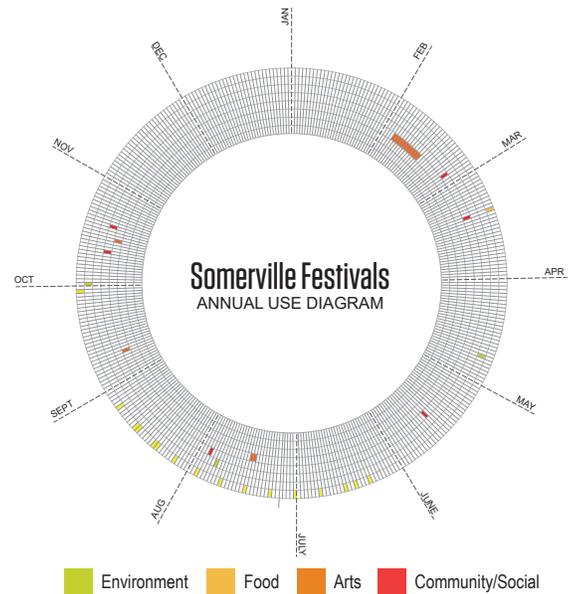
This context diagram illustrates the walking distance from the Mystic Learning Center to nearby parks and Elementary Schools in Somerville. In general, the other parks in this network are heavily programmed with sporting facilities and playgrounds. Blessing of the Bay Park has a unique opportunity to offer more naturalized areas and open green space on the waterfront. There is also an opportunity to connect to the regional network of waterfront walking paths offered at Draw Seven Park and Baxter Park.



Blessing of the Bay Park Site Context (Aerial photo: Microsoft, 2017)

- Programmable Space
  - Playgrounds + Schools
- Public Water Access
  - Private Water Access
- Major Vehicular Routes
  - Boathouse Parking Area
- ✕ Existing (including closed) Outfalls
  - - - Pedestrian + Bike Circulation
  - ⋯ Desire Line from Healey School

Site Context: The site is sandwiched between two major transportation routes (Rte.. 28 and I-93), which generate air pollution particulates and highway noise. The park provides a significant open space resource for the Ten Hills neighborhood, two affordable housing developments (Mystic Housing Development and Saint Polycarps) and the Healy School to the North.



Cultural Context: The diverse community of Somerville has several festivals and events that take place throughout the year. Few events, however, are currently programmed along the Mystic. Blessing of the Bay Park can serve as a unique waterfront open space where events can be programmed.



Future Flooding Scenarios: Due to its location along the Mystic River, it is important to recognize the projected impacts of climate change and sea level rise on Blessing of the Bay Park. This green space serves as an important buffer to the Ten Hills neighborhood during high water flooding. The new park design should plan for this future scenario by including floodable elements, creating strategic changes in topography, and increasing resiliency through restoration of the shoreline.



Existing Conditions Analysis: Using aerial imagery, survey information and site visits, this existing conditions diagram was created to illustrate active and passive use areas, key site features, primary and secondary circulation, existing views, stands of invasive species, and stormwater outfall locations.



Tree species analysis: The design team conducted a tree inventory to locate significant trees and identify tree species. There are a number of non-native tree species that have established themselves throughout the park and along the river bank, including *Tilia cordata*, *Alnus glutinosa*, and *Acer platanoides*.



- BOAT HOUSE
- PARKING
- STONE SHORELINE
- VEGETATED SHORELINE
- CIRCULATION
- CLEARED VIEWS
- STORAGE AREAS
- GATHERING AREAS
- INVASIVE SPECIES
- OPEN SPACE (LAWN)
- OUTFALL LOCATIONS



- Rhus typhina
- Alnus sp.
- Other
- Quercus rubra
- Populus sp.
- Betula sp.
- Tilia spp.
- Acer platanoides
- Pinus nigra
- Fraxinus spp.
- × To be removed - in decline

## Parking

In order to better understand the demand for parking on-site and on Shore Drive, multiple site visits were conducted throughout a single day to observe the number of parked vehicles on a typical weekday. The data collected at the site visits indicated that the peak times for parking are in the early morning and in the evening. The parking appeared to be related to boathouse use, primarily by the rowing teams that operate out of Blessing of the Bay. During peak hours both the parking lot and street parking spaces were full, forcing overflow parking onto lawn areas near the boat storage area.

Since parking is in demand around the boathouse and along Shore Drive, the new park design should seek to maintain at least the current number of available spaces on the road and in the parking lot.

There is an opportunity to convert the lawn areas currently used for overflow parking into reinforced grass areas or other permeable paving installations that could be used as a multifunctional space for pop-up community programming in addition to being overflow parking during peak times. A detailed summary of the parking analysis can be found in the

appendix

## Invasive Plants

Invasive plants are non-native species that have been introduced to areas outside of their native range, where they often thrive, out-compete and overtake endemic plant communities. Non-native plants are characteristically aggressive in their growth, have few natural predators and/or limiting biological factors within their introduced range, and tend to have very effective reproductive abilities. The spread of such plants is a major concern, as they reduce the functions and values of habitat for native flora and fauna within both wetlands and uplands and are a nuisance to manage once they have become established within an area. Adverse economic and environmental impacts are also often incurred by invasive species. At Blessing of the Bay there are a few areas along the Mystic River's edge that contain plants considered to be invasive species in the state of Massachusetts<sup>1</sup> summarized below (see appendix for more information):

### *Common Reed (Phragmites australis):*

Common reed, or Phragmites, is a tall perennial grass that colonizes wetlands and is tolerant of a wide range of freshwater and brackish conditions. Phragmites can reach up to 13 feet in height and



Cars parked in grass areas in the morning after rowing practice

produces a copious seed bank. This species spreads primarily through its extensive root and rhizome (underground stem) system that forms dense mats. The stems create dense colonies and old leaves can be seen at the base of the plants from the stems from the previous season. The leaves are smooth, flat, and gray-green or dark green and are up to 20 inches long and 1.5 inches wide and taper to a sharp point. Large, feathery inflorescences are purple and appear from July to September and turn straw-colored once mature, often persisting through the winter months. Although Phragmites provides some wildlife value for a limited number of species, once this non-native genotype has become established at a site, it causes the rapid decline of most other native species found in a given area, drastically reducing wildlife habitat value. Phragmites is a difficult plant to manage, and re-growth often occurs if a management strategy is not maintained.

There is a stand of Phragmites mostly in the wetland area along the river between Ten Hills Road and Crest Hill where it is growing amongst Birch, Linden and Sumac trees. Another patch of Phragmites is at the water's edge near the boardwalk under Fellsway.

***Japanese Knotweed (Fallopia japonica):***

Japanese knotweed is an upright, herbaceous, shrub-like perennial that is native to eastern Asia. Its stems are hollow, smooth, and swollen at the joints. The alternate leaves are broad and oval, triangular, or heart-shaped with a pointed tip and may become six inches long and three to four inches wide. It has greenish white flowers and can spread by seed as well as via rhizomes, runners, and stems (vegetative growth). Damaged stem segments are able to re-grow if the buds at the nodes are viable. Once a population of knotweed becomes established, it spreads primarily by growth along its large rhizomes, which can become up to 30 feet long. Japanese knotweed flowers in August and September, with seeds emerging two weeks

following flowering. Japanese knotweed requires high amounts of sunlight and normally does not establish within the forest understory.

There are small patches of Japanese Knotweed adjacent to the area of Phragmites near the wetlands.

***Oriental Bittersweet (Celastrus orbiculatus):***

Oriental or Asiatic bittersweet is a perennial vine that was introduced to the U.S. in the mid 1800s. This vine often reaches 60 feet in height, and stems may reach four to five inches in diameter. The glossy leaves are opposite and round or elliptical in shape and are finely toothed. Flowers appear in May. Mature fruit have bright yellow valves with one to three red seeds. This non-native species is wide-spread and produces abundant seeds, which are spread by birds and possibly small mammals. The stems of this non-native woody vine wrap around and girdle trees, shrubs, and other woody vines and may cause physical damage from the immense weight of its rapidly growing shoots. Oriental bittersweet may also spread laterally along the ground, forming an impenetrable tangled mass that smothers out all other vegetation.

There are multiple small patches of Bittersweet, in particular in the shoreline area along the revetment at the end of Melville Road.

***Norway Maple (Acer platanoides):***

*Norway Maple is a shallow rooted tree that out competes native saplings.*

*There are mature Norway Maples planted within the park as well as younger plants, likely volunteers, found along the shoreline on the western half of the park.*

In general, many of the species on site are non-native, but the invasive species threat is not as significant as is found in many Metro-Boston

<sup>1</sup>Massachusetts Invasive Plant Advisory Group: <https://www.massnrc.org/mipag/>

waterfront parks. Significant non-native trees include *European Alder* (*Alnus glutinosa*) and *Little Leaf Linden* (*Tilia cordata*).

### Soils

According to the USDA Natural Resources Conservation Service Soil Survey, the site consists of mainly Udorthents, wet substratum (655) soils, with a small amount of Urban Land, wet substratum (603) along the corner of the park by the boathouse and Shore Drive. These are typically areas of poorly drained and very poorly drained soils that have been filled in with various types of soil material, rubble and refuse. Depth of the fill material ranges from 2 to 20 feet or more. The areas were typically flood plains, meadows, and swamps that were filled for various urban land use purposes. Individual areas should be tested for the presence of toxins such as heavy metals. A site soil evaluation has not been conducted at the site.

### Stormwater Management

Blessing of the Bay park currently relies on gray infrastructure and direct discharge into the Mystic River to manage the on-site stormwater runoff. Shore Drive, which runs parallel to the park, drains directly into curb-side catch basins that connect into the City's Municipal Separate Storm Sewer System (MS4). This runoff transports sediments, oil/grease, nutrients, bacteria, and other contaminants into the piped system. Stormwater overflow discharges from the storm drain system contribute to the impairment of the water quality of the Mystic River. Current drainage on the site consists of mostly surface runoff with the exception of the parking lot at the boathouse which drains to a catch basin, which appears to discharge to the outfall by the existing boat ramp. The runoff from the lawn, vegetated areas and paths, boathouse roof and paved gathering areas either soaks into the soil during small rain storms or drains into the Mystic River, via overland flow, for larger storms. Shore Drive is crowned, therefore the stormwater runoff on the north side of the road, adjacent to the park,



Stormwater drain inlet along Shore Drive



Narrow vegetated slope with stand of *Tilia* spp.



Existing water access point with shallow slope



Revetment along bank with established vegetation.



*Blessing of the Bay Park in March, 2018. Photos by Julian Tryba.*

runs along the gutter line into catch basins that tie into the City's stormwater drainage system. The road is divided into small drainage areas based on the location of the catch basins. The catch basins on the south side of Shore Drive receive stormwater from the south side of the road and sidewalk as well as runoff from the upgradient intersecting roads and sidewalks. This runoff flows into the catch basins along the south side of Shore Drive and connect into the City's stormwater drainage system.

#### **Summary of Opportunities Identified in the Site Analysis Phase:**

- Create connections to the Healey School and other neighborhood and regional destinations via foot, bike, and boat
- Enhance the vegetated shoreline habitat
- Create opportunities for biking, walking, and running as part of a larger linear park system
- Edit site topography to diversify habitat, improve user experience, create climate resiliency, and respond to flooding potential
- Open viewsheds to establish visual connection to the water
- Update the dated stormwater management system to improve water quality, climate change and flooding resiliency
- Improve physical connections to the water
- Create flexible, programmable spaces
- Improve functionality of park during peak use hours (i.e. rowing practice and events)
- Enhance the park character as a natural space
- Create a destination for connecting with natural systems

## Design Process

### Goals

The main goals of the park design process include the following:

1. Respond to community preferences for an ecologically centered design.
2. Provide the landowner, DCR, with a model for a new ecological approach that is also maintainable with the funding stream currently available.
3. Phase the park. The design is divided into attainable phases for implementation so that smaller, specific grants can be targeted for capital funds.

The project design goals additionally defined by the steering committee were to:

1. Expand passive and active recreational opportunities.
2. Improve the ecological health of the shoreline and natural spaces
3. Promote active transportation within the existing greenway network
4. Create a community driven vision and design for the park
5. Engage diverse community members and stakeholder organizations in creating the park plan



*Scope of Work Diagram: The design scope of the Blessing of the Bay park project does not include the boathouse area, highlighted in white*

6. Build relationships between DCR, the City of Somerville, and local non-profit organizations to ensure long-term success of the park
7. Catalyze a larger vision and investment in Mystic River Parklands and Somerville and Medford Path Systems

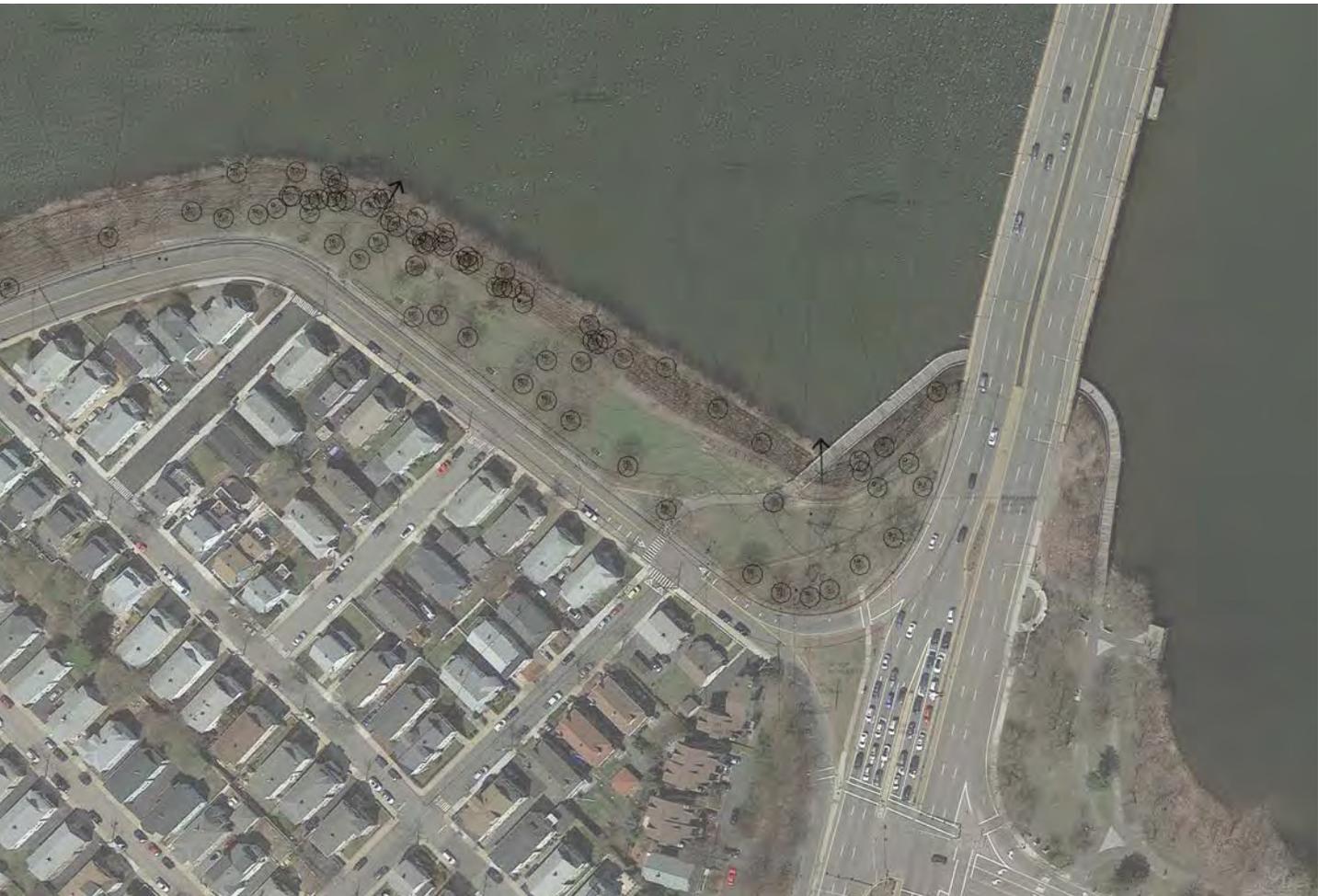
### Scope of Work

The scope of the new park design does not include the boat house, boat house dock and its immediate surroundings since this design work ideally will be undertaken as a separate, dedicated process. However, the Design Team recognized the importance of considering the future of the boathouse within the overall park design. For that reason, three boathouse concepts were created with input from the steering committee and

stakeholders. The three boathouse concepts are included on the following pages.

### Initial Design Concepts

Drawing from the information collected during the analysis phase and the public engagement process, Offshoots prepared two design alternatives for Blessing of the Bay Park- Blessings by Boat and The Herring Explorer. The Blessing by Boat scheme favored cultural improvements and heavy programming in the park, while the Herring Explorer favored a distinctly natural park with ample habitat and more passive than active recreation. These schemes were presented at the second public meeting in order to get feedback from the public on the design elements, programming, and overall feeling/aesthetics of the park.





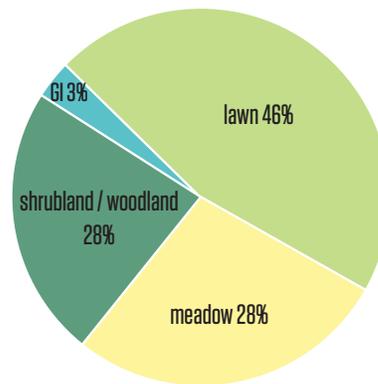
*Each design alternative was given a unique brand identity. Blessings by Boat draws on the important cultural use of the park in local boating culture.*

The Blessings by Boat scheme features many programmatic interventions for human use. This is woven in with open herbaceous vegetation typologies, incorporating meadow habitat and lawn areas into the landscape. A grassy amphitheater is carved out of the existing slope, facing a large dock 'stage' used for performance, sunbathing, and potentially swimming (if future water quality considerations allow). A fishing pier/overlook extends out into the water on the east end of the park, while a waterfront plaza is created at the west end to be used as the Blessing of the Bay Race start and for pop-up programming. Floating wetlands are placed the existing stormwater outfalls to improve water quality and the roadway and site stormwater is treated via linear bioswales along Shore Drive.



**Blessing of the Bay Park: Blessings by Boat**

*Blessings By Boat prioritizes the cultural, human program elements over the enhancement of ecological systems*



*A breakdown of the use of vegetation typologies in the Blessings by Boat scheme.*



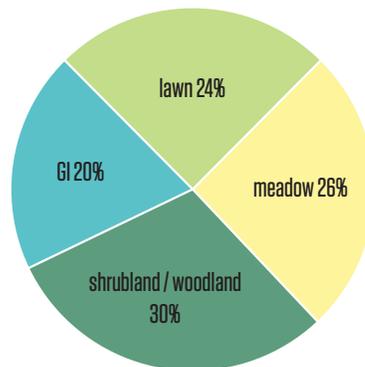
*The Herring Explorer logo draws inspiration from the key migration of the Blue Back and Alewife Herring in the Mystic River*

The Herring Explorer scheme focuses on creating multiple native habitats, incorporating significant shrubland and emergent forest vegetation typologies into the design, along with meadow and lawn space. Water access is granted through several informal 'get-downs' to the water using boulders and stepping stones. Views of the water are opened in key locations, framed by vegetation. A gentle grassy slope overlooks the river. A large portion of the site is designated for green infrastructure, which will treat site stormwater as well as a portion of neighborhood stormwater. An immersive experience through these wet vegetated areas is created with sections of wetland boardwalk providing ample opportunities for nature-based education.



**Blessing of the Bay Park: The Herring Explorer**

*The Herring Explorer prioritizes the improvement of Ecological systems over intense human programming*



*A breakdown of the use of vegetation typologies in the Herring Explorer scheme.*

## Boathouse Studies

Through the design process, it became clear that the boathouse and its immediate surroundings warranted further study as part of the larger park design. The boathouse is an important piece of the park and is a heavily used park amenity. There are also plans to upgrade the boathouse in the near future. For those reasons the design team prepared three boathouse concepts that are integrated into the new park design. The study area includes the building, adjacent boat ramp, boat storage areas, docks, and associated parking.

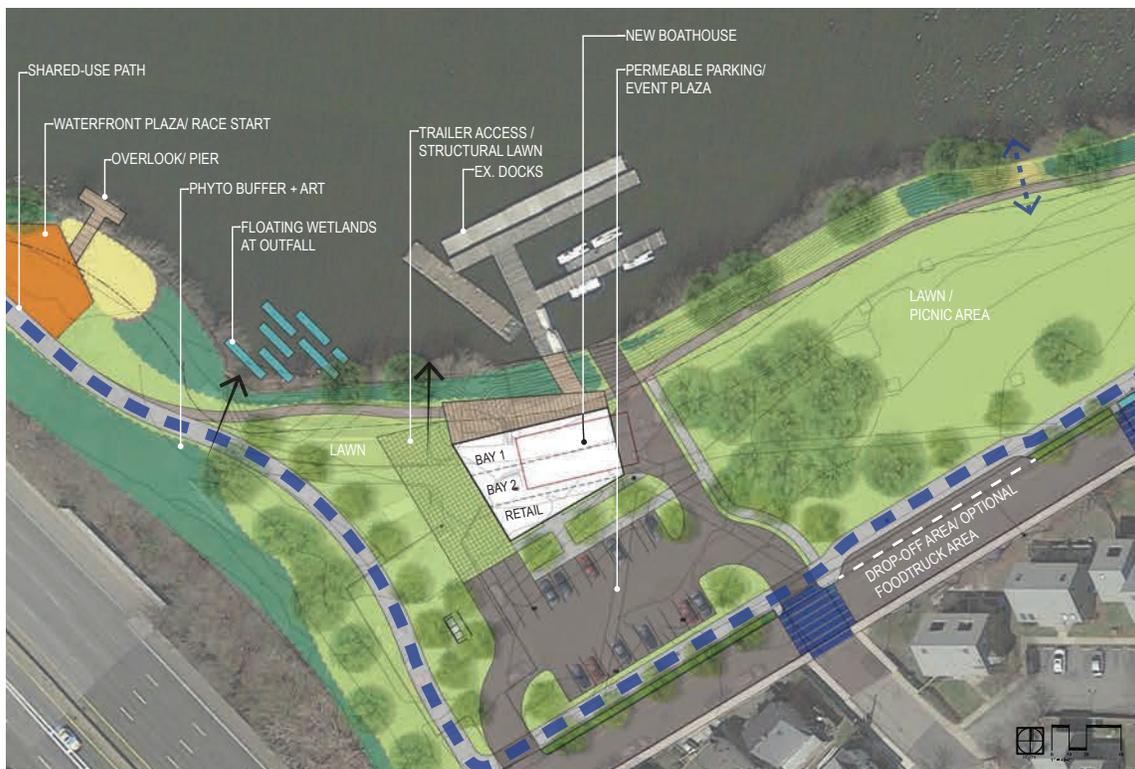
The boathouse is used by three major user groups: Gentle Giant Rowing, the Wentworth Institute of Technology Rowing Team, and Paddle Boston. Rowers utilize the site during the early morning, as well as the evening. Inadequate parking during these time periods

result cars parked on lawn areas or along pedestrian paths.

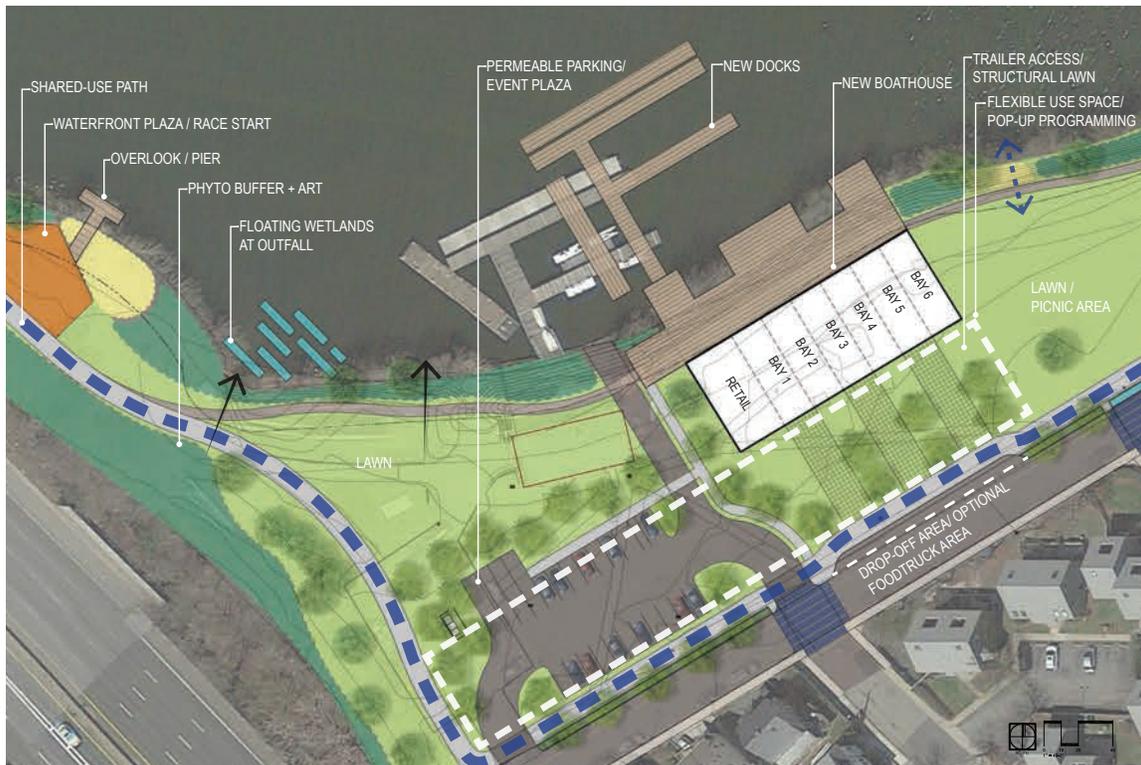
Proposed boathouse concepts include:

- Address parking and storage issues
- Improve circulation
- Increase the size of the boathouse
- Consider new boathouse locations
- Envision the boathouse area as both a functioning boating facility as well as a community gathering space with rest room facilities, a cafe, boat rentals, and flexible spaces that can be used for overflow parking or pop-up programming.

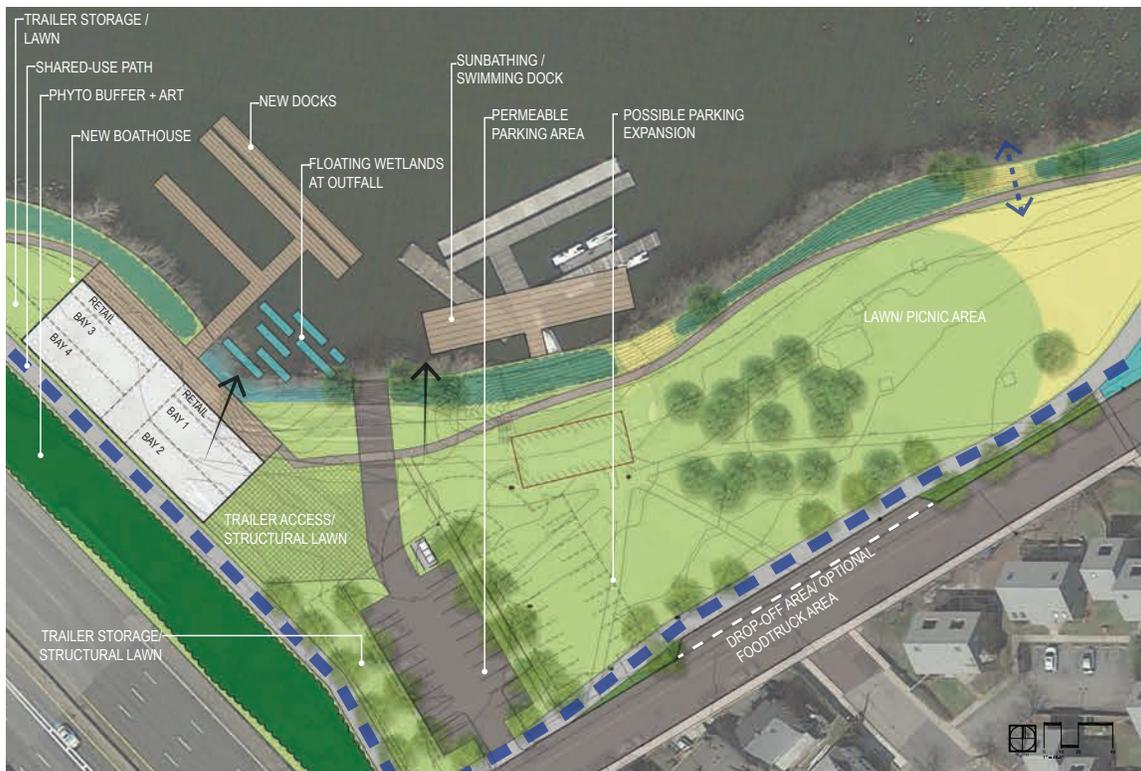
While the boathouse and parking lot are outside the scope of this project, the design team recommends further boathouse planning to be done in tandem with development of the park to create a cohesive master plan.



*Boathouse Concept A: Envisions an expanded boathouse in the current location, utilizing existing docks. Improves circulation by re-orienting the parking lot and ramp, and adds a structural lawn area for trailer access and storage. Permeable parking area can be a flexible space for events.*



*Boathouse Concept B: Envisions a new boathouse to east of its current location with new docks. Improves circulation by re-orienting the parking lot and boat ramp, adds a large structural lawn area for trailer access and storage. The structural lawn and new permeable parking area can be used as a flexible space for events. This scheme was preferred by the Public Meeting attendees out of the three boathouse concepts presented.*



*Boathouse Concept C: Envisions an expanded boathouse west of its current location with new docks, includes parking in its current location with the opportunity to expand, and adds a structural lawn area for trailer access and storage. The structural lawn and permeable parking area can be a flexible space for events, in addition to a new public dock.*

The Blessings by Boat scheme, Herring Explorer scheme, and the boathouse studies were presented during the second public meeting where feedback was gathered by the design team and followed-up by MyRWA with an online survey.

The results display a clear interest in maximizing the park’s potential as a natural space and enhancing connections to the water, rather than adding a lot of active programming on site (see diagram below). The top three desires were interaction with nature/ walk through wetland (b, below), lawn, meadow and biking paths (g, below), and secluded interaction with the water (a, below). With this information, the design team combined the desired elements from the two schemes into one preferred schematic design for the park.

## Preferred Schematic Design

The preferred schematic design is a hybrid of the two initial concepts, combining key cultural program elements with extensive natural and green infrastructure areas.

### Program Elements Included In The Preferred Schematic Design:

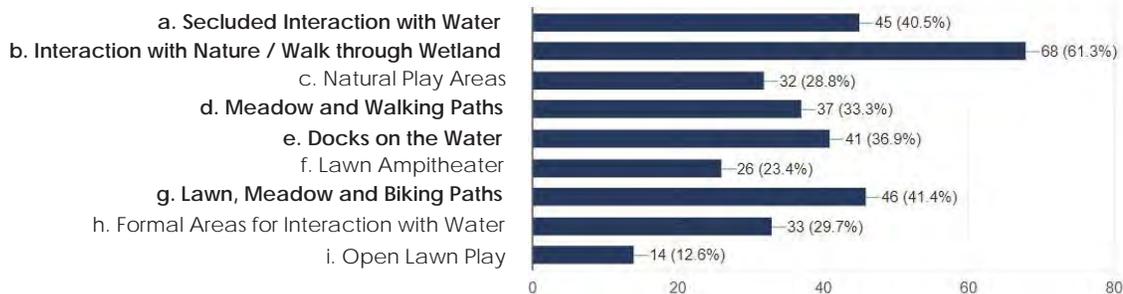
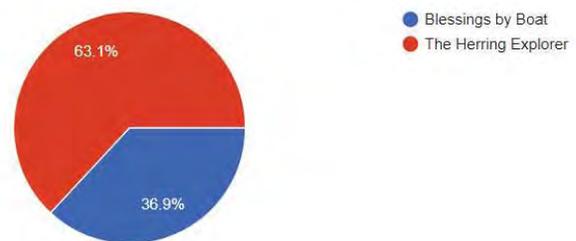
1. Paths/Trails
  - Walking/Running/Biking
2. River Amenities
  - Boating, Water Access
  - New Dock for fishing and swimming
3. Natural Areas
  - Wildlife, Invasive Plant Removal
4. Improved Restrooms and Water Fountains
5. Improved Lighting, Seating, Litter Receptacles and Trash Pick-Up
6. Gathering Spaces
  - Community Events, Picnicking/ BBQ
7. Nature-Based Play Area
8. Public Art
9. Signage/ Wayfinding
10. Additional Parking Spaces

### Layout and Programming:

- Boathouse, storage, ramp, docks, and parking remain in existing location
- The width of Shore Drive is reduced and curbs are reset to allow park to expand 6’. This improvement is in concert with the City’s desire to calming traffic on Shore Drive
- A multi-use path is set along Shore Drive with

#### THEMES FROM FREE RESPONSE

- ...want **NATURAL AREAS** vs. want **LARGE GATHERING SPACES**
- ...want **STORMWATER INFRASTRUCTURE**
- ...want **ACCESS TO WATER** (sit/enjoy, rocky get downs & docks)
- ...**ANTI LAWN**



Survey results after public meeting #2, as summarized by MyRWA.

a planted buffer along the road. A drop-off area is added in front of the boathouse. Near the parking lot, the multi-use path shifts to the west to eliminate conflicts in front of the boathouse

- A secondary and tertiary path system weaves through the park and along the shore
- Linear green infrastructure along the road treats stormwater and improves water quality
- Wetland restoration areas include boardwalks and educational signage
- Floating wetlands or riparian plantings improve water quality at outfalls
- Four smaller lawn areas provided, other areas converted to naturalized plantings such as meadows, shrubland and woodland
- A large dock is added for flexible public uses including the potential for swimming, sunbathing, and performances. A wetland buffer is included between the shoreline and dock
- Many informal water access points are provided along the river's edge
- A defined natural playground area is created under a very large existing Linden tree
- A grassy slope provides seating with a view of the water and dock for performance and event programming
- A 'Foraging Trail' weaves its way through an area of native edible plants
- Educational signage is provided throughout the

park to highlight the varied plant communities and ecological health of the site

- Views are opened through the shoreline vegetation at the end of each neighborhood connecting street
- Street trees are added along the length of Shore Drive to increase shade and treat stormwater
- Bike roundabouts create gateway conditions at bike intersection points
- Phytoremediation buffer/ art component at either end of the site
- Underpass lighting / art element enhances neighborhood connections
- New lighting, seating, and other site amenities throughout the park
- Stormwater management with Green Infrastructure (GI) Best Management Practices (BMPs) are integrated into the overall design. See the Appendices for a more in-depth stormwater management approach. The following section details the proposed Green Infrastructure improvements included in the preferred schematic plan.

### Green Infrastructure Practices:

Green Infrastructure (GI) emphasizes simple site design techniques and natural stormwater practices to clean or filter rainwater and restore the natural water cycle. GI can often be a more cost-effective stormwater management approach when compared to more highly engineered traditional stormwater practices. When creatively incorporated into the overall site design, these nature-based techniques can provide additional community benefits including the preservation of open space and natural landscapes, creation of urban wildlife habitats, educational opportunities, beautification and revitalization of existing development as well as streetscape improvements. Simply put, GI is simpler, cheaper, and adds value.

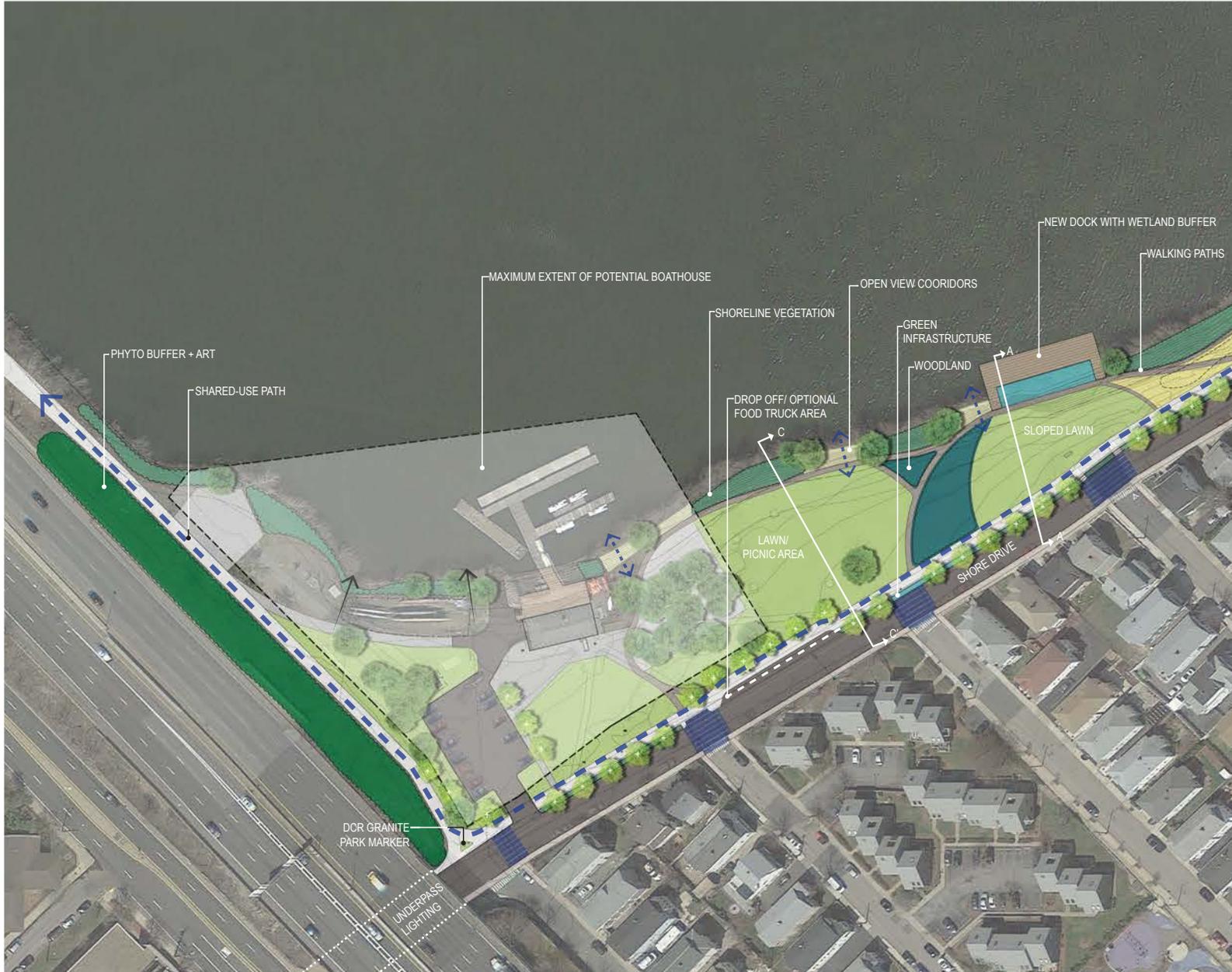
When integrated early into the design process, GI practices can provide multiple benefits and become



Community members observe the 2 design alternatives at public meeting #2.



# Blessing of the Bay Park: Preferred Schematic Design



Blessing of the Bay Preferred Schematic Plan Rendering, prepared by Offshoots Inc, June 2018



significant design elements within the landscape. Current monitoring data show that GI practices have a better chance of long-term success if they are visible, simple, easily understood, and most importantly, well loved by the surrounding community.

The preferred schematic design includes the following proposed green infrastructure improvements:

- In the preferred park design for Blessing of the Bay, stormwater management is integrated into the overall design to accomplish the following major objectives:
- Control and minimize runoff to the Mystic River from the park and Shore Drive.
- Provide treatment and encourage groundwater recharge of the stormwater runoff from the proposed impervious surfaces to maintain or improve runoff water quality to the greatest extent practicable.
- Limit site impervious cover by using porous surface materials, and increasing buffer plantings and tree canopy.
- Restore areas of the buffer along the Mystic River through invasive species removal, wetlands and buffer enhancements and bank stabilization methods as needed.

These objectives are met in the preferred conceptual plan through the use of the following stormwater management measures:

- Improvements to water quality and the stormwater management system through the incorporation of GI practices such as:
  - Biofiltration Systems
  - Wet Systems
  - Infiltration Systems
  - Permeable Surfaces
- As shown on the plan, a linear GI system runs along Shore Drive, taking runoff from the road. Plants and street trees help to clean the water and infiltration is provided where possible to reduce the volume of water going into the storm drains. Runoff can be directed to these GI

practices within the site via overland flow or by potentially intercepting underground pipes to divert runoff prior to discharging to the Mystic River. This approach would capture the water and treat it within areas that share aesthetics with the natural park features, enhancing those spaces and accommodating the potential uses. Limited impervious surfaces are included in the design to accommodate circulation but minimize surface runoff in the park. See appendices for more information on these types of systems.

- Buffer restoration to stabilize the site, minimize erosion and control sediment; and
- Enhanced naturalized areas.

In general, these opportunities are conceptual in nature and additional design is needed to refine the systems. As with any stormwater management design, GI practices must be carefully designed to account for the existing soil conditions, seasonal high groundwater elevations, topography, utilities and proposed site uses. Because site conditions may vary for each practice, proper field determination of existing soil characteristics, utility connections and inverts, and groundwater elevation is required for proper selection and design. Areas with well-draining soils and greater depth to groundwater may accommodate filtering infiltration practices such as bioretention systems or infiltration basins. Sites with high groundwater or poorly draining soils can still be appropriate for GI, but a “wet system” such as vegetated wet swales or a small constructed wetland, designed to mimic natural wetlands, may be more applicable. Due to the City’s industrial past along the Mystic River, it is also important to note that some sites may be limited by past site use. However, GI may be possible in poor or contaminated soils through the use of filtration systems with underdrains and, if necessary, impermeable liners. It is frequently possible to underdrain the system to provide water quality filtration without infiltration into the subsurface.

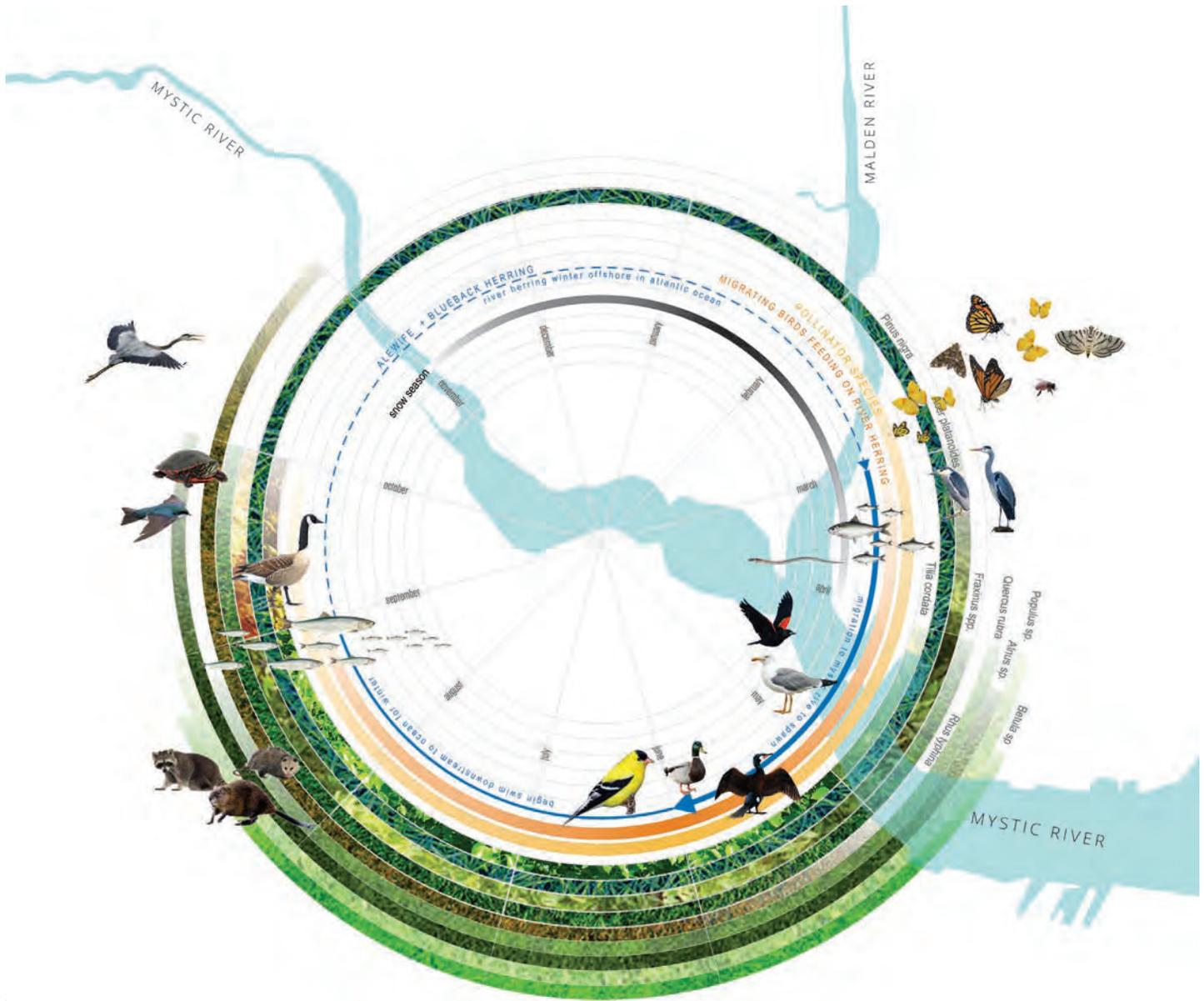
Descriptions of various practices that could be



Character image of the proposed multi-use path as it moves through the shade meadow on the eastern end of the site.

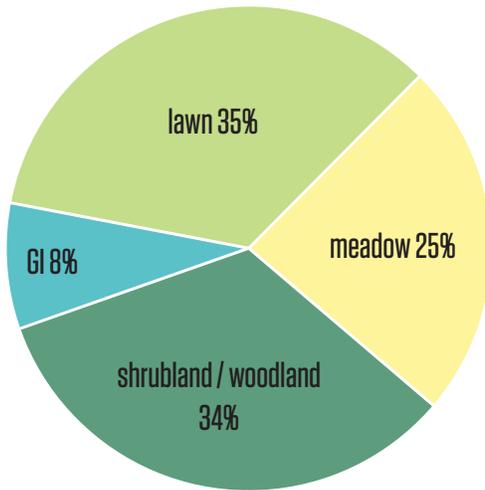


Character image of a proposed section of wetland boardwalk through the wetland restoration area along the water's edge.



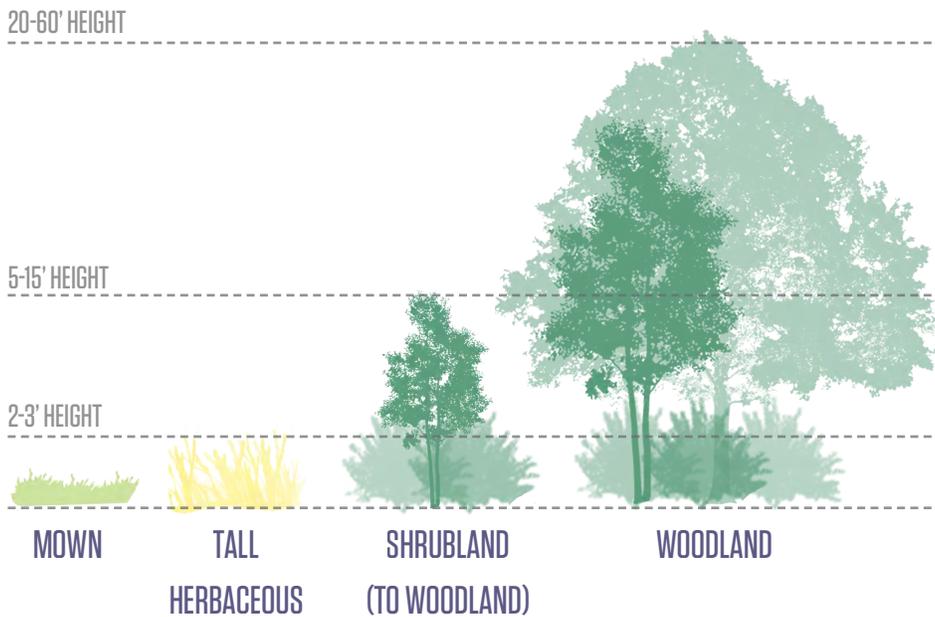
### Ecology Calendar Diagram

Key species of the Mystic River Watershed include Blue Back and Alewife River Herring as well as the Black Capped Night Heron. The park design creates a diversity of habitats to support these and other significant species. Designed vegetation typologies to support species include vegetated shoreline, meadow, shade meadow, emergent woodland, shrubland, and wetland.



**Plant Typology Breakdown: Preferred Schematic Design**

*In the preferred schematic design, lawn is no longer the dominating vegetation typology. Other vegetation typologies that provide enhanced ecological services and reduce maintenance are increased. This project can provide a model for ecological enhancements, via both capital improvements and maintenance strategies, at DCR parks.*



**Plant Typologies**

*Vegetation typologies within the proposed design, not to scale.*

### Section A: Existing Condition

- Fragmented water views
- Limited water access due to steep slope and thick vegetation
- Invasive vegetation
- Low ecological value
- Untreated stormwater
- Limited space for activities



A

Section View A-A' of existing sloped lawn and shoreline condition. (See plan for section location).

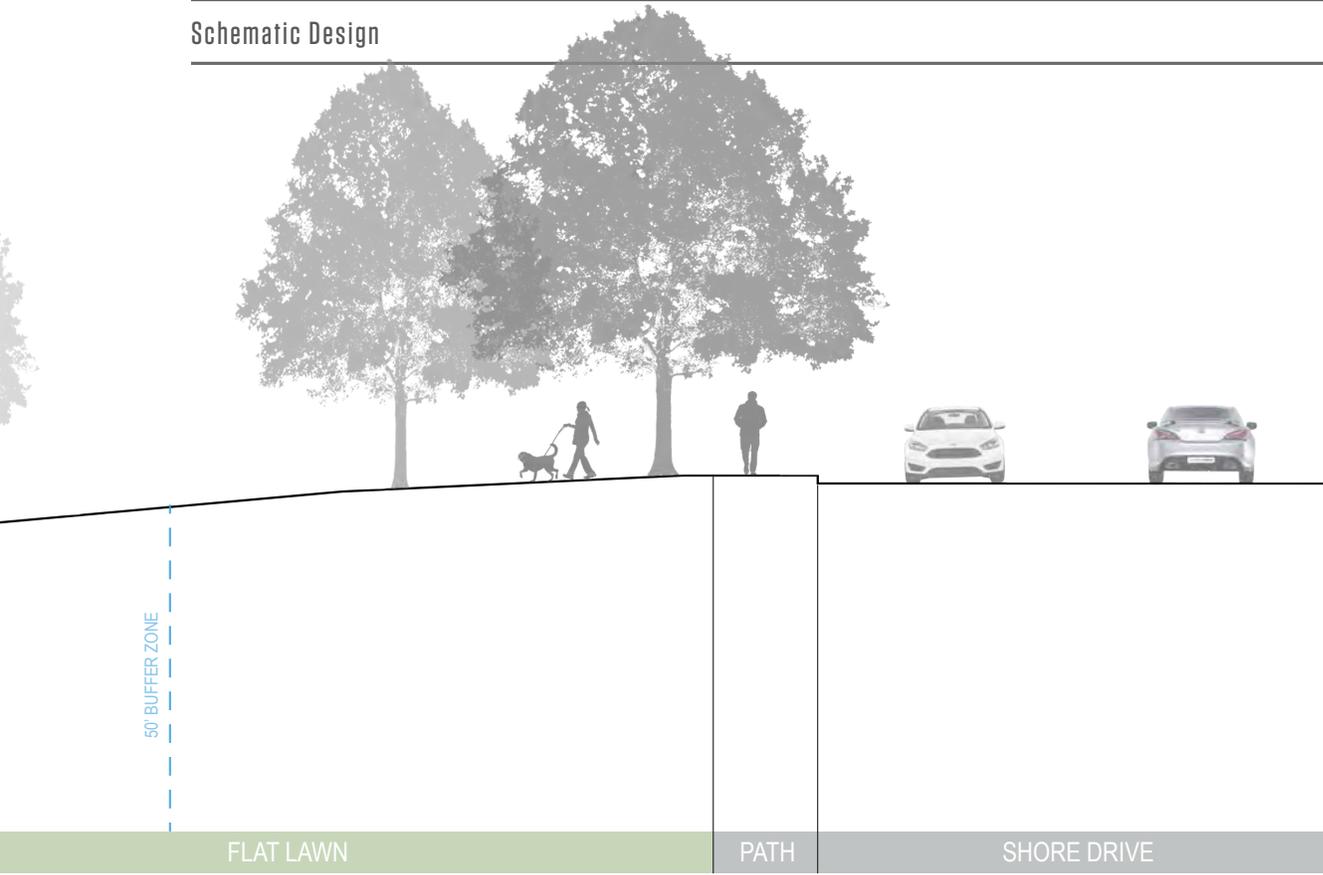
### Section A: Proposed Condition

- Water views through opened view corridors
- Topographic changes provide diversity in experience and enhance connections to the water
- Shoreline ecology restored with native vegetation within existing stone revetments
- New dock and water's edge path connect users to the river
- Shore Drive width reduced by moving curb-line 6 feet to create room for a generous Multi-Use Path and green infrastructure improvements

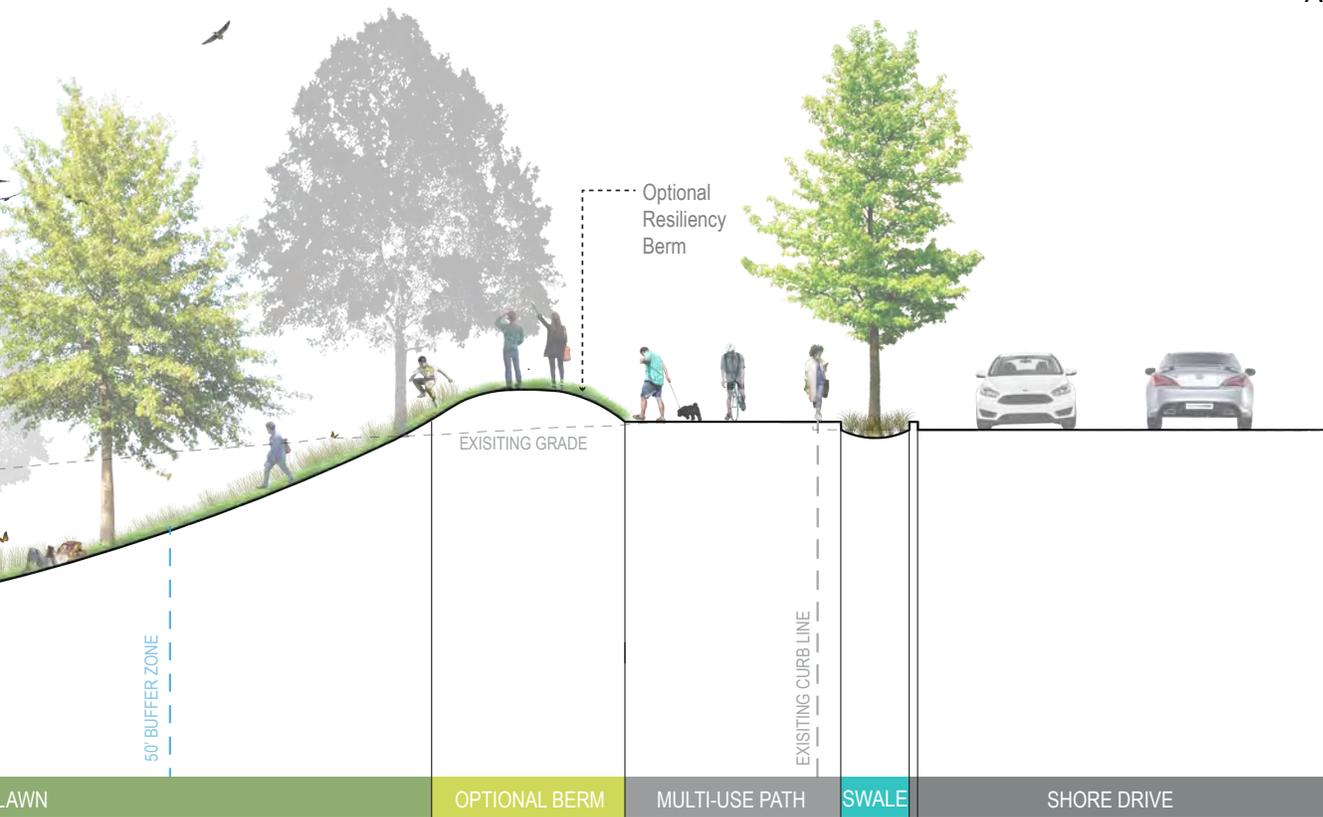


A

Section View A-A' of proposed sloped lawn, restored shoreline, and new dock. (See plan for section location).



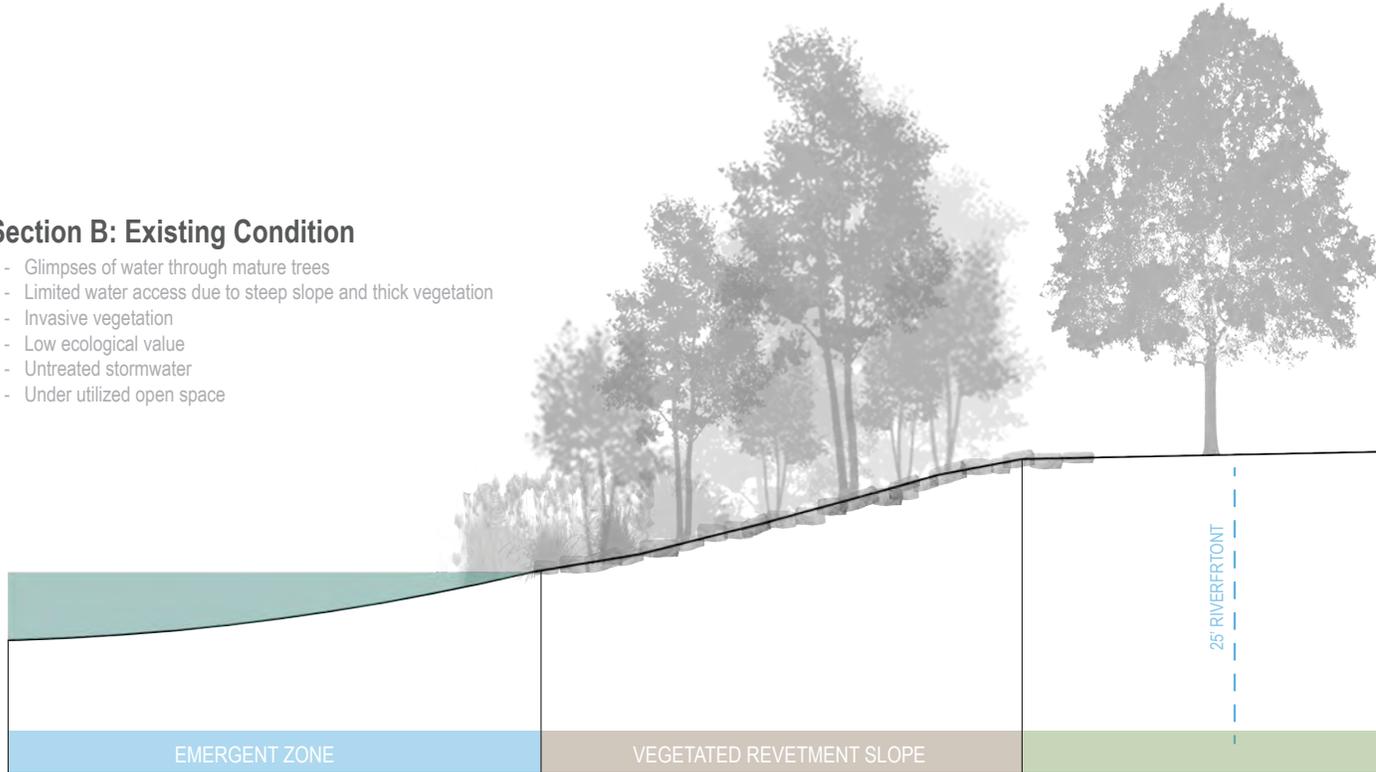
A'



A'

### Section B: Existing Condition

- Glimpses of water through mature trees
- Limited water access due to steep slope and thick vegetation
- Invasive vegetation
- Low ecological value
- Untreated stormwater
- Under utilized open space

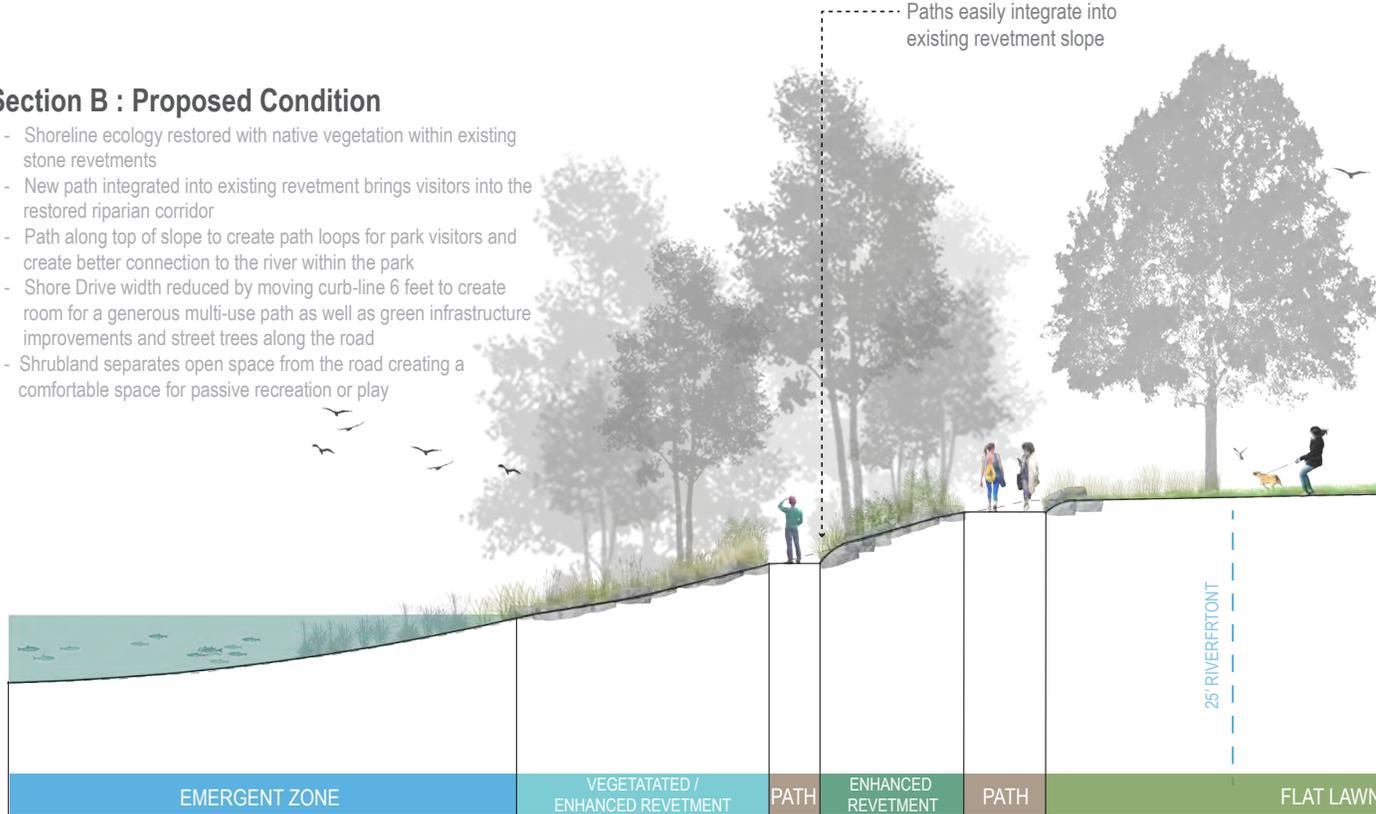


B

Section View B-B' of existing lawn and revetment bank with established vegetation. (See plan for section location).

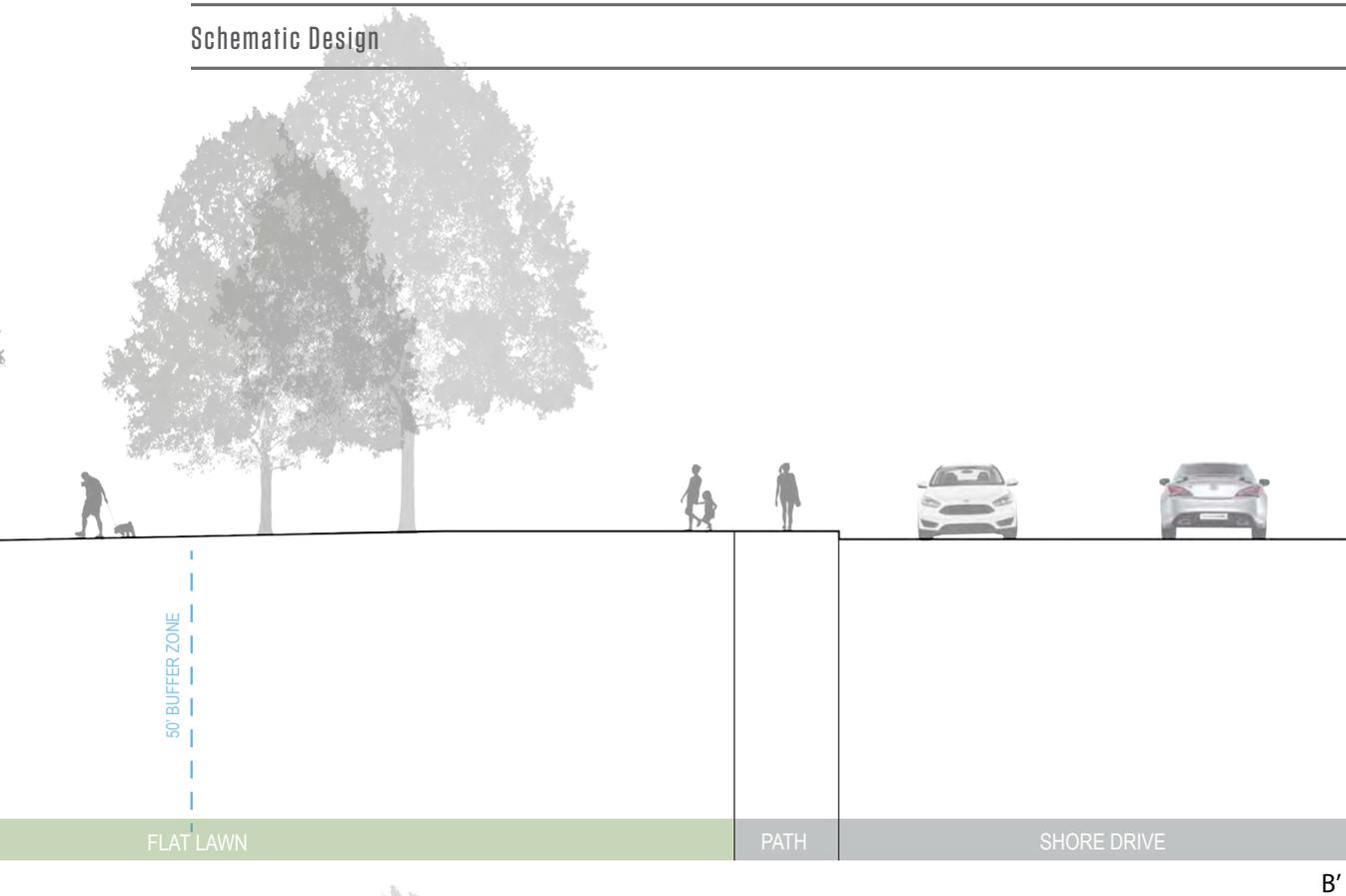
### Section B : Proposed Condition

- Shoreline ecology restored with native vegetation within existing stone revetments
- New path integrated into existing revetment brings visitors into the restored riparian corridor
- Path along top of slope to create path loops for park visitors and create better connection to the river within the park
- Shore Drive width reduced by moving curb-line 6 feet to create room for a generous multi-use path as well as green infrastructure improvements and street trees along the road
- Shrubland separates open space from the road creating a comfortable space for passive recreation or play

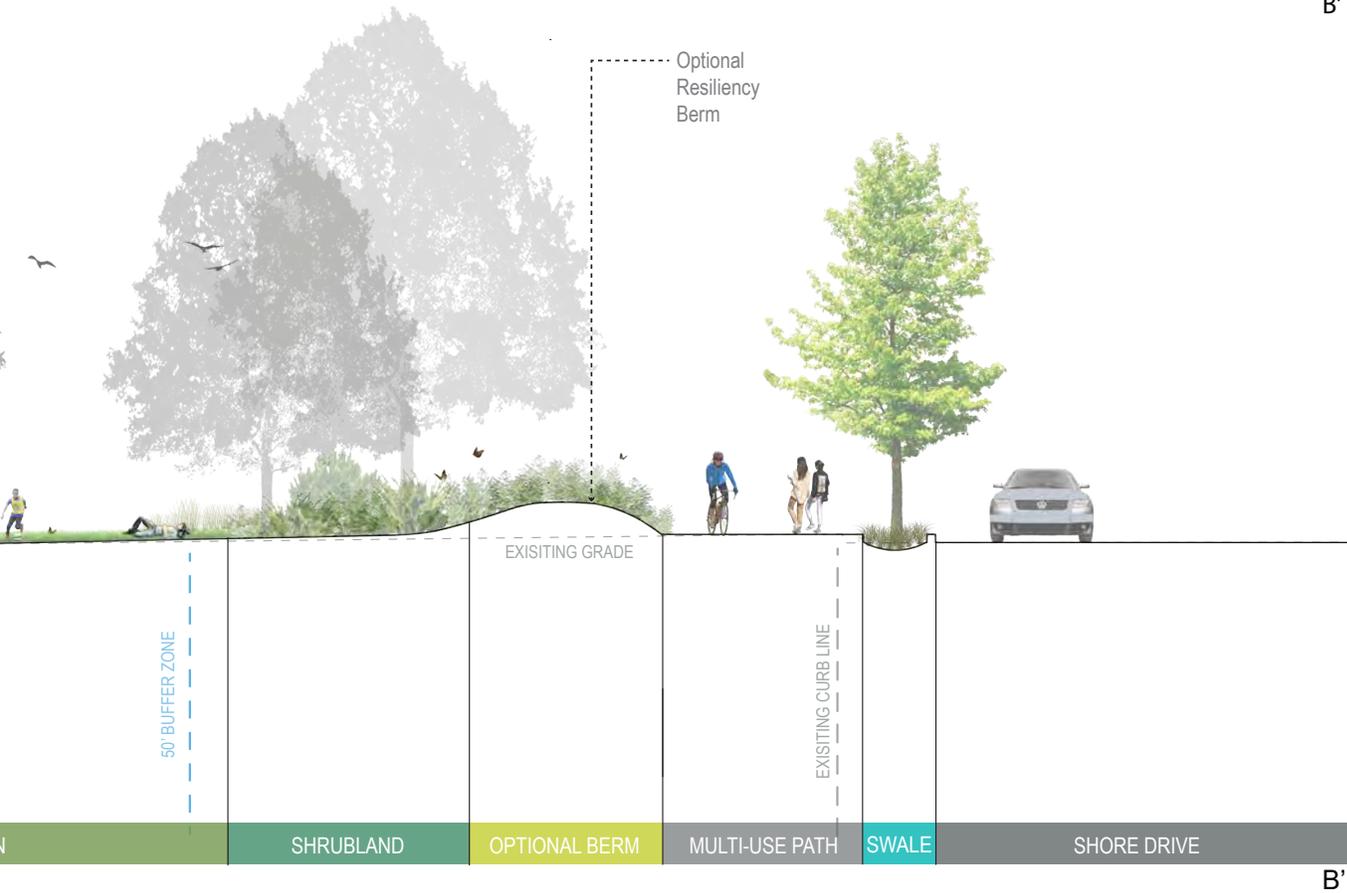


B

Section View B-B' of the proposed shifted curb line and green infrastructure along Shore Drive, multi-use path, optional storm water resiliency berm, enclosed lawn area to create separation from busy roads, and paths along the river (See plan for section location).



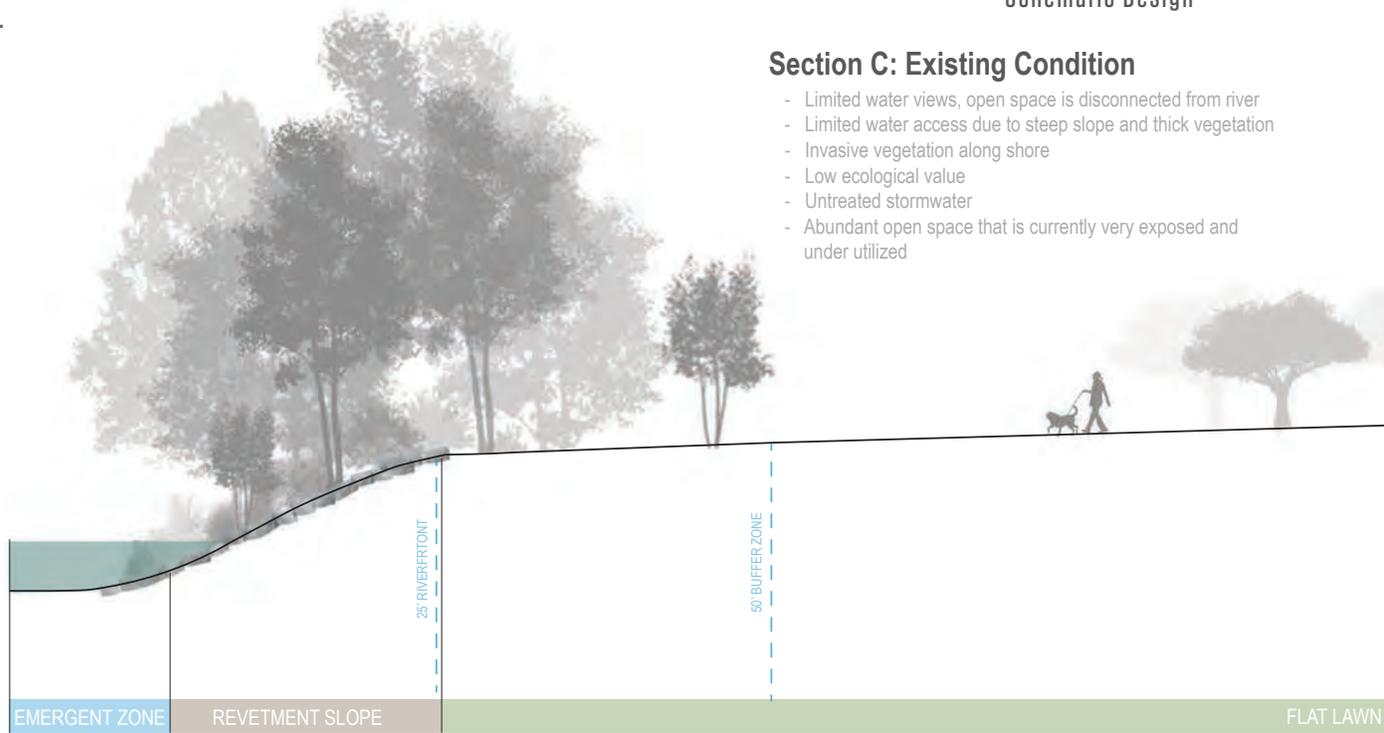
B'



B'

**Section C: Existing Condition**

- Limited water views, open space is disconnected from river
- Limited water access due to steep slope and thick vegetation
- Invasive vegetation along shore
- Low ecological value
- Untreated stormwater
- Abundant open space that is currently very exposed and under utilized



C

Section View C-C' of existing open lawn space, revetment along shoreline with existing established vegetation. (See plan for section location).

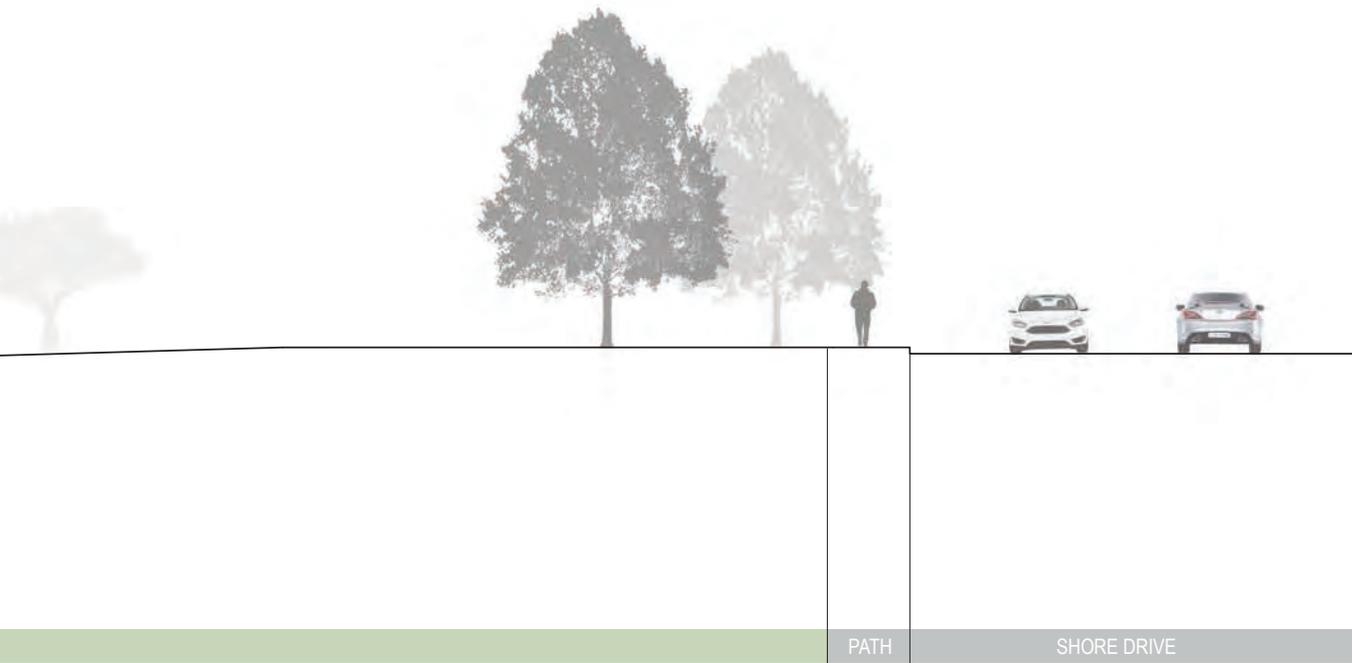
**Section C: Proposed Condition**

- Shore Drive width reduced by moving curb-line 6 feet to create room for a generous Multi-Use Path and green infrastructure improvements
- Large open lawn area for multiple uses including large potential gatherings and events
- Looping path system to create a variety of options for walking through the park and viewing or accessing the river

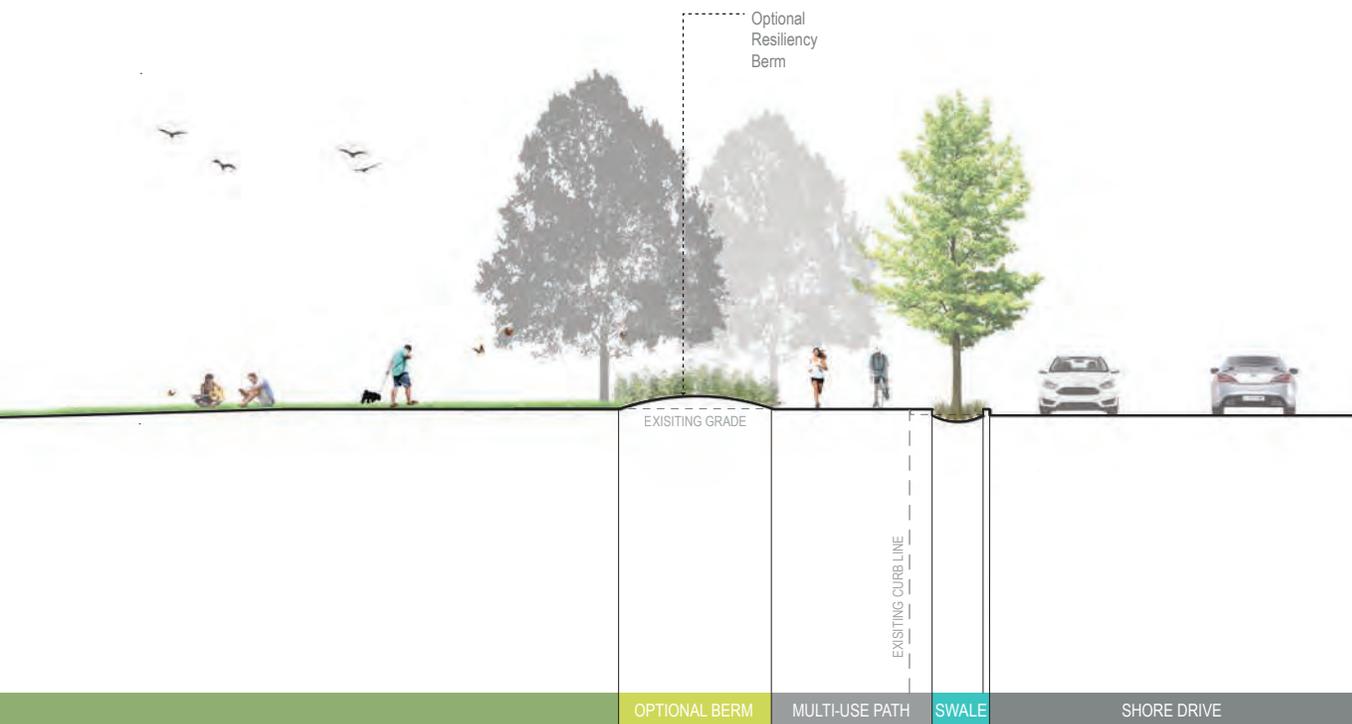


C

Section View C-C' of the proposed shifted curb line and green infrastructure along Shore Drive, multi-use path, optional storm water resiliency berm, open lawn area, and paths along the river (See plan for section location).



C'



C'

## Phasing and Cost Estimate

The preferred schematic design budget is estimated at approximately 3.7 million including both the capital improvements and design costs to complete the project in totality. In MyRWA discussions with DCR, it was suggested that the project be broken down into phases that could be taken on over time. For this reason, the following phases are suggested:

### Early Action Items:

Several potential early-action projects have been identified. Fund-raising for these clearly defined, smaller scope items can be considered separately to start to get portions of the project built. This will help coalesce community support and build energy around the project. The smaller interventions also include testing more ecological vegetation maintenance practices to make sure these improvements are viable before the larger project is built. Note that cost estimates in text below include 30% contingency

#### *Project A: Invasive Species Management*

*Cost Estimate: \$59,800*

In this first early action item, invasive species removal and subsequent restoration are the focus.

#### *Project B: Seed/ Vegetation/ Alternative Maintenance Testing*

*Cost Estimate: \$13,000*

Establish, maintain, and monitor various vegetation test plots over 3 years to test future vegetation alternatives to ensure that they are viable improvements for DCR.

#### *Project C: Phyto-Buffer*

*Cost Estimate: \$149,500*

Install the vegetation for the phytoremediation buffer to lessen the air pollution impacts of nearby roadways on the east and west edges of the site.

#### *Project D: Ecological Interpretive Art Installation (Community Based)*

*Cost Estimate: \$19,500*

#### *Project E: Water Quality / Herring Count Interpretive Art Installation (Professional Artist)*

*Cost Estimate: \$97,500*

Sculptural solar pieces by local artists installed in trees throughout park.

#### *Project F: Floating Wetlands*

*Cost Estimate: \$10000*

Floating Wetlands are installed at Stormwater Outfalls and include monitoring and maintenance.

#### *Project G: Enhance Neighborhood Connections- Underpass Lighting and Art*

*Cost Estimate: \$97,500*

Utilize art and lighting to enhance connections to the park through the I-93 underpass.

### Capital Improvements:

*Cost estimates include 30% contingency*

#### **Phase 1: Shared Use Path and Lighting, Street Trees, Crosswalks, Green Infrastructure**

*Cost Estimate: \$936,000*

In Phase 1, links to the regional trail system are put in place. Key elements including the shared use path with lighting, street trees, crosswalks, and green infrastructure improvements along Shore Drive will be installed.

#### **Phase 2: Main Park Improvements (Includes Temporary Improvements in Boathouse Area)**

*Cost Estimate: \$1,778,400*

Phase 2 includes the majority of the new park improvements. Grading/topographic changes will be completed. The remainder of the park path system and hardscape improvements will be installed, including boardwalks. Vegetation communities will be established, and site furnishings will be installed, along with educational signage.

#### **Phase 3: New Dock**

*Cost Estimate: \$503,100*

Phase 3 is the installation of the new dock.

**Project:** Blessing of the Bay Park Improvements  
**Location:** Somerville, MA



**Submission:** Schematic Design - Opinion of Probable Costs  
**Date:** 11/07/2018

**Estimator:** HLC/KK      **Checked By:** JL/BRK

This opinion of probable costs is based on the conceptual master plan for Blessing of the Bay park, July 2018, prepared by Offshoots, Inc. and Horsley Witten Group and is for planning purposes only. The unit prices are based upon the latest MassDOT weighted unit pricing data or best available information

**OPINION OF PROBABLE COSTS**

	Unit	Quantity	unit cost	Total Cost
<b>EARLY ACTION ITEMS (Potential Near-Term Improvements)</b>				
<b>Project A: Invasives Management</b>				<b>\$46,000.00</b>
<b>Site Preparation and Mobilization</b>				<b>\$6,000.00</b>
Mobilization/Demobilization	LS	1	\$3,000.00	\$3,000.00
Tree Protection/ Erosion Control	LS	1	\$2,500.00	\$2,500.00
<b>Restoration/Vegetation Zones</b>				<b>\$40,000.00</b>
Invasives Removal	SF	5213	\$5.00	\$26,062.50
New Plants, Seed, Stabilization	SF	7000	\$2.00	\$14,000.00
<b>Project B: Seed/ Vegetation Testing/ Alt Maintenance Testing</b>				<b>\$10,000.00</b>
<b>Vegetation</b>				<b>\$10,000.00</b>
Soil/ Edging/ Seed/ Signage/ Maintain & Monitor Test Plots over 3 years of future vegetation alternatives	LS	1	\$10,000.00	\$10,000.00
<b>Project C: Phyto Buffer</b>				<b>\$115,000.00</b>
<b>Site Preparation and Mobilization</b>				<b>\$3,000.00</b>
Mobilization/Demobilization	LS	1	\$3,000.00	\$3,000.00
<b>Phyto Buffer</b>				<b>\$112,000.00</b>
Plants	SF	28070	\$4.00	\$112,280.00
<b>Project D: Ecological Interpretive Art Installation (Community Based)</b>				<b>\$15,000.00</b>
<b>Art Construction and Installation</b>				<b>\$15,000.00</b>
Art Construction and Installation Allowance	ALLOW	1	\$15,000.00	\$15,000.00
<b>Project E: Water Quality/ Herring Count Interpretive Art Installation (Professional Artist)</b>				<b>\$75,000.00</b>
<b>Art</b>				<b>\$75,000.00</b>
Sculptural solar pieces by local artists installed in trees	ALLOW	1	\$75,000.00	\$75,000.00
<b>Project F: Floating Wetland</b>				<b>\$10,000.00</b>
<b>Floating Wetlands</b>				<b>\$10,000.00</b>
Floating Wetlands (including monitoring and maintenance)	SF	400	\$25.00	\$10,000.00

**OPINION OF PROBABLE COSTS**

	Unit	Quantity	unit cost	Total Cost
<b>Project G: Underpass Connectivity Art Project</b>				<b>\$75,000.00</b>
<b>Art</b>				<b>\$75,000.00</b>
Lighting/ Art in underpass to increase community connectivity	ALLOW	1	\$75,000.00	\$75,000.00
<b>EARLY ACTION ITEMS- TOTAL PROJECT COSTS</b>				<b>\$346,000.00</b>
Contingency	30%			\$104,000.00
<b>TOTAL EARLY ACTION ITEM COSTS</b>				<b>\$450,000.00</b>
Permitting <sup>1</sup>	3%			\$14,000.00
Design and Construction Drawings	10%			\$45,000.00
Construction Administration <sup>2</sup>	2.50%			\$12,000.00
<b>TOTAL EARLY ACTION ITEMS COST</b>				<b>\$521,000.00</b>

**CAPITAL IMPROVEMENTS**

<b>PHASE 1: Shared Use Path, Street Trees, Crosswalks, Green Infrastructure and Lighting along Path</b>				<b>\$720,000.00</b>
<b>Site Preparation and Mobilization</b>				<b>\$13,000.00</b>
Mobilization/Demobilization	LS	1	\$10,000.00	\$10,000.00
Tree Protection	LS	1	\$2,500.00	\$2,500.00
<b>Erosion Control</b>				<b>\$10,000.00</b>
Construction entrances, stabilization materials Allowance	LS	1	\$10,000.00	\$10,000.00
<b>Site Demolition/ Utilities</b>				<b>\$160,000.00</b>
Remove and Reset Curb (Along entire road length to widen park)	LF	2000	\$25.00	\$50,000.00
Remove and Reset Existing Guardrail	LF	375	\$15.00	\$5,625.00
Remove and Reclaim Asphalt (existing sidewalk)	SF	17030	\$0.25	\$4,257.50
Drainage and Water updates for Shore Drive (from 6' curb move)	ALLOW	1	\$45,000.00	\$45,000.00
Misc. Utilities Work (conflicts, relocations due to 6' curb move)	ALLOW	1	\$55,000.00	\$55,000.00
<b>Site Clearing and Earthworks</b>				<b>\$9,000.00</b>
Selective Clearing Allowance	LS	1	\$5,000.00	\$5,000.00
Rough Grading	SF	17141	\$0.25	\$4,285.25
<b>Site Elements</b>				<b>\$497,000.00</b>
12' Wide Asphalt Shared Use Paths	SF	35948	\$5.00	\$179,740.00
Lighting (including conduit and wiring)	EA	28	\$5,000.00	\$140,000.00
Granite Curb - (New to Transition edges of GI)	LF	300	\$50.00	\$15,000.00
Drop Off Area (Asphalt)	SF	1120	\$5.00	\$5,600.00
Street Trees	EA	43	\$1,500.00	\$64,500.00
Lawn Strip Between Path and Road	SF	4590	\$0.25	\$1,147.50
Raised Crosswalk (decorative imprint)	SF	1300	\$12.00	\$15,600.00
Crosswalk (decorative imprint) (Whole intersection area)	SF	6250	\$12.00	\$75,000.00
<b>Green Infrastructure</b>				<b>\$31,000.00</b>
Streetside GI (bios)	SF	1240	\$25.00	\$31,000.00

**OPINION OF PROBABLE COSTS**

	Unit	Quantity	unit cost	Total Cost
<b>PHASE 2: Main Park Improvements (Includes Temporary Improvements in Boathouse Area)</b>				<b>\$1,368,000.00</b>
<b>Site Preparation and Mobilization</b>				<b>\$9,000.00</b>
Mobilization/Demobilization	LS	1	\$5,000.00	\$5,000.00
Tree Protection	LS	1	\$4,000.00	\$4,000.00
<b>Erosion Control</b>				<b>\$8,000.00</b>
Stabilization materials (silt socks, fencing)	LS	1	\$8,000.00	\$8,000.00
<b>Site Demolition</b>				<b>\$17,000.00</b>
Remove and Dispose Asphalt (pathways, small plaza)	SY	861	\$20.00	\$17,224.44
<b>Site Clearing and Earthworks</b>				<b>\$155,000.00</b>
Selective Clearing	LS	1	\$8,000.00	\$8,000.00
Rough Grading	SF	104386	\$0.25	\$26,096.50
Fine Grading	SF	121527	\$0.75	\$91,145.25
Soil/ Amendments	CY	300	\$100.00	\$30,000.00
<b>Site Elements (including intermediate boathouse area improvements)</b>				<b>\$450,000.00</b>
Stablized Soil Paths	SF	12020	\$8.00	\$96,160.00
Picnic Area (Peastone)	SF	8556	\$1.00	\$8,556.00
Permeable Paved Areas (Porous Pavers)	SF	5590	\$16.00	\$89,440.00
Paved Plaza (Asphalt)	SF	4060	\$5.00	\$20,300.00
Picnic Table	EA	8	\$2,500.00	\$20,000.00
Bench	EA	16	\$2,000.00	\$32,000.00
Receptacle	EA	8	\$1,500.00	\$12,000.00
Bike Racks	EA	15	\$1,250.00	\$18,750.00
DCR Marker	EA	2	\$2,000.00	\$4,000.00
Interpretive Signs/ Art (Design Included)	EA	8	\$2,500.00	\$20,000.00
Lighting (including conduit and wiring)	EA	15	\$5,000.00	\$75,000.00
Water Access Points (boulders & repositioned granite block)	SF	1790	\$30.00	\$53,700.00
<b>Boardwalk at Restored Wetland (100 LF)</b>				<b>\$101,000.00</b>
Boardwalk Decking and Framing	LF	100	\$375.00	\$37,500.00
Helical Piles	LF	400	\$75.00	\$30,000.00
Concrete abutments	EACH	6	\$1,500.00	\$9,000.00
Railing	LF	200	\$120.00	\$24,000.00
<b>Green Infrastructure</b>				<b>\$163,000.00</b>
Optional GI (bios) to treat part of neighborhood	SF	5180	\$25.00	\$129,500.00
Optional GI in meadow (wet meadow)	SF	2260	\$15.00	\$33,900.00
<b>Wetland/ Shoreline Restoration</b>				<b>\$226,000.00</b>
Wetland Restoration	SF	1840	\$8.00	\$14,720.00
Shoreline Restoration	SF	42170	\$5.00	\$210,850.00
<b>Planting Areas</b>				<b>\$211,000.00</b>
Meadow Areas	SF	30211	\$2.00	\$60,422.00
Shrubland Areas	SF	4040	\$3.00	\$12,120.00
Woodland Areas	SF	8460	\$12.00	\$101,520.00
Lawn Areas (seeded)	SF	94100	\$0.25	\$23,525.00
View Corridors (opening/management)	SF	9240	\$1.50	\$13,860.00

**OPINION OF PROBABLE COSTS**

	Unit	Quantity	unit cost	Total Cost
<b>PHASE 3: New Dock</b>				<b>\$387,000.00</b>
<b>Site Preparation and Mobilization</b>				<b>\$3,000.00</b>
Mobilization/Demobilization	LS	1	\$3,000.00	\$3,000.00
<b>Dock</b>				<b>\$384,000.00</b>
Dock Decking, Piles and Railing	SF	3200	\$120.00	\$384,000.00
<b>CAPITAL CONSTRUCTION COSTS</b>				<b>\$2,475,000.00</b>
Contingency	30%			\$743,000.00
<b>TOTAL CONSTRUCTION COSTS</b>				<b>\$3,218,000.00</b>
Permitting <sup>1</sup>	3%			\$97,000.00
Design and Construction Drawings	10%			\$322,000.00
Construction Administration <sup>2</sup>	2.50%			\$81,000.00
<b>TOTAL CAPITAL COSTS</b>				<b>\$3,718,000.00</b>

**General Assumptions and Exclusions:**

1. The following items are not included in the scope of work:
  - a. General Conditions including project management, overhead, stockpile areas, insurance bonds, submittals, O&M manual work
  - b. Police Details
  - c. Dewatering
  - d. Major Cuts and Fills
  - e. Temporary Water
  - f. Disposal of or capping of any hazardous material or contaminated soil
2. Invasives Management costs have been reduced by 25% (shown as a reduction in SF, assuming MyRWA would implement some of the removal.
3. The contingency is provided based upon conceptual level of detail provided, unforeseen conditions and variability in the bidding climate.
4. Quantities provided are based on estimates only.
5. Cost estimate based on unit prices. Unit prices provided are based upon typical 2018 construction costs and data. Unit prices are subject to change due to adjustments to material and labor costs, site conditions and inflation.

**Potential Funding Sources**

Funding for the phased completion of Blessing of the Bay park can be achieved through grants at the national, state, and local level. Grants for parks, paths, open space and restoration as well as stormwater and climate resiliency are all applicable.

The following is a summary of potential funding sources. A detailed list including descriptions, deadlines, and links to applications can be found in the appendix.

*National Level Funding:*

- NRPA Great Urban Parks Grants
- NFWF Five Star and Urban Waters Grants
- Funders Network: Partners for Places
- Healthy Communities Grant
- NOAA Community Base Restoration Program
- NFWF Resilient Communities Grant
- NFWF Coastal Resilience Grant

*State Level Funding:*

- Community Development Block Grant
- Culvert Replacement Municipal Assistance Grant program
- CZM Culvert Grant
- Coastal Pollution Remediation (CPR) Grant Program (CZM grants)
- Hazard Mitigation Grants
- Land and Water Conservation Fund
- LAND/PARC Grant
- Municipal Vulnerability Preparedness Action Grants
- Planning Assistance Grants
- Recreation Trail Grant
- Section 319 Nonpoint Source Grant
- Section 604b Water Quality management Planning
- Section 604b Water Quality Management Planning
- MA Coastal Resilience Grant Program
- Statewide Water Management Act Grants

*Local Level Funding:*

- CPA
- Linkage Fees / Mitigation Funding

*Private:*

- Commonwealth Places

## Next Steps

Mystic River Watershed Association will work closely with DCR to determine what the next steps for this project should be. MyRWA has been awarded a \$172,000 grant from Somerville CPA funding for the next phase of the design process which will include further development of the design and production of construction documents. The overall project may be considered in multiple phases where the shared-use path and streetscape portion happens before the bulk of the park. In addition, the design of the Boathouse project would ideally be considered in tandem with the proposed overall project time line for park in order to create a cohesive design between the two very integrated spaces.

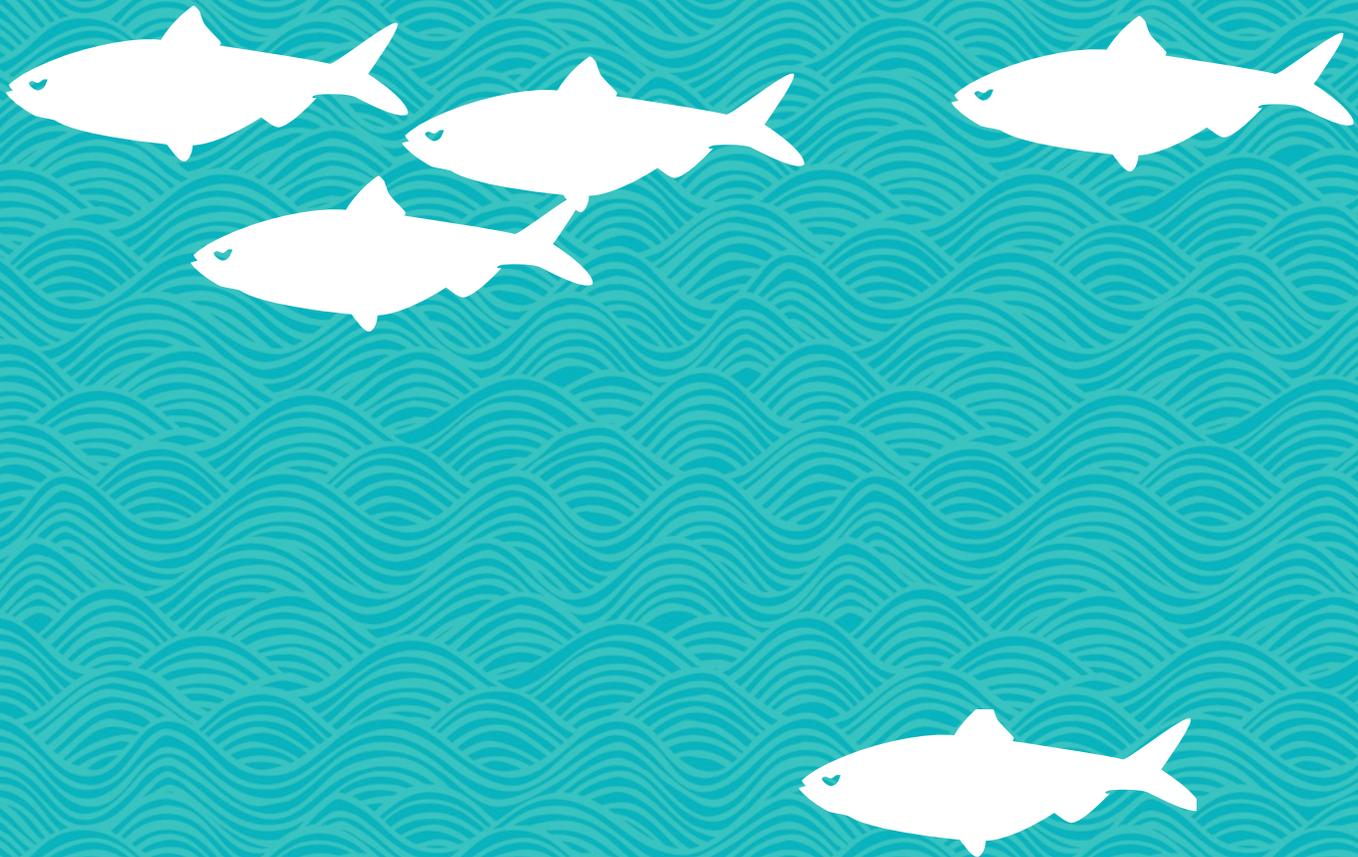
The next phase for the park design is Design Development (DD). In this intermediate phase, the design team will flush out the park layout, materials, permitting needs (see appendix for Preferred Schematic design permitting narrative), and begin to develop the construction set. The DD effort will culminate in a detailed set of drawings that the DCR will be able to use for more detailed cost estimating and permitting.

The final design phase is the development of Construction Documents (CD). The Design Development drawing set will be refined and a final set of plans will be developed for construction of the Blessing of the Bay Park. DCR will be able to send out the CD set for bidding in order to select a contractor to bring the park into fruition.

In the meantime, MyRWA will seek small grants to ideally roll out the early intervention actions identified as an intermediate phase.

# 630,098

The number of river herring in the Mystic during the 2017 migration — the largest run in Massachusetts!





Massachusetts Department of Conservation & Recreation



City of Somerville



Somerville Community Preservation Act

The Mystic Tenant Association



Groundwork Somerville



The Lawrence & Lillian Solomon Foundation



20 Academy St, Suite 306 | Arlington, MA | 02476  
p 781.316.3438 | www.mysticriver.org



547 Rutherford Ave. | Charlestown, MA | 02129  
p 617.500.6530 | f 617.500.6531 | www.offshootsinc.com



294 Washington Street, Suite 801 | Boston, MA | 02108  
857.263.8193 | www.horsleywitten.com

# Site Control Documentation

dcr  
Massachusetts



MAR 24 2010

March 22, 2010

John G. Gannon, City Solicitor  
City of Somerville  
Somerville City Hall  
93 Highland Avenue  
Somerville, MA 02143

Re: Shore Drive, Somerville

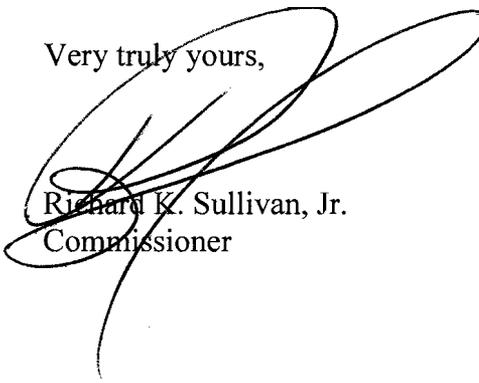
Dear Attorney Gannon:

I received your letter dated March 10, 2010 providing the required 90-day notice of the City's termination of the care and control agreement, dated October 4, 1972, between the Department and the City concerning care, control, maintenance and police protection of Shore Drive. Termination of the agreement will end the Department's role in Shore Drive and return full control to the City, which owns this area. Your letter indicates the City's desire that the Department waive the 90-day notice period stated in the agreement. Please be advised that the Department waives the notice period and, as such, now considers the agreement terminated.

With the agreement terminated, the Department no longer considers Shore Drive under the care and control of the Department, but rather returned to the full jurisdiction and ownership of the City of Somerville. The Department is available to work with the City to assist in the timely transition of responsibilities for Shore Drive from the Department to the City.

If City staff has any questions on this transition, please contact Samantha Overton, Deputy Director for Urban Parks and Recreation, at 617-626-4934.

Very truly yours,

  
Richard K. Sullivan, Jr.  
Commissioner

COMMONWEALTH OF MASSACHUSETTS · EXECUTIVE OFFICE OF ENERGY & ENVIRONMENTAL AFFAIRS

Department of Conservation and Recreation  
251 Causeway Street, Suite 600  
Boston MA 02114-2119  
617-626-1250 617-626-1351 Fax  
www.mass.gov/dcr



Deval L. Patrick  
Governor

Timothy P. Murray  
Lt. Governor

Ian A. Bowles, Secretary, Executive  
Office of Energy & Environmental Affairs

Richard K. Sullivan, Jr., Commissioner  
Department of Conservation & Recreation

# Letters of Support



**Senator PATRICIA D. JEHLLEN**  
*2<sup>ND</sup> MIDDLESEX DISTRICT*  
MEDFORD, SOMERVILLE, CAMBRIDGE AND  
WINCHESTER

----  
STATE HOUSE ROOM 424  
BOSTON, MA 02133-1053  
TEL: (617) 722-1578  
FAX: (617) 722-1117

[PATRICIA.JEHLLEN@MASENATE.GOV](mailto:PATRICIA.JEHLLEN@MASENATE.GOV)  
[WWW.MASENATE.GOV](http://WWW.MASENATE.GOV)

## The Commonwealth of Massachusetts MASSACHUSETTS SENATE

*CHAIR*  
JOINT COMMITTEE ON AGING AND  
INDEPENDENCE

*VICE CHAIR*  
JOINT COMMITTEE ON EDUCATION  
AND  
JOINT COMMITTEE ON REVENUE

LABOR AND WORKFORCE DEVELOPMENT  
CANNABIS POLICY  
JUDICIARY

September 2, 2025

Ms. Roberta Cameron, AICP  
*Community Preservation Act Manager*  
Mayor's Office of Strategic Planning and Community Development  
City of Somerville  
[rcameron@somervillema.gov](mailto:rcameron@somervillema.gov) • 617-625-6600 x2528

### **RE: Support for Blessing of the Bay Linear Park Improvement**

Dear Ms. Cameron,

I am writing to express my strong support for funding the construction of linear park improvements at Blessing of the Bay Park in Somerville. The proposed project seeks to reconnect the community to the Mystic River, improve climate resilience outcomes, and ensure safer access to transit and job opportunities for residents of Greater Boston.

Serving as State Senator where Blessing of the Bay Park is located, I continue to advocate for and promote projects advancing equity and justice in our neighborhoods. Since 2017, I have supported comprehensive, community-driven planning and design for a revitalized Blessing of the Bay Park, working with constituents to optimize the project's impact on local residents in the Ten Hills, Mystic Housing and Winter Hill areas, as well as the larger region.

The construction of ADA-accessible improvements at Blessing of the Bay Park aligns with our community's values and will close a last remaining gap in multi-use pathways along the Mystic River shoreline in Somerville. This project will connect our community, particularly low-income residents living in Mystic Housing, to waterfront parks, and will provide off-street connectivity for people walking, biking, and rolling to the Orange Line MBTA stop. I have worked closely with stakeholders and residents on this project for a number of years, given its potential to

address accessibility, transportation and climate justice for residents. I appreciate your consideration of funding this project.

Regards,

A handwritten signature in blue ink, appearing to read "Pat Jehlen". The signature is fluid and cursive, with a long horizontal stroke at the end.

Senator Pat Jehlen  
Second Middlesex District



THE GENERAL COURT OF MASSACHUSETTS  
STATE HOUSE, BOSTON 02133-1053

August 27, 2025

Ms. Roberta Cameron, AICP  
*Community Preservation Act Manager*  
Mayor's Office of Strategic Planning and Community Development  
City of Somerville  
[rcameron@somervillema.gov](mailto:rcameron@somervillema.gov) • 617-625-6600 x2528

Re: Support for Blessing of the Bay Linear Park Improvement

Dear Ms. Cameron,

I am writing to express my strong support for funding the construction of linear park improvements at Blessing of the Bay Park in Somerville. The proposed project seeks to reconnect the community to the Mystic River, improve climate resilience outcomes, and ensure safer access to transit and job opportunities for residents of Greater Boston.

As State Representative for the 34<sup>th</sup> Middlesex District, where Blessing of the Bay Park is located, I continue to advocate for and promote projects advancing equity and justice in our neighborhoods. Since 2017, I have supported comprehensive, community-driven planning and design for a revitalized Blessing of the Bay Park, working with constituents to optimize the project's impact on local residents in the Ten Hills, Mystic Housing and Winter Hill areas, as well as the larger region. Somerville CPA's prior support for the project have helped the project team to secure approximately \$1.9 million in funding from state and private sources, and further support would help to ensure the project's completion.

The construction of ADA-accessible improvements at Blessing of the Bay Park aligns with our community's values and will close a last remaining gap in multi-use pathways along the Mystic River shoreline in Somerville. This project will connect our community, particularly low-income residents living in Mystic Housing, to waterfront parks, and will provide off-street connectivity for people walking, biking, and rolling to the Orange Line MBTA stop. I have worked closely with stakeholders and residents on this project for a number of years, given its potential to address accessibility, transportation and climate justice for residents. I appreciate your consideration of funding this project.

Regards,

A handwritten signature in cursive script, appearing to read "CB".

Christine Barber  
State Representative  
34<sup>th</sup> Middlesex District



SMART GROWTH AND REGIONAL COLLABORATION

August 29, 2025

Ms. Roberta Cameron, AICP  
*Community Preservation Act Manager*  
Mayor's Office of Strategic Planning and Community Development  
City of Somerville  
[rcameron@somervillema.gov](mailto:rcameron@somervillema.gov) · 617-625-6600 x2528

Re: Support for Blessing of the Bay Linear Park Improvement

Dear Ms. Cameron,

The Metropolitan Area Planning Council (MAPC) is pleased to formally express our support for the construction of linear park improvements at Blessing of the Bay Park in Somerville. The project seeks to reconnect the community to the Mystic River, improve climate resilience outcomes, and safely connect residents to transit and job opportunities throughout Greater Boston.

The project is included as a critical link in MAPC's Landline vision for a connected greenways and trails network throughout the Greater Boston region. It will also advance our work in coordinating regional approaches to climate equity, adaptation and resiliency. Somerville CPA's prior support for the project have helped the project team to secure approximately \$1.9 million in funding from state and private sources, and further support would help to ensure the project's completion.

The construction of linear park improvements at Blessing of the Bay Park aligns with our organizational priorities and will close the last remaining gap in multi-use pathways along the Mystic River shoreline in Somerville. It will connect the community, especially low-income residents living in the Mystic Housing complex, to waterfront parks on our region's hottest days, and will provide fully off- street connectivity for people walking, biking and rolling to the Orange MBTA subway line and jobs in Boston. We have worked intimately with the City of Somerville to address matters of transportation and climate justice for the region, and are excited to be active participants in this project as it progresses.

Sincerely,

David Loutzenheiser  
Senior Transportation Planner

August 29, 2025



Ms. Roberta Cameron, AICP  
*Community Preservation Act Manager*  
Mayor's Office of Strategic Planning and Community Development  
City of Somerville  
[rcameron@somervillema.gov](mailto:rcameron@somervillema.gov) · 617-625-6600 x2528

Re: Support for Blessing of the Bay Linear Park Improvement

Dear Ms. Cameron,

I'm writing to you on behalf of the Mystic River Watershed Association (MyRWA), whose mission is to protect and restore the Mystic River and its tributaries. Our vision is a healthy, vibrant, and resilient Mystic River Watershed for the benefit of all our community members. MyRWA has worked with thousands of residents in Somerville to protect water quality, restore important habitats, build climate resilience, transform parks and paths, inspire youth and grow community.

MyRWA strongly supports the City of Somerville's application for the construction of linear park improvements at Blessing of the Bay Park in Somerville. The project is included in the Masstrails Priority Network Vision and is the last remaining gap of the Mystic Greenways located in the City of Somerville. It seeks to reconnect the community to the Mystic River, improve climate resilience outcomes, and safely connect residents to transit and job opportunities throughout Greater Boston. Somerville CPA's prior support for the project have helped the project team to secure \$1.9 million in funds from state & private sources, and further support would ensure the project's completion.

Since 2017, we have supported comprehensive, community-driven planning and design for a revitalized Blessing of the Bay Park, working with community members to optimize the project's impact on local residents in the Ten Hills, Mystic Housing and Winter Hill areas, as well as the larger region. It will connect the community, particularly low-income residents living in Mystic Housing, to waterfront parks, and will provide off-street connectivity for people walking, biking, and rolling to the Orange Line MBTA stop.

We have worked closely with stakeholders and community members on this project for a number of years, given its potential to address accessibility, transportation and climate justice for residents. Our appreciation for your consideration of funding this project cannot be overstated.

Sincerely,

A handwritten signature in black ink that reads "Patrick Herron". The signature is written in a cursive, flowing style.

Patrick Herron  
Executive Director  
Mystic River Watershed Association

**SOMERVILLE**  
**TRANSPORTATION EQUITY**  
**PARTNERSHIP**

September 5, 2025

Ms. Roberta Cameron, AICP  
*Community Preservation Act Manager*  
Mayor's Office of Strategic Planning and Community Development  
City of Somerville  
rcameron@somervillema.gov • 617-625-6600 x2528

Re: Support for Blessing of the Bay Linear Park Improvement

Dear Ms. Cameron,

We in Somerville Transportation Equity Partnership (STEP) are pleased to formally express our support for the construction of linear park improvements at Blessing of the Bay Park in Somerville. The project seeks to reconnect the community to the Mystic River, improve climate resilience outcomes, and ensure safer access to transit and job opportunities for residents of Greater Boston.

STEP is a community group dedicated to addressing matters of transportation justice in Somerville. Having advocated decades for the Green Line Extension, the Assembly Square MBTA station, the Community Path Extension, and issues pertaining to public health such as safety improvements to Mystic Ave. and the installation of sound barriers on I-93, we are intimately concerned with projects of critical nature that will level the playing field for our community's low-income and BIPOC residents. Somerville CPA's prior support for the project helped the project team to secure approximately \$1.9 million in funding from state and private sources, and further support would help to ensure the project's completion.

The construction of an ADA-accessible improvements at Blessing of the Bay Park aligns with our community's values and will close a last remaining gap in multi-use pathways along the Mystic River shoreline in Somerville. This project will connect our community, particularly low-income residents living in Mystic Housing, to waterfront parks, and will provide off-street connectivity for people walking, biking, and rolling to the Orange Line MBTA stop. We have been a stakeholder of this project for years, given its potential to address matters of transportation and climate justice for residents, and are excited to be active participants in this project as it comes to fruition.

Sincerely,



Karen Molloy  
On behalf of Somerville Transportation Equity Partnership (STEP)

# Beatriz C. Gómez Mouakad

BC.GOMEZ@GMAIL.COM

Submission Date Oct 31, 2025 3:15 PM

Full Name Beatriz C. Gómez Mouakad

Email (optional)

Street address (optional)

I would like to comment on the following project(s)

Blessing of the Bay Linear Park Improvement

Comments on Blessing of the Bay Linear Park Improvement

I am writing to express my strong support for funding the construction of linear park improvements at Blessing of the Bay Park in Somerville. I do so as a board member of the Mystic River Watershed Association, a founding member of Padres Latinos de Somerville Public Schools, a former City Councilor for Ward 5, and a longtime Somerville resident who understands the vital importance of access to nature for our community's health and well-being.

The proposed project will help reconnect our community to the Mystic River, improve climate resilience, and provide safer access to transit and job opportunities for Somerville residents. These improvements will not only enhance environmental outcomes but will also strengthen social and economic connections across the city.

Living near the Community Path, I witness daily how heavily it is used by residents of all ages and backgrounds—clear evidence of our community's need for additional green and recreational spaces. The Blessing of the Bay area sits at a critical junction, linking East Somerville and the Mystic Projects to the riverfront. The new linear park will create a vital connection between the Mystic River, Assembly Row, and nearby neighborhoods—many of which are designated environmental justice areas whose residents have limited access to natural spaces. For families who may not have the resources to travel beyond the Boston metro area, this connection will open up access to the restorative power of the river and its natural surroundings.

While Somerville has many small neighborhood parks, none can replicate the experience of engaging directly with a natural waterway like the Mystic River. Access to this riverfront offers a unique opportunity for reprieve, reflection, and recreation that urban parks simply cannot provide.

As Frederick Law Olmsted wisely said: "We want a ground to which people may easily go after their day's work is done, and where they may stroll for an hour, seeing, hearing, and feeling nothing of the bustle and the jar of the streets, where they shall, in effect, find the city put far away from them."

Somerville needs and deserves such a space. I urge you to fund the Blessing of the Bay Park improvements. This project represents a once-in-a-generation opportunity to expand access to nature, strengthen community connections, and ensure that all residents—regardless of income or background—can enjoy the beauty and benefits

of the Mystic River.

Sincerely,  
Beatriz C. Gómez Mouakad  
Board Member, Mystic River Watershed Association  
Founding Member, Padres Latinos de Somerville Public Schools  
Former Somerville City Councilor, Ward 5  
Somerville Resident

Please check if you would like to receive CPA News Updates via email

# Valerie Locker

Submission Date Oct 7, 2025 2:38 PM

Full Name Valerie Locker

Street address (optional) Ten Hills

I would like to comment on the following project(s) **Blessing of the Bay Linear Park Improvement**

Comments on Blessing of the Bay Linear Park Improvement

I support the proposed widening of the park that combines the existing bike land and sidewalk. As a Ten Hills resident, I can attest to how well loved and utilized the existing sidewalk is. The current bike lane along Shore Drive is underutilized as it only goes one direction and rapidly fills with debris (dirt/sand, gravel, trash) along the sharp curve of Shore Drive. I support combining the sidewalk and current bike lane and raising them so they are separate from the street both for pure safety reasons and to minimize the amount of debris that gets kicked into the path. I support narrowing of Shore Drive as additional traffic calming around the sharp curve.

# Alexander Epstein

alexepstein@gmail.com

Submission Date Oct 11, 2025 5:47 PM

Full Name Alexander Epstein

Email (optional)

Street address (optional)

I would like to comment on the following project(s)

Kennedy Schoolyard Reconstruction

Blessing of the Bay Linear Park Improvement

Comments on Kennedy Schoolyard Reconstruction

I strongly support this project proposal. Design and construction were promised by the City in 2019 before the pandemic, and my two children at the Kennedy (PK and 5th grade) have been waiting six years for this overdue revamp of the hot, harsh, asphalt "front lot" of the school. The suburban design of the old bus loop and parking lot are also not working well for student safety and are due for a more student/ community-focused redesign, given the lack of open and green space near Porter Square. Thank you for supporting the Kennedy schoolyard reconstruction!

Comments on Blessing of the Bay Linear Park Improvement

The lack of green space and two-directional protected bike lanes along Shore Road have been an issue for years when biking to jobs and destinations in Assembly from the rest of Somerville, and the park itself has unrealized potential if more of it were usable. I support this proposal and hope the Commission will, too.

# Sharman Lappin

Submission Date Oct 27, 2025 5:05 PM

Full Name

Street address (optional)

I would like to comment on the following project(s)

Blessing of the Bay Linear Park Improvement

Comments on Blessing of the Bay Linear Park Improvement

I am writing to express my strong support for funding the construction of linear park improvements at Blessing of the Bay Park in Somerville. The proposed project seeks to reconnect the community to the Mystic River, improve climate resilience outcomes, and ensure safer access to transit and job opportunities for Somerville residents.

As a resident of the Ten Hills neighborhood, I am a frequent visitor to the park. I walk several times a week and often bring my binoculars to check out the birds.

# Denise Ichinco

ichinco@gmail.com

Submission Date Oct 27, 2025 5:14 PM

Full Name Denise Ichinco

Email (optional)

Street address (optional)

I would like to comment on the following project(s)

Blessing of the Bay Linear Park Improvement

Comments on Blessing of the Bay Linear Park Improvement

I am writing to express my strong support for funding the construction of linear park improvements at Blessing of the Bay Park in Somerville. The proposed project seeks to reconnect the community to the Mystic River, improve climate resilience outcomes, and ensure safer access to transit and job opportunities for Somerville residents.

I live across the street from Blessing of the Bay and it has so much potential. It's Somerville's river front, and I would like to see more people enjoying it.

# Catherine E. Reuben

creuben@cybercom.net

Submission Date Oct 27, 2025 5:25 PM

Full Name Catherine E. Reuben

Email (optional)

Street address (optional)

I would like to comment on the following project(s)

Blessing of the Bay Linear Park Improvement

Comments on Blessing of the Bay Linear Park Improvement

This project will benefit our community in so many ways -- more opportunities for people of all ages to play, relax and exercise, better air quality, better heat management, and better access to nature. This project is a win for all involved, and the budget is reasonable and doable. It will benefit our community for decades to come.

# John Reinhardt

Submission Date Oct 27, 2025 10:56 PM

Full Name John Reinhardt

Organization (optional) Mystic River Watershed Association

I would like to comment on the following project(s) **Blessing of the Bay Linear Park Improvement**

Comments on Blessing of the Bay Linear Park Improvement I strongly support full funding for the linear park improvements. Connecting the community more strongly to this vital resource is very important. Its proximity to public housing ensures a better opportunity for its residents. Thanks

# Lynda Banzi

ljbanzi@gmail.com

Submission Date Oct 28, 2025 5:58 AM

Full Name Lynda Banzi

Email (optional)

Street address (optional)

I would like to comment on the following project(s)

Blessing of the Bay Linear Park Improvement

Comments on Blessing of the Bay Linear Park Improvement

I am writing to express my strong support for funding the construction of linear park improvements at Blessing of the Bay Park in Somerville. The park is a wonderful urban resource in need of investment.

The proposed project seeks to reconnect the community to the Mystic River, improve climate resilience outcomes, and ensure safer access to transit for Somerville residents.

I run and kayak by the park and highly value the space and the river. Thank you for considering how to improve it for city residents now and in the future.

Please check if you would like to receive CPA News Updates via email

# Philip Ballentine

pballent@gmail.com

Submission Date Oct 30, 2025 4:11 PM

Full Name Philip Ballentine

Email (optional)

Street address (optional)

I would like to comment on the following project(s)

Mystic Development Outdoor Recreation Area Plan

Blessing of the Bay Linear Park Improvement

Comments on Mystic Development Outdoor Recreation Area Plan

As a Somerville resident, I and my household utilize the areas along the mystic and would love to see these improved.

Comments on Blessing of the Bay Linear Park Improvement

As a Somerville resident, I and my household utilize the Blessing of the Bay linear park and would love to see this area improved.

Please check if you would like to receive CPA News Updates via email

# Mary Rotchford

Mjrotch@hotmail.com

Submission Date Oct 31, 2025 6:43 AM

Full Name Mary Rotchford

Email (optional)

Street address (optional)

I would like to comment on the following project(s)

Blessing of the Bay Linear Park Improvement

Comments on Blessing of the Bay Linear Park Improvement

Please approve CPA funding for this improvement project. I am a regular visitor and I believe it is a fantastic resource for the community. CPA funding will ensure its completion and make it the jewel of Somerville's green spaces to be enjoyed by generations to come.

# Kurt Hanson

kurt@moltenpava.net

Submission Date Oct 31, 2025 1:09 PM

Full Name Kurt Hanson

Email (optional) [kurt@moltenpava.net](mailto:kurt@moltenpava.net)

I would like to comment on the following project(s) **Blessing of the Bay Linear Park Improvement**

Comments on Blessing of the Bay Linear Park Improvement  
Could Somerville have its own version of the Esplanade, full of residents enjoying nature and the river, walking, exercising and building community right on the Mystic? It should! The difference between the current reality, where the Mystic is scarcely noticed or possibly sneered at, and the immense potential for this area of Somerville is enormous. We don't even realize what we've been missing. Please, let's turn this into a jewel on the Somerville landscape!

Please check if you would like to receive CPA News Updates via email

**janine fay**

janine.fay@gmail.com

Submission Date Oct 31, 2025 1:18 PM

Full Name janine fay

Email (optional)

Street address (optional)

I would like to comment on the following project(s)

Blessing of the Bay Linear Park Improvement

Comments on Blessing of the Bay Linear Park Improvement

This spot could be as beautiful as its name  
Please help make it happen

# Mathi Rave-Indranathan

Submission Date Oct 31, 2025 1:27 PM

Full Name Mathi Rave-Indranathan

I would like to comment on the following project(s) **Blessing of the Bay Linear Park Improvement**

Comments on Blessing of the Bay Linear Park Improvement

Could Somerville have its own version of the Esplanade, full of residents enjoying nature and the river, walking, exercising and building community right on the Mystic? It should! The difference between the current reality, where the Mystic is scarcely noticed or possibly sneered at, and the immense potential for this area of Somerville is enormous. We don't even realize what we've been missing. Please, let's turn this into a jewel on the Somerville landscape!

# Allison Bland

Submission Date Oct 31, 2025 9:33 PM

Full Name Allison Bland

Street address (optional) 21 Indiana Ave

I would like to comment on the following project(s) **Blessing of the Bay Linear Park Improvement**

Comments on Blessing of the Bay Linear Park Improvement This park is an underutilized gem that should be considered for funding. It's also important as a transportation connection. Across the river, the transformation at MacDonald Park has made it a lively, beautiful space. I think Blessing of the Bay could be the same.